

Notice of Meeting

PLANNING PERFORMANCE REVIEW SUB-COMMITTEE

Tuesday, 16 February 2021 - 7:00 - 8:00 pm
Meeting to be held virtually

Members: Cllr Muhammad Saleem (Chair); Cllr John Dulwich (Deputy Chair); Cllr Sanchia Alasia, Cllr Faruk Choudhury and Cllr Olawale Martins

Date of publication: 8 February 2021

Claire Symonds
Acting Chief Executive

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Please note that this meeting will be webcast, which is a transmission of audio and video over the internet. To view the webcast click [here](#) and select the relevant meeting (the weblink will be available at least 24-hours before the meeting).

AGENDA

- 1. Apologies for Absence**
- 2. Declarations of Interest**
- 3. Review of Planning Decisions (Pages 1 - 296)**

The item includes:

Summary Report
Appendix 1 – Applications bundle
Appendix 2 – Appeals bundle
Appendix 3 – Full list of decisions

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Working in partnership with



Performance Review Sub-Committee

Performance Report
1st July 2020 – 31st January 2021

Prepared 8th February 2021

James Coulstock
Deputy Chief Planning Director

Introduction

The Planning Performance Review Sub-Committee is appointed by the Planning Committee each year to consider and report back on an annual basis a random sample of delegated planning decisions and examine/evaluate a number of them to assess whether relevant planning policies and criteria were applied in each case. In addition to this, the Planning Performance Review Sub-Committee will review planning appeal performance and have scrutiny of overturned decisions.

As part of the review process the Chair and Deputy Chair of Planning Committee have randomly selected 20 planning applications, received between 1 July 2020 and 31st January 2021. The full list and sample selected is at Appendix 3. This sample date has been chosen to establish an accurate benchmark of performance having regard to the new team, new software and new ways of working.

To add context to this sample, an overview of all decisions taken within the period 1 July 2020 and 31st January 2021 is provided below.

Overview of Performance (1 July 2020 to 31st January 2021)

Major Development Decisions

100% (18 out of 18) of all 'major' applications determined 'within time' 1 July 2020 to 31st January 2021.

Performance for this period extrapolated against MHCLG performance figures would place LB Barking & Dagenham joint **1st nationally** when compared against all 342 Local Planning Authorities and joint **1st in London** when compared against all 32 London Planning Authorities.

The number of major developments determined (33) within the past 12 months (Jan 2020 – December 2020) more than doubled the amount determined (16) within the previous 12-month period (Jan 2019 – December 2019)

Non-Major Development Performance

96% (582 out of 607) of all 'non-major' applications determined 'within time' 1 July 2020 to 31st January 2021.

Performance for this period extrapolated against MHCLG performance figures would place LB Barking & Dagenham **54th nationally** when compared against all 342 Local Planning Authorities and **3rd in London** when compared against all 32 London Planning Authorities.

It is important to note that through the period 1 July 2020 to 31st January 2021 over 400 'backlog' cases (those which had already exceeded their determination times from 2019) were also progressed and determined.

Certificates of Lawful Development Performance

99.7% (286 out of 287) of all 'certificates of lawful development' applications determined 'within time' 1 July 2020 to 31st January 2021.

There are no national benchmark indicators for the timely determination of certificates of lawful development but there is a KPI set by LBBDD to Be first that 80% of all decisions should be within time.

Prior Notifications Performance

100% (341 out of 341) of all 'non-major' applications determined 'within time' 1 July 2020 to 31st January 2021.

There are no national benchmark indicators for the timely determination of prior notifications but where decisions are not made within time 'deemed consent' is granted for most prior notification types.

Understanding Key National Performance Indicators

Each quarter, MHCLG publish performance league tables for all 342 Local Authorities in England. This data is used to determine the overall performance of each Local Planning Authority for its timely determination of planning applications, and where minimum thresholds are not met, the Local Planning Authority can lose its decision-making powers and be placed into 'serious weaknesses'. All league tables are based on the average performance of the local planning authority for the preceding 24 month period.

There are two key tables;

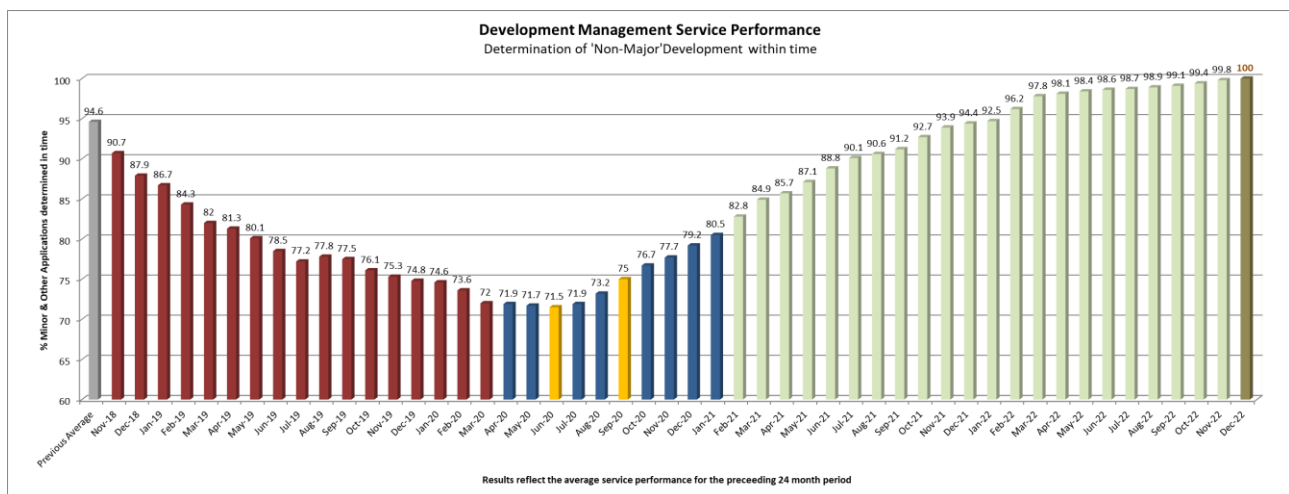
Table 151 which relates to the determination of 'Major' developments, and

Table 153 which relates to the determination of 'Non-major' developments.

There is an expectation that 100% of all major planning applications will be determined 'within time'. This means either within 13/16 weeks (the statutory deadlines) or any extended agreement made between the Applicant and the Local Planning Authority. Whilst useful this table is not a good indicator of overall performance and is heavily skewed by smaller authorities who may only determine 2-5 major applications per year.

Table 153 however provided performance data on the timely determination of non-major developments. This means either 8 weeks (the statutory deadline) or any extended agreement made between the Applicant and the Local Planning Authority. This table does provide a useful indicator (albeit there is some skewing of data) of the overall performance of a planning service.

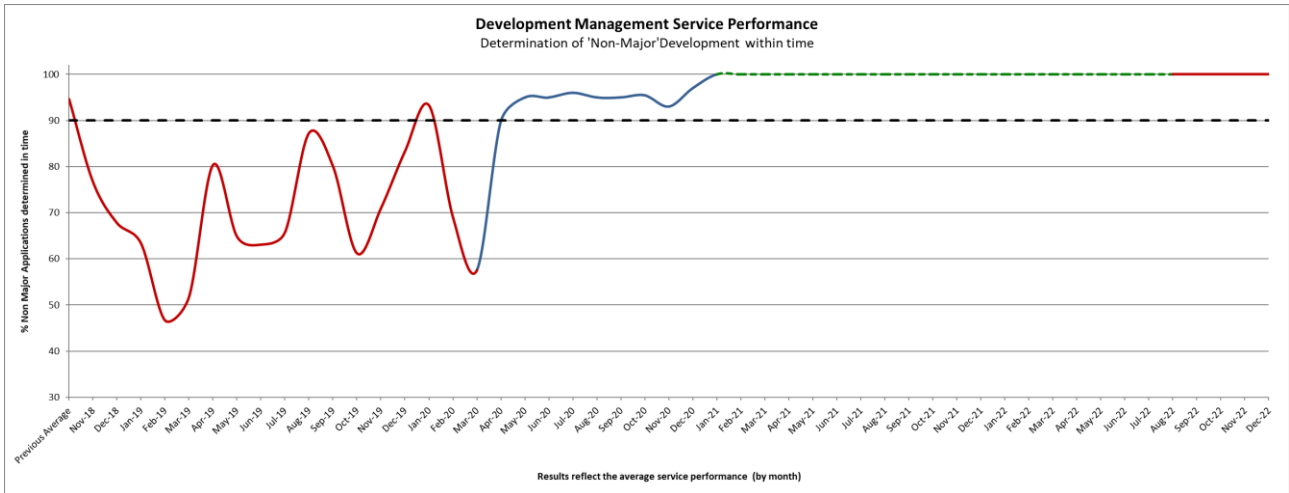
The graph below represents Development Management service performance for the determination of 'Non-Major' applications in accordance with MHCLG reporting criteria. Each bar below represents the cumulative average performance of the previous 24 months. (e.g. 'Oct 20' below returns data for Nov 2018 - Oct 2020)



- The bars above in red represent historic performance of the team until the end of Q4 2019-2020.
- The bar in yellow represents the performance of the team published by MHCLG.
- (to note that MHCLG performance data always runs 3 months behind and is published quarterly)
- The bars in blue represent confirmed performance based on monthly performance data.
- The bars in green represent a 'best-case' projection for future improvements in performance

The above 'best case' projections are based on the determination of an average number (based on numbers from the previous year) of applications at 100% in time for each future month. Competition at the top of the table is tight and to get into the top 10 nationally performance would need to be maintained at 100% in time for a continual period of 24 months.

The graph on the following page shows the timely determinations of non-major applications by the team on a month-by-month basis. The red, blue and green colours align with those in the previous graph.

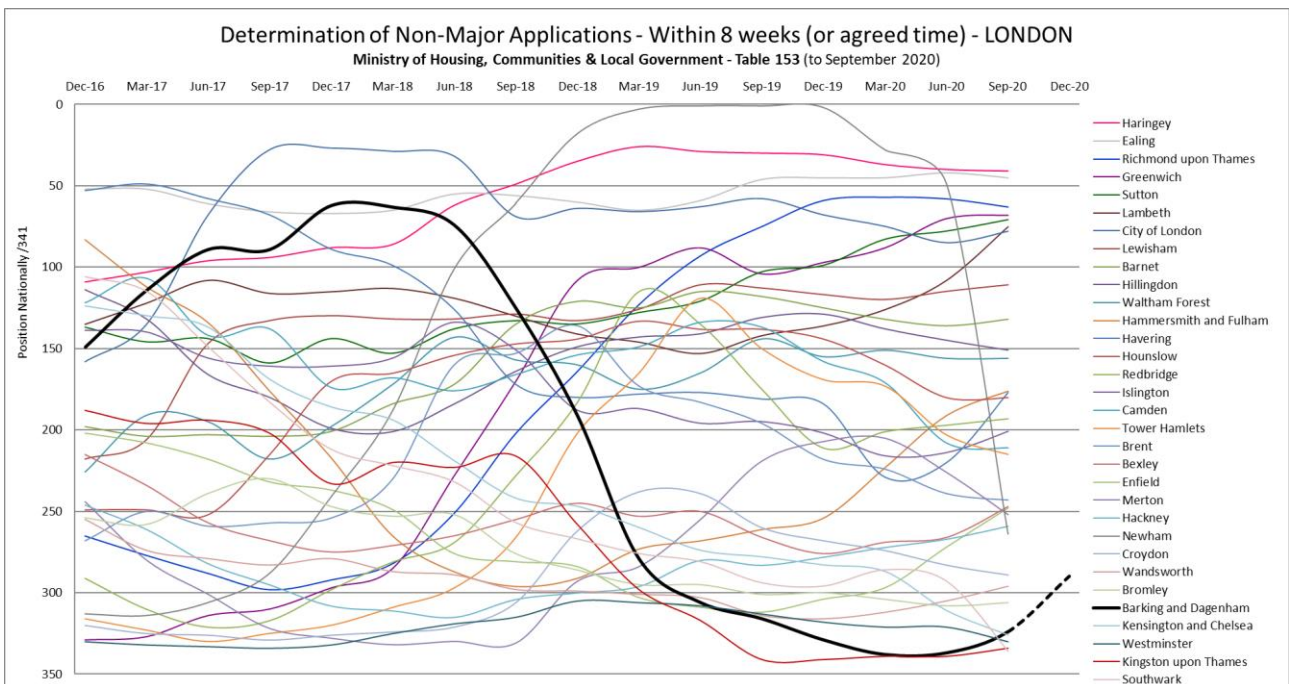


The above graph shows that since April 2020 over 90% of all non-major decisions issued each month have been issued within time. All new applications were determined within time, but it has taken the team 7 months to clear through over 400 backlog cases and some of these had to be issued out of time.

The entire backlog of applications was cleared prior to Christmas 2020 and our performance figures for January 2021 were 100% on all indicators. This places us joint **1st nationally** and a clear **1st in London**.

London wide comparison on MHCLG data

Positions and trends by each Local Authority within London (by quarter since December 2016 to September 2020) is shown below. Performance at LB Barking and Dagenham (black line) is now on a significant upturn.



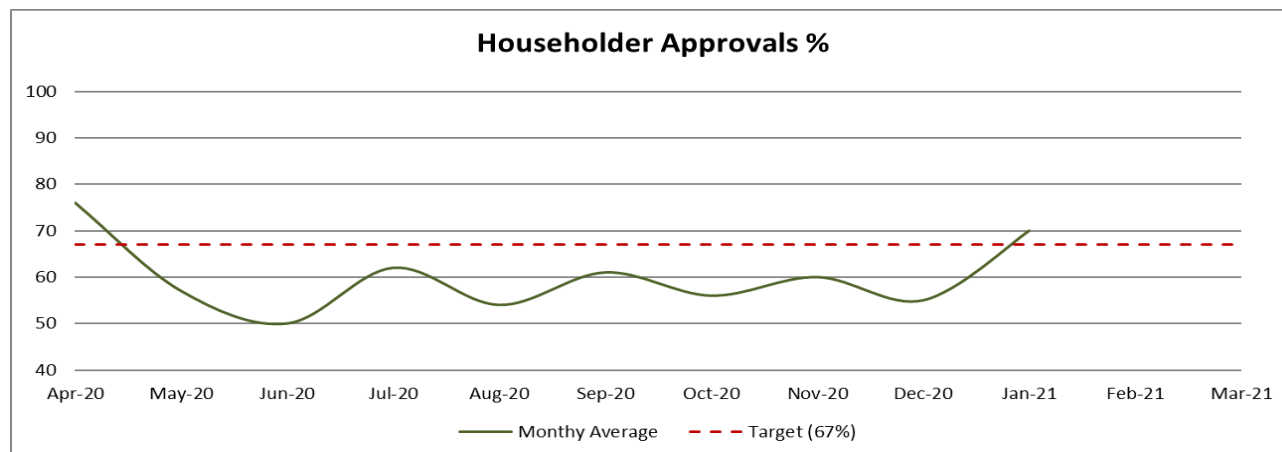
The performance figures for December 2020 are not published until late March 2021 but the dotted line represents the performance returns for Q3 2020-2021 which Be First on behalf of LBBDD have returned.

Summary of Decisions Taken (1st July 2020 to 31st January 2021)

Application Type	% Approved Lawful Prior Approval Not Required Prior Approval Granted	% Refused Not Lawful Prior Approval Refused No Decision Taken
Major Developments	100% (18 out of 18)	0% (0 out of 0)
Householder – HSE <i>(further detail below)</i>	59% (233 out of 396)	41% (163 out of 396)
All other 'FULL' planning applications	41% (91 out of 220)	59% (129 out of 220)
Certificates – CLUP/E	83% (238 out of 288)	17% (50 out of 288)
Prior approval for larger home extensions - PRIEXT	74% (214 out of 288)	26% (74 out of 288)
Prior approval for telecoms - PRICOM	53% (16 out of 30)	47% (14 out of 30)
Advertisements - ADVERT	100% (7 out of 7)	0% (0 out of 0)
Approval of Details - AOD	95% (104 out of 109)	5% (5 out of 109)
Works to Protected Trees - TPO	91% (10 out of 11)	9% (1 out of 11)

Householder Application breakdown

Through the period 1 July 2020 to 31st January 2021 only 59% of Householder applications have been approved. This is significantly lower than neighbouring authorities and presents a higher number of appeals being made. Larger housing typologies within the borough (e.g larger plots and gardens, Becontree) result in the receipt of some very inappropriate schemes which have no planning merit. On receipt only circa 40% of applications could be approved and it takes significant officer resource through seeking revised plans to increase the number of approvals. I have set officers the target of 67% approvals moving forwards.



Shortlist of 20 decisions selected by the Sub-Committee for review

The following table provides a key summary of the 20 randomly selected applications determined within the period of 1 July 2020 to 31st January 2021 out of a total of 1439 decisions issued. The applications are listed in date order of the date of the decision being issued. The Sub-Committee will select 5-10 of the reports below for a further detailed review and the outcome of this will be summarised on the following pages and reported back to the Full Planning Committee following this review.

App. Ref:	Address:	Decision:	Within Statutory period?	Within time agreed?
17/00826/CDN	Wellgate Farm Housing Dev.	Approved	No	Yes - Backlog
18/02051/FUL	30 Thames Road	Refused	No	No – Backlog
19/01105/FUL	117 Victoria Road	Approved	No	Yes - Backlog
19/01910/FUL	171 Dagenham Road	Refused	No	No – Backlog
20/00272/FUL	4 Dronfield Gardens	Approved	No	Yes - Backlog
20/01063/CLUP	482 Lodge Avenue	Lawful	Yes	n/a
20/01149/PRIEXT	253 Grafton Road	Refused	Yes	n/a
20/01241/PRIEXT	202 Hedgemans Road	Approved	Yes	n/a
20/01358/HSE	16 Fourth Avenue	Approved	Yes	n/a
20/01483/PRIEXT	12 Nutbrowne Road	Approved	Yes	n/a
20/01586/PRICOM	Rainham Road North	Refused	Yes	n/a
20/01639/HSE	103 Bentry Road	Approved	Yes	n/a
20/01774/AOD	Job Centre, Chequers Lane	Approved	Yes	n/a
20/01914/PRIEXT	30 Sterry Gardens	Approved	Yes	n/a
20/02023/PRIADC	11 Dowletts Road	Refused	Yes	n/a
20/02158/CLUP	21 Beresford Gardens	Lawful	Yes	n/a
20/02282/NONMAT	217 Padnall Road	Approved	Yes	n/a
20/02453/FULL	70 Stamford Road	Approved	Yes	n/a
20/02496/HSE	16 St Georges Road	Approved	Yes	n/a
21/00106/COM	Enterprise House Curzon Cres.	Lawful	n/a	n/a

Further Detailed Review To be completed during the sub-committee review

Appendix 1 contains a bundle of all 20 shortlisted applications for review and provides for each application a copy of;

- Overview title page
- Key Drawings
- Officer Delegated Report
- Decision Notice

The following tables record a summary of the performance and quality indicators for each application the Sub-Committee considered in further detail.

App. Ref:		Date Received:			
App. Address:		Date Determined:			
Proposal:					
Time Taken (weeks)	Within statutory period or agreed time?	Correct planning history noted?	Correct policies applied?	Officer report published to file?	Decision notice published to file?
<p>Summary of Quality & Comments of the Sub-Committee:</p> <ul style="list-style-type: none"> • Summary here 					

Overview of Appeals (1 July 2020 to 31st January 2021)

The number of appeals made and received in a period do not directly reflect the decisions taken within the relevant period. As a result of the pandemic and delays at the planning inspectorate, all appeal decisions received in the period 1 July 2020 to 31st January 2021 were not determined in this period. Some decisions received related to planning decisions taken in 2019.

Likewise, new appeals made do not directly reflect the decisions taken within the relevant period as an applicant has a period of 6 months to make their appeal following receipt of a decision.

New Appeals Received

The following table provides a breakdown of all new appeals made through the period 1 July 2020 to 31st January 2021

<i>Appeal Type</i>	<i>Total Number Received</i>	<i>Appeal format</i>
Refusal of Permission	66	41 – Written representations 25 – Householder
Non-determination	3	3 – Written representations
Conditions	1	1 – Written representations
Enforcement	8	Format not recorded

None of the above appeals received have yet been determined by the Planning Inspectorate. Current delays have extended the Householder ‘fast-track’ determination period of 12 weeks to over 20 weeks. Further, written representation appeals are now considerably over 26 weeks between an appeal being made and a decision received.

Whilst decisions issued in the period 1 July 2020 to 31st January 2021 are not a direct indicator of the number of appeals received, they do provide a useful benchmark for comparison.

Relevant applications refused: **292** (163 HSE + 129 FULL)

Number of appeals received: **70** (25 HSE + 43 FULL + (1 ADVERT, 1 PRIEXT))

Providing an indicative extrapolation of data, the above demonstrated that 24% of current refusals are being appealed. Whilst 38/129 ‘FULL’ decisions related to conversions of family homes to flats or HMO’s, the overall level of appeals received are extremely high and places a significant burden on the Planning Team.

This is in part due to having to place some reliance on an outdated local plan whilst the new plan continues to emerge and an outdated Householder Supplementary Planning Document. Both documents have in parts been surpassed by relaxations in permitted development. However, the high number of refusals is substantially as a result of the number of exceptionally poor-quality planning applications the Council receives.

Planning Appeals Determined

The following table provides a breakdown of the planning appeal decisions received through the period 1 July 2020 to 31st January 2021. The national average for England is 66% appeals dismissed, whilst London is 61%. This summary does not include appeal decisions received on Enforcement cases as these are not monitored by Be First.

<i>Total Decisions Received</i>	<i>Decisions Dismissed</i>	<i>Decisions Allowed</i>
34	71% (24 out of 34)	29% (10 out of 34)

A summary of all 10 ‘allowed’ appeals is provide on the following pages.

Summary of each Allowed Planning Appeal

A copy of all Planning Inspectorate planning appeal decisions (in full print form) can be found at Appendix 2.

Appeal Ref:	APP/Z5060/D/19/3241932	Planning App Ref:	19/01254/FUL
Appeal Address:	40 Julia Gardens	Planning App (decision date)	24th June 2019
Proposal:	The erection of an ancillary granny annexe		
<p>In allowing the above appeal, the Inspector found the proposed 'ancillary granny annexe' at 40 Julia Gardens to accord with the development plan. The Inspector held that the lack of self-contained facilities and its proximity to the main house provided satisfaction that the annex would and could only be used as ancillary accommodation to the main dwelling. The inspector found no harm to neighbouring amenity.</p> <p><i>The Local Planning Authority note the decision but politely find on balance against the Inspector.</i></p>			

Appeal Ref:	APP/Z5060/W/20/3247697	Planning App Ref:	19/01534/FUL
Appeal Address:	114 Arnold Road	Planning App (decision date)	3 February 2020
Proposal:	Construction of two-bedroom end-of-terrace house		
<p>In allowing this appeal within the Becontree estate, the planning inspector found on balance that the proposed development would not appear uncharacteristic or notably at odds with the pattern of development in general.</p> <p><i>The position is noted and has been considered in the alternative on subsequent and more recent proposals.</i></p>			

Appeal Ref:	APP/Z5060/H/20/3246667	Planning App Ref:	19/01808/ADV
Appeal Address:	Land immediately south of 678 Rainham Road South	Planning App (decision date)	7 February 2020
Proposal:	<i>Appeal against the imposition of a condition – Advert Appeal</i>		
<p>In allowing this appeal against the imposition of a planning condition requiring the removal of the advert at the end of the permitted 5-year period, the Inspector found the condition unnecessary and unjustified by the officer in the report. We sought to justify at appeal, but the Inspector politely reminded the LPA it can't add such justification only at the appeal stage.</p> <p><i>Decisions of this quality are no longer representative of Be First delegated reports.</i></p>			

Appeal Ref:	APP/Z5060/D/20/3245035	Planning App Ref:	19/01355/FUL
Appeal Address:	67 Oval Road North	Planning App (decision date)	15 August 2019
Proposal:	Two storey side extension with matching hipped roof		
<p>In allowing this appeal, the Inspector could find no reason not to approve the decision.</p> <p><i>Decisions of this quality are no longer representative of Be First delegated reports.</i></p>			

Appeal Ref:	APP/Z5060/D/19/3243586	Planning App Ref:	19/01392/FUL
Appeal Address:	328 Goresbrook Road	Planning App (decision date)	18 November 2019
Proposal:	Resubmission – proposed double storey side extension		
<p>In allowing the appeal the Inspector found that the reason for refusal did not substantiate grounds for refusal given that the Officer assessment had not engaged with the pattern of development within the locality. This is very much an on-balance decision which could have been strengthened with a tighter report and reason for refusal. Notwithstanding the decision was only refused against local policies.</p> <p><i>Overall disappointing but we are working hard to narrow reasons for refusal and for elements of harm to be clearly articulated within officer reports.</i></p>			

Appeal Ref:	APP/Z5060/D/20/3254596	Planning App Ref:	20/00336/FUL
Appeal Address:	194 Downing Road	Planning App (decision date)	1 May 2020
Proposal:	Dormer Loft conversion		
<p>In allowing this appeal within the Becontree estate the planning inspector found the Councils position to be incorrect. I have reviewed the decision and the Councils position is not incorrect, but our descriptive reasoning could have been a little clearer. The inspector here has apportioned clear weight to the fact that the development had already been constructed.</p> <p><i>A generally poor decision but one which we can take a learning point away from noting enforcement history.</i></p>			

Appeal Ref:	APP/Z5060/D/20/3252112	Planning App Ref:	20/00066/FUL
Appeal Address:	131 Third Avenue	Planning App (decision date)	12 March 2020
Proposal:	Erection of part single/part two storey rear extension		
<p>In allowing this appeal the Inspector found that whilst the 6.8m deep proposed ground floor extension conflicted with the Councils adopted SPG, they found that it would present itself as subservient to the dwelling and would not prejudice the amenity of immediate neighbours. The reasons for refusal here did not tie tightly to the delegated report and have allowed the planning inspector too much latitude in their consideration.</p> <p><i>Notwithstanding, this is a significant extension and the position on neighbourliness from an extension of such a size is a firm line set by LBBDD.</i></p>			

Appeal Ref:	APP/Z5060/X/19/3243122	Planning App Ref:	19/01417/CLU_E
Appeal Address:	104 Glenny Road	Planning App (decision date)	18 November 2019
Proposal:	Amendment of house into 2 separate self-contained flats.		
<p>The Council's reason for refusing to grant an LDC referred to whether "the outbuilding" had been in use as a self-contained flat for at least 4 years. However, nothing described in the appellant's evidence or on drawing 455/01 showed an outbuilding, the LDC was sought in respect of 2 self-contained flats within the main building'</p> <p><i>In short, the officer report and decision notice were critically flawed, and the inspector considered the application on the facts before them. There is little ambiguity in the evidence given very little was submitted but the Council had nothing to counter and took a decision contrary to Planning Practice Guidance). A poor decision on the part of LBB/Be First here including a subsequently issued enforcement notice which remains extant but needs closing off.</i></p>			

Appeal Ref:	APP/Z5060/D/20/3251417	Planning App Ref:	20/00185/FUL
Appeal Address:	39 Greatfields Road	Planning App (decision date)	31 March 2020
Proposal:	First Floor Rear Extension		
<p>In allowing this appeal the planning inspector considered the application solely on its merit and had no regard to the previous inspectorate dismissal at the same site for the previous larger scheme. Officers apportioned weight to the findings of harm of the previous inspector decision as would be entirely correct. However the inspector is within their rights to consider this solely on the merits of the current proposal and found the reductions to be acceptable, whilst noting no other properties within the locality have such extensions.</p> <p><i>A disappointing decision</i></p>			

Appeal Ref:	APP/Z5060/W/20/3258276	Planning App Ref:	19/01336/FUL
Appeal Address:	60 Arden Crescent	Planning App (decision date)	15 June 2020
Proposal:	Fitting of 4 CCTV cameras recording property grounds		
<p>In allowing this appeal the planning inspector considered the application in their view met an acceptable balance between the need for security against an appearance of an unsafe neighbourhood. The Inspector also found that despite neighbour concerns, the proposal would not have a materially harmful effect on the living conditions of the occupiers of neighbouring dwellings with particular reference to privacy.</p> <p><i>This refusal sets no precedent and in this case was safer for the Council to have been granted on appeal.</i></p>			

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Appendix 1

Performance Review Sub-Committee



Performance Review Sub-Committee

16th February 2021

Sample Selection Number:

1

Application Reference:

17/00826/CDN

Application Description:

Application for approval of details reserved by conditions 11 (Schedule of Landscape Maintenance), 25 (Drainage Strategy) and 26 (Surface Water Drainage Scheme) in respect of planning permission 11/01015/FUL.

Decision:

Approved



Rev	Date	Amendments
A	21.09.10	Phase 2 added
B	07.09.11	General amendments
C	11.10.11	General amendments
D	28.10.11	General amendments
E	31.10.11	General amendments
F	30.03.12	General amendments
G	05.04.12	General amendments
H	24.04.12	General amendments
J	08.05.12	Issued for planning
K	29.08.16	Amended Siteplan
L	07.09.16	Amended Siteplan

- Low hedge to new road
- Porous Tarmac carriageway
- New Dropped Curb
- 1.5 x 1.0 m Green Metal Electrical Kiosk
- Existing Fence Retained
- New Dropped Curb

HEDGES to be Low LEVEL

1.8m Close Boarded Timber Fencing BETWEEN GARDENS

Note:
126 Parking Spaces
89 Garages



Client:
Ecogrove Homes Ltd
Project:
EcoGrove
Collier Row Road

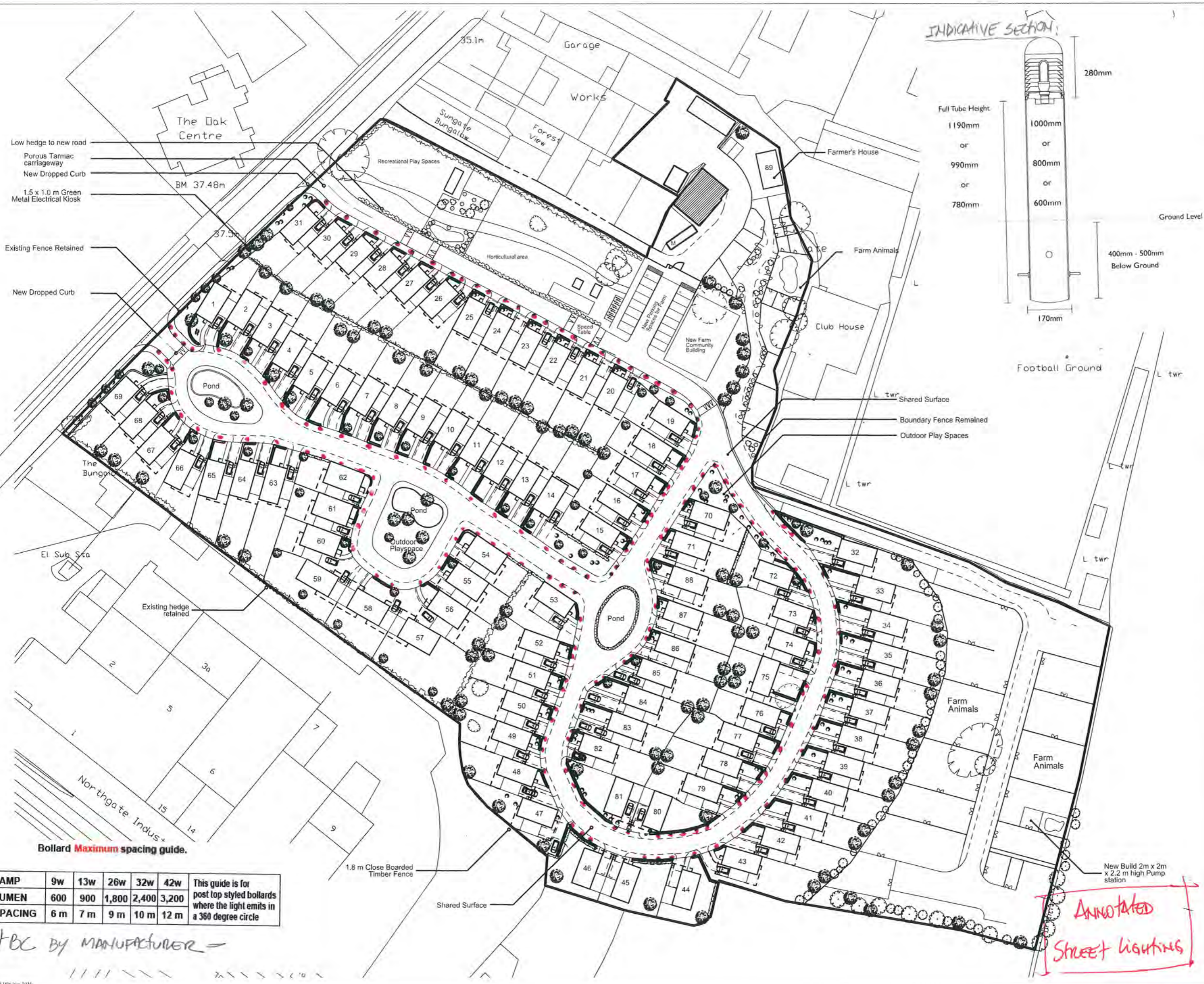
Drawing Title:
Site plan

Issued for:	Drawn by:	Checked by:
PLANNING		
Drawing Number:	Rev:	
230_P_010	L	
Created:	Scale:	
30.07.09	1:500 @ A1 & 1:1000 @ A3	

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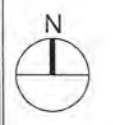
[UNNOTATED]



Rev	Date	Amendment
A	21.09.10	Phase 2 added
B	07.09.11	General amendments
C	11.10.11	General amendments
D	28.10.11	General amendments
E	31.10.11	General amendments
F	30.05.12	General amendments
G	05.04.12	General amendments
H	24.04.12	General amendments
J	08.05.12	Issued for planning
K	25.06.16	Amended Section
L	07.09.16	Amended Section

• **LOW LEVEL BOLLARDS STREET LIGHTING MAX 10m SPACING**

Note:
126 Parking Spaces
89 Garages



Client:
Ecogrove Homes Ltd
Project:
EcoGrove
Collier Row Road

Drawing Title:
Site plan

PLANNING

Drawing Number:
230_P_010

Created:
30.07.09

Scale:
1:500 @ A1 & 1:1000 @ A3

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Delegated Report

Application for Approval of Details Reserved by Condition

Case Officer:	Harry Moorhouse	Valid Date:	05 July 2017
Application Number:	17/00826/CDN	Recommended Date:	17 December 2020
Deemed Discharge Notice:	NO		
Address:	Wellgate Farm Housing Development Collier Row Road, Chadwell Heath, Barking And Dagenham,		
Proposal:	Application for approval of details reserved by conditions 11 (Schedule of Landscape Maintenance), 25 (Drainage Strategy) and 26 (Surface Water Drainage Scheme) in respect of planning permission 11/01015/FUL.		

ASSESSMENT

Condition 11 - Landscape Maintenance

No development shall take place until a schedule of landscape maintenance for a minimum period of 5 years has been submitted to and approved in writing by the Local Planning Authority. The schedule shall include details of the arrangements for its implementation and the development shall be carried out in accordance with the approved schedule.

Reason: To secure the provision and retention of the landscaping in the interests of the visual amenity of the area and in accordance with policy BP11 of the Borough Wide Development Policies Development Plan Document and Section 197 of the Town and Country Planning Act 1990.

Details Submitted and APPROVED:	<ul style="list-style-type: none"> Document - ECOGROVE HOMES LIMITED - 5 YEAR MAINTENANCE PLAN - Dated: 17/03/2020
Details Submitted for information and NOT APPROVED:	<ul style="list-style-type: none"> N/A
Officer Assessment:	<p>The Applicant has submitted information detailing all the requirements set out within the Condition.</p> <p>The Planning Officer has reviewed the submission and is satisfied that the details of the landscape maintenance plan are acceptable for a minimum period of 5 years with details of implementation arrangements and schedules. As such, it is recommended that the details submitted pursuant to Condition 11 of 11/01015/FUL dated 3rd May 2013 can be approved.</p>
Officer Recommendation:	APPROVE
Conditions and Reasons:	<p>The development shall be implemented in accordance with the Details Submitted and APPROVED listed above only.</p> <p><i>Reason: To secure the provision and retention of the landscaping in the interests of the visual amenity of the area and in accordance with policy BP11 of the Borough Wide Development Policies Development Plan Document and Section 197 of the Town and Country Planning Act 1990.</i></p>

Condition 25 - Drainage Strategy

Prior to the commencement of the development a drainage strategy shall be submitted to and approved in writing by the local planning authority. The strategy shall be in accordance with the submitted Flood Risk Assessment (FRA) dated November 2011, reference number 408.3149.00001, compiled by SLR Global Environmental Solutions and the following mitigation measures detailed within the FRA:

- Finished floor levels are set no lower than 150mm above finished ground level increasing to 300mm immediately adjacent to any designated overland flow route (Section 4.1, page 10).
- Provision of a 3.0 to 5.0m undeveloped buffer strip along the top of bank of any ordinary watercourses or land drainage ditch (Section 4.5, page 10).
- Surface water attenuation storage will be provided in open balancing ponds, porous paving on driveways, herringbone block paving for the main internal streets, rainwater harvesting on residential dwellings and underground storage tanks with any

additional storage provided in the form of shallow, informal bio retention basins (Section 5.2 page 12).

- Surface water discharge rates restricted to as small a rate as practicable and to no more than 85 litres per second for the 1:30 year event and 130 litres per second for the 1:100 year event, with an allowance for climate change (Section 5.3, Table 7, page 14).

The approved mitigation measures shall be fully implemented prior to occupation and subsequently in accordance with the timing/phasing arrangements embodied within the scheme, or within any other period as may subsequently be agreed, in writing, by the local planning authority.

Reason: To prevent flooding by ensuring the satisfactory storage and disposal of surface water from the site and to reduce the risk of flooding to the proposed development, future occupants and to surrounding areas and in accordance with policy CR4 of the Core Strategy.

Details Submitted and APPROVED:	<ul style="list-style-type: none"> • Document: Surface Water & Foul Water Drainage Strategy - SLR Ref: 408.06827.00001 - Version No: 3 - Dated: May 2017
Details Submitted for information and NOT APPROVED:	<ul style="list-style-type: none"> • N/A
Officer Assessment:	<p>The Applicant has submitted information detailing all the requirements set out within the Condition.</p> <p>The LBBD Flood Risk Manager has reviewed the submission and is satisfied that the details of the drainage strategy are acceptable. As such, it is recommended that the details submitted pursuant to Condition 25 of 11/010115/FUL dated 3rd May 2013 can be approved.</p>
Officer Recommendation:	APPROVE
Conditions and Reasons:	<p>The development shall be implemented in accordance with the Details Submitted and APPROVED listed above only.</p> <p><i>Reason: To prevent flooding by ensuring the satisfactory storage and disposal of surface water from the site and to reduce the risk of flooding to the proposed development, future occupants and to surrounding areas and in accordance with policy CR4 of the Core Strategy.</i></p>

Condition 26 - Surface Water Drainage Scheme

No development shall take place until a surface water drainage scheme for the site, based on sustainable drainage principles and an assessment of the hydrological and hydro geological context of the development, has been submitted to and approved in writing by the local planning authority. The drainage strategy should demonstrate the surface water run-off generated up to and including the 1:100 year +20% critical storm will not exceed the run-off from the undeveloped site following the corresponding rainfall event. The scheme shall subsequently be implemented in accordance with the approved details before the development is completed. The scheme shall also include: Details of how the scheme, including any underground attenuation storage features shall be maintained and managed after completion. No discharge of foul or surface water from the site shall be accepted into the public system until the drainage works referred to in the strategy have been completed.

Reason: To prevent the increased risk of flooding, both on and off site and in accordance with policy CR4 of the Core Strategy.

Details Submitted and APPROVED:	<ul style="list-style-type: none"> • Document: Surface Water & Foul Water Drainage Strategy - SLR Ref: 408.06827.00001 - Version No: 3 - Dated: May 2017
Details Submitted for information and NOT APPROVED:	<ul style="list-style-type: none"> • N/A
Officer Assessment:	<p>The Applicant has submitted information detailing all the requirements set out within the Condition.</p> <p>The LBBD Flood Risk Manager has reviewed the submission and is satisfied that the details of the surface water drainage scheme are acceptable. As such, it is recommended that the details submitted pursuant to Condition 26 of 11/010115/FUL dated 3rd May 2013 can be approved.</p>
Officer Recommendation:	APPROVE
Conditions and Reasons:	<p>The development shall be implemented in accordance with the Details Submitted and APPROVED listed above only.</p> <p><i>Reason: To prevent the increased risk of flooding, both on and off site and in accordance with policy CR4 of the Core Strategy.</i></p>

APPENDIX 1

Development Plan Context	
The Council's decision in this instance arose following careful consideration of the relevant provisions of the Council's adopted development plan and of all other relevant material considerations. Of particular relevance to this decision were the following Framework and Development Plan policies:	
National Planning Policy Framework (NPPF) (MHCLG, February 2019)	
The London Plan: Spatial Development Strategy for London (GLA, consolidated with alterations since 2011, published March 2016)	N/A
<i>The Mayor of London's Draft London Plan - Intend to Publish version December 2019 is under Examination. Having regard to NPPF paragraph 48 the emerging document is a material consideration and appropriate weight will be given to its policies and suggested changes in decision-making, unless other material considerations indicate that it would not be reasonable to do so.</i>	
Draft London Plan (Intend to Publish version December 2019)	N/A
Local Development Framework (LDF) Core Strategy (July 2010)	Policy CR4
Local Development Framework (LDF) Borough Wide Development Plan Document (DPD) (March 2011)	Policy BP11
<i>The London Borough of Barking and Dagenham's Draft Local Plan: (Regulation 19 Consultation Version, October 2020) is at an "advanced" stage of preparation. Having regard to NPPF paragraph 216 the emerging document is now a material consideration and substantial weight will be given to the emerging document in decision-making unless other material considerations indicate that it would not be reasonable to do so.</i>	
The London Borough of Barking and Dagenham's Draft Local Plan (Regulation 19 Consultation Version, October 2020)	N/A

APPENDIX 2

Consultations		
<i>Consultee:</i>	<i>Date Consulted:</i>	<i>Summary of response:</i>
LBBD Flood Risk Manager	24/11/2020	I've reviewed the documents and, from the information provided, all appears to be satisfactory.

INFORMATIVE

In dealing with this application, the London Borough of Barking and Dagenham has implemented the requirements of the National Planning Policy Framework and of the Town and Country Planning (Development Management Procedure) (England) Order 2015 to work with the applicant in a positive and proactive manner. As with all applicants, we have made available detailed advice in the form of our statutory policies in the relevant constituent parts of the Local Plan and London Plan, Supplementary Planning documents, and all other Council guidance, as well as offering a full pre-application advice service, so as to ensure that applicant has been given every opportunity to submit an application which is likely to be considered favourably.

LBBB Reference: 17/00826/CDN

Ecogrove Homes Ltd
The Garden Centre
Collier Row Road
Romford
Essex
RM5 2BH

fao: Mr C Grover

**TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND) ORDER 2015 (AS
AMENDED)**

Dear Sir / Madam,

Application Number: 17/00826/CDN
Address: Wellgate Farm Housing Development Collier Row Road, Chadwell Heath, Barking
And Dagenham,
Development Description: Application for approval of details reserved by conditions 11 (Schedule of
Landscape Maintenance), 25 (Drainage Strategy) and 26 (Surface Water Drainage
Scheme) in respect of planning permission 11/01015/FUL.

Thank you for your recent application at the above address on which a decision has now been made. The decision on your application is attached. Please carefully read all of the information contained in these documents.

Please quote your application reference number in any correspondence with the Council.

Yours sincerely,

[Graeme Cooke](#)

Graeme Cooke
Director of Inclusive Growth
London Borough of Barking and Dagenham

PLANNING DECISION NOTICE

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED) TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND) ORDER 2015 (AS AMENDED)

Agent:
Applicant: Ecogrove Homes Ltd
The Garden Centre
Collier Row Road
Romford
Essex
RM5 2BH

fao: Mr C Grover

PART 1 - PARTICULARS OF THE APPLICATION

Application Number: 17/00826/CDN
Application Type: Application for Approval of Details Reserved by Condition
Development Description: Application for approval of details reserved by conditions 11 (Schedule of Landscape Maintenance), 25 (Drainage Strategy) and 26 (Surface Water Drainage Scheme) in respect of planning permission 11/01015/FUL.
Site Address: Wellgate Farm Housing Development Collier Row Road, Chadwell Heath, Barking And Dagenham,
Date Received: 19 May 2017
Date Validated: 05 July 2017

PART 2 - PARTICULARS OF THE DECISION

The London Borough of Barking and Dagenham, as Local Planning Authority, in pursuance of its powers under the above mentioned Act, Rules, Orders and Regulations made thereunder, hereby gives notice with respect to your submission of details pursuant to planning permission 11/01015/FUL issued on 03/05/2013.

The details submitted in respect of condition(s) 11, 25 and 26 and identified within the accompanying Officer Report are **APPROVED**, subject to the conditions and reasons stated within the said Officer Report.

Working with the applicant:

In dealing with this application, Be First, working in partnership with the London Borough of Barking and Dagenham, has implemented the requirements of the National Planning Policy Framework and of the Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended) to work with the Applicant in a positive and proactive manner. As with all applicants, Be First has made available detailed advice in the form of statutory policies and all other relevant guidance, as well as offering a full pre-application advice service, so as to ensure the applicant has been given every opportunity to submit an application which is likely to be considered favourably.

DATE OF DECISION: 22/12/2020

Yours sincerely,

[Graeme Cooke](#)

Graeme Cooke
Director of Inclusive Growth
London Borough of Barking and Dagenham

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)
Applicant's Rights following the Grant or Refusal of permission

1. Appeals to the Secretary of State

Should you (an applicant/agent) feel aggrieved by the decision of the council to either refuse permission or to grant permission subject to conditions, you can appeal to the Secretary of State for the Department of Communities and Local Government – Section 78 of the Town and Country Planning Act 1990 / Sections 20 and 21 of the Planning (Listed Building and Conservation Areas) Act 1990. Any such appeal must be made within the relevant timescale for the application types noted below, beginning from the date of the decision notice (unless an extended period has been agreed in writing with the council):

- **Six (6) months:** Full application (excluding Householder and Minor Commercial applications), listed building, conservation area consent, Section 73 'variation/removal', Section 73 'minor-material amendment', extension of time and prior approval applications.
- **Twelve (12) weeks:** Householder planning, Householder prior approval and Minor Commercial applications.
- **Eight (8) weeks:** Advertisement consent applications.
- **No timescale:** Certificate of lawful development (existing/proposed) applications.

Where an enforcement notice has been issued the appeal period may be significantly reduced, subject to the following criteria:

- The development proposed by your application is the same or substantially the same as development that is currently the subject of an enforcement notice: **28 days of the date of the application decision.**
- An enforcement notice is served **after the decision on your application** relating to the same or substantially the same land and development as in your application and if you want to appeal against the council's decision you are advised to appeal against the Enforcement Notice and to do so before the Effective Date stated on the Enforcement Notice.

Appeals must be made using the prescribed form(s) of The Planning Inspectorate (PINS) obtained from www.planning-inspectorate.gov.uk or by contacting 03034445000. A copy of any appeal should be sent both to PINS and the council (attn: Planning Appeals Officer).

The Secretary of State can allow a longer period for giving notice of an appeal but will not normally be prepared to use this power unless there are exceptional/special circumstances.

The Secretary of State can refuse to consider an appeal if the council could not have granted planning permission for the proposed development or could not have granted it without the conditions it imposed, having regard to the statutory requirements and provisions of the Development Order and to any direction given under the Order. In practice, it is uncommon for the Secretary of State to refuse to consider appeals solely because the council based its decision on a 'direction given by the Secretary of State'.

2. Subsequent Application Fees

No planning fee would be payable should a revised planning application be submitted within 12 months of the decision. This 'fee waiver' is permitted only where the new application meets the following criteria:

- the applicant is the same as the applicant of the original application
- site boundary is the same as the site boundary of the original application
- the nature of development remains the same.

3. Purchase Notices

Should either the council or the Secretary of State refuse permission or to grant permission subject to conditions, the owner may claim that the land cannot be put to a reasonably beneficial use in its existing state nor through carrying out of any development which has been or could be permitted. In such a case, the owner may serve a purchase notice on the council.

This notice will require the council to purchase the owner's interest in the land in accordance with the provisions of Part IV of the Town and Country Planning Act 1990 and Section 32 of the Planning (Listed Buildings Conservation Areas) Act 1990.

4. Compensation

In certain circumstances compensation may be claimed from the council if permission is refused or granted subject to condition(s) by the Secretary of State on appeal or on reference to the Secretary of State. These circumstances are set out in Section 114 and related provisions of the Town and Country Planning Act 1990 and Section 27 of the Planning (Listed Buildings and Conservation Areas) Act 1990.



Performance Review Sub-Committee

16th February 2021

Sample Selection Number:

5

Application Reference:

18/02051/FUL

Application Description:

Erection of single storey extension to provide cold rooms and a retail unit (Use Class A1) and the erection of a first floor extension to provide office accommodation.

Decision:

Refused

SITE SPECIFIC HAZARDS

IN ACCORDANCE WITH THE REQUIREMENTS OF THE CDM REGULATIONS 2007 THE FOLLOWING SIGNIFICANT RESIDUAL HAZARDS HAVE NOT BEEN DESIGNED OUT OF THIS PROJECT AND MUST BE TAKEN INTO CONSIDERATION BY CONTRACTORS PLANNING TO UNDERTAKE THE WORKS SHOWN ON THIS DRAWING:

Note: All dimensions shown on the drawings are indicative and should be checked prior to start of the works on site. It is the responsibility of the client to notify the Architect of any discrepancies

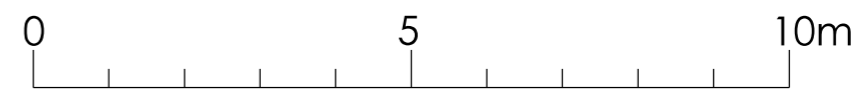


Existing Front Elevation

Page 24



Existing Side Elevation

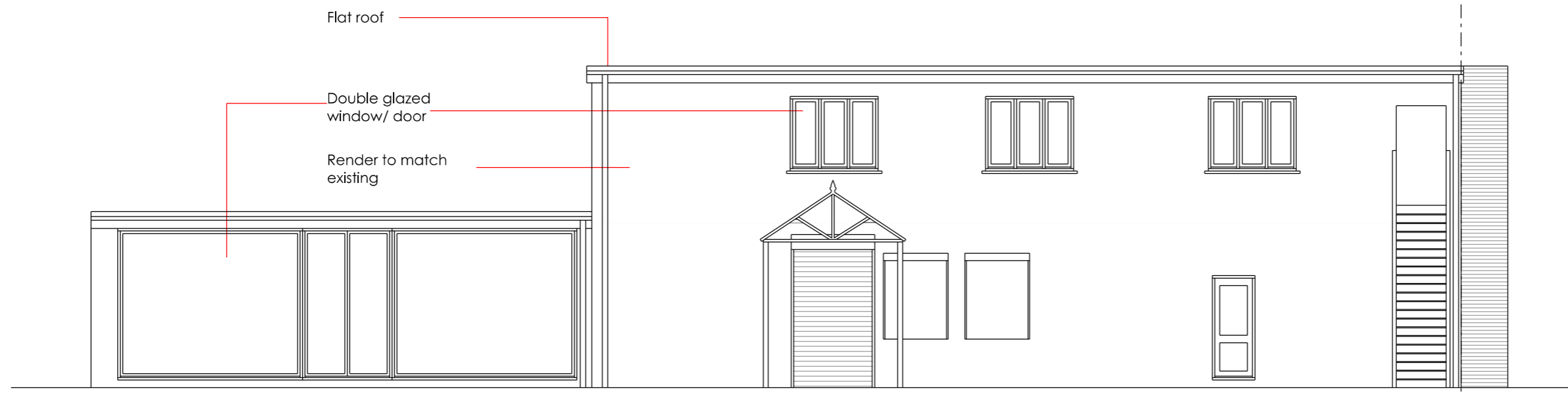


REV	DATE	NOTES	INIT.
CLIENT KASHMIR HALAL FOODS			
PROJECT PART FIRST FLOOR PART SINGLE STOREY EXTENSION AT 30 THAMES ROAD, BARKING IG11 0HZ			
DRAWING TITLE ELEVATIONS AS EXISTING			
STATUS PLANNING			
DATE	DRAWN	CHECK	SCALE @ A3
08.11.18	NM		1:100
PROJECT NUMBER	UNIT / BLOCK	CL / SP1 CODE	TYPE & NUMBER
150803			L 007
Site Location Plans	L	GA Plans	P
Sections	S	Details	D
Elevations	E	Party/Curtain	C
Marood Architects			
43 VINCENT ROAD, DAGENHAM, RM9 6AS			
T: 07737271335			
Email: info@marood-architects.com			
Web: www.marood-architects.com			

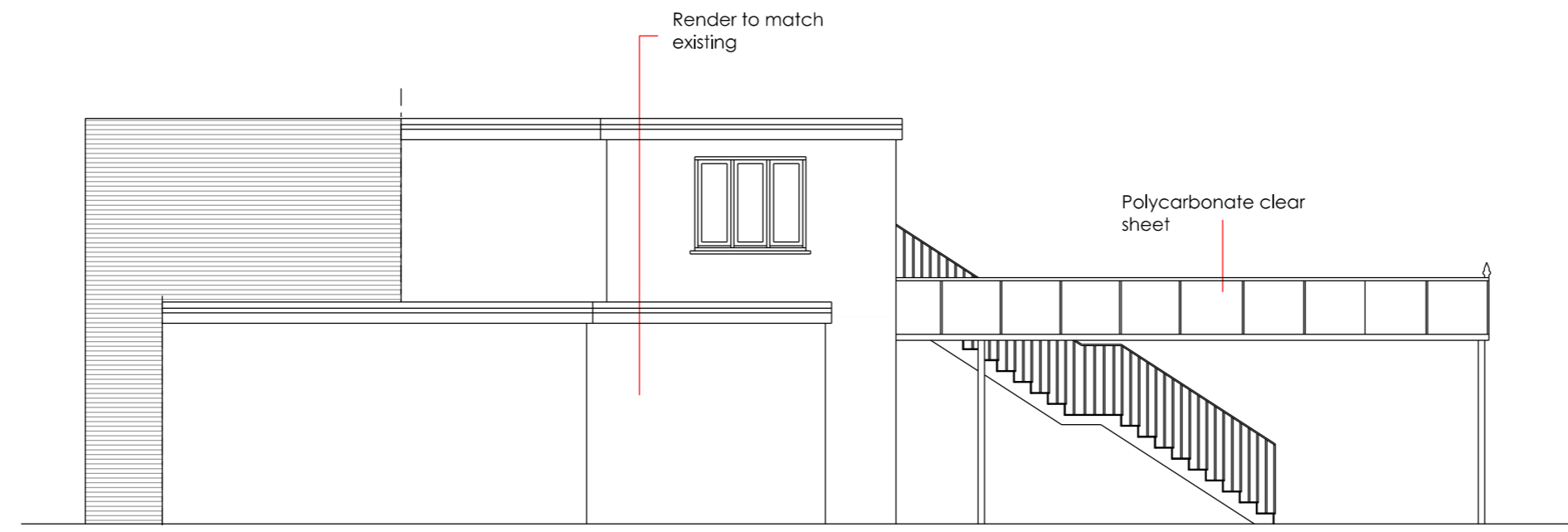
SITE SPECIFIC HAZARDS

IN ACCORDANCE WITH THE REQUIREMENTS OF THE CDM REGULATIONS 2007 THE FOLLOWING SIGNIFICANT RESIDUAL HAZARDS HAVE NOT BEEN DESIGNED OUT OF THIS PROJECT AND MUST BE TAKEN INTO CONSIDERATION BY CONTRACTORS PLANNING TO UNDERTAKE THE WORKS SHOWN ON THIS DRAWING:

Note: All dimensions shown on the drawings are indicative and should be checked prior to start of the works on site. It is the responsibility of the client to notify the Architect of any discrepancies



Proposed Front Elevation



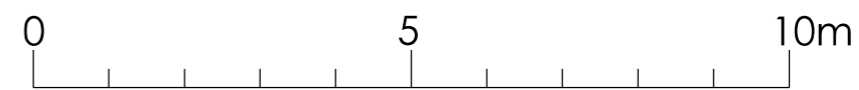
Proposed Side Elevation

REV	DATE	NOTES	INIT.
CLIENT KASHMIR HALAL FOODS			
PROJECT PART FIRST FLOOR PART SINGLE STOREY EXTENSION AT 30 THAMES ROAD, BARKING IG11 0HZ			
DRAWING TITLE ELEVATIONS AS PROPOSED			

STATUS PLANNING			
DATE 08.11.18	DRAWN NM	CHECK	SCALE @ A3 1:100
PROJECT NUMBER 150803	UNIT / BLOCK L	CU / SPH CODE 008	TYPE & NUMBER REVISION LETTER

150803 L 008

Marood Architects
43 VINCENT ROAD, DAGENHAM, RM9 6AS
T: 07737271335
Email: info@marood-architects.com
Web: www.marood-architects.com



Scale Bar 1:100

Delegated Report			
Application for Planning Permission			
Case Officer:	Kathryn McAllister	Valid Date:	19 November 2019
Officer Recommendation:	Refuse	Expiry Date:	14 January 2020
Application Number:	18/02051/FUL	Recommended Date:	28 August 2020
Address:	30 Thames Road, Barking, Barking And Dagenham, IG11 0HZ		
Proposal:	Erection of single storey extension to provide cold rooms and a retail unit (Use Class A1) and the erection of a first floor extension to provide office accommodation.		

Planning Constraints

Locally Significant Industrial Site

Site, Situation and Relevant Background Information

The application site is an existing industrial unit located on Thames Road. A previous application for the erection of single storey storage building, first floor extension to provide offices and accompanying external staircase (13/00804/FUL) was submitted and approved, however, it has now expired. This application seeks permission for the erection of a single storey rear extension to provide cold rooms and retail units and the erection of a first floor extension to provide office accommodation. It is different to 13/00804/FUL as in addition to the proposed extensions it seeks permission for a new retail unit.

Key Issues

- Principle of the Development
- Design and Quality of Materials
- Impacts to Neighbouring Amenity
- Sustainable Transport

ASSESSMENT

Principle of the Development

The NPPF, policy 2.17 of the London Plan and policies SD1, E5 and E6 of the Draft London Plan support decisions and policies which recognise and address specific location requirements of different sectors. Specifically, they seek to promote, manage and protect where appropriate strategic industrial locations (SILs) and locally significant industrial sites (LSIS). Enabling them to meet the needs of small and medium sized enterprises or new emerging industrial sectors by managing the types of uses and activities which occur in these locations. As such, development should not compromise the integrity or effectiveness of these locations in accommodating a hybrid of flexible combination of B1c, B2 and B8 uses. On a local level Policy CE3 of the Core Strategy DPD and policies SP3 and DM6 of the Draft Local Plan note developments which do not fall within these classes will only be supported if it can be proved that remaining part of the designated site will be intensely developed, as such the development will not result in the net loss of employment or industrial floorspace.

The Councils Proposal Map DPD (2012) shows the application site is within an locally significant industrial site, as such from the policies above it is evident that there is a clear motive to preserve industrial uses within this area. This application seeks permission for the construction of a first floor and ground floor extension to enlarge the available floor space. As shown on the proposed plans and stated on the application form the proposed extensions will replace existing container style structures to provide a more permanent building on site. At first floor level there are currently two containers which are used as office space, as this proposal seeks to remove these containers and re provide the office space within a more permanent building officers consider welcome the provision of B1 office space as it will not detract from the existing industrial use at this location but rather enhance the functionality of the space. As such officers consider the principle of development to be acceptable. Regarding the ground floor extension this will be used as an additional cold room/ storage and provide a new retail shop floor. Officers consider the proposed cold room/ store to be acceptable as it falls within B8 (storage and distribution) which is the type of use class policies seeks to encourage within this area. With regard to the A1 (retail) use this would introduce an alternative use at this location. The policies above state that alternative uses will only be supported where sufficient evidence can be demonstrated to prove that the remaining designated site will be intensely developed. Officers acknowledge that the proposed extension will not impact the industrial use of the area as the proposal does not result in the the net loss of industrial floorspace, nevertheless, the introduction of an alternative use at this location will set precedence in the local area for retail (A1 use) which would be contrary to the development policies. In addition, there are policies which seek to protect the vitality and viability of town centres by preventing the development of A1 (retail) use

outside these area. This is discussed below:

The National Planning Policy Framework (NPPF) identifies the importance of supporting the role that town centres play at the heart of local communities, by taking a positive approach to their growth, management, and adaptation. As such, developments out of town are strongly discouraged so as to ensure designated town centres maintain vitality and viability and are suitable for economic growth and diverse town centre parades.

Policies 2.15 and 2.7 of the London Plan and policies SD6 and SD7 of the Draft London Plan seek to promote the importance of town centres whilst also protecting their long term vitality and advises that London's varied town centres and their vitality and viability should be promoted and enhanced as strong, resilient, accessible, inclusive and viable hubs for a diverse range of uses.

Policy CE1 The Core Strategy DPD states that development and services which enhance the vitality and viability of town centres should be supported to ensure they continue playing a vital role in providing day to day needs for the communities and particularly the elderly and less mobile. To consolidate and support the Borough's town centres a sequential approach to the location of new retail and other town centre uses will be followed. This means that town centre locational opportunities must be fully explored before edge of centre or out of centre developments will be considered. All retail developments in the Borough should maximise opportunities to meet the needs of existing communities and to provide them with social and economic benefits. Policies BE1 and BE3 of the Borough Wide DPD notes that developments in town centres should provide a function or service compatible with prime retail function of the area and achieve a high degree of street activity and pedestrian movement.

This application seeks permission for the development of A1 floor space to be used as a meat shop which is considered a town centre use. As noted in the policies above there is a clear motive to keep these within town centres to ensure designated town centres maintain vitality and viability and are suitable for economic growth and diverse town centre parades. Therefore, town centre locational opportunities must be fully explored before edge of town or out of town locational will be considered. As such it is the onus of the applicant to provide sufficient evidence to justify why a new retail unit is required at this location. The applicant notes on the design and access statement that "Alfreds Way which surrounds the site has recently been developed into a residential area. The site is surrounded with large housing stocks and in need of retail facilities. The retail unit will be used as a meat shop". Officers acknowledge the justification behind the introduction of a new meat shop at this location, however, as policies seek to ensure a sequential approach is carried out regarding the locality of this use it would be expected that satisfactory evidence is provided alongside this application to prove that this has been carried out. The applicant has provided details of the sequential approach carried out stating "[i]n terms of the sequential assessment, a potential site was identified to be required to be assessed. This follows an initial discount of a range site on the basis that they are in use and therefore not available. It has been investigated the suitability, viability and availability of any sequentially preferred sites within the area with the ability of the proposed site to demonstrate flexibility. No sites have been able to meet the test for sequential preference. It can therefore be concluded that the application site fulfils the sequential test". Officers are confident a sequential test has been carried out, however, there are concerns over the proposals impact on the vitality and viability of the existing town centre. The design and access statement notes "No unacceptable impacts would occur on the defined centre as a direct result of allowing the proposal outside the defined centre, where it will be able to serve business, industrial and commercial areas found in the immediately locality". Officers do not consider this satisfactory evidence to justify the impact as due to the nature of the shop being a meat shop it is unlikely to serve the day to day needs of nearby businesses and residents rather customers will travel specifically to the shop to buy the produce, hence by removing this use from the town centre it will remove town centre footfall detrimental to its vitality and viability. Likewise, insufficient evidence has been provided to prove that there is a need for a meat shop at this location, as such officers do not consider the proposed A1 (retail) use at this location to be supported.

Overall, officers consider the principle of development to be unacceptable as the introduction of an alternative use at this location will detract from the primary industrial use of the site whilst simultaneously negatively affecting the vitality and viability of nearby town centres. The proposal is therefore contrary to the development policies.

Design and Quality of Materials

Paragraphs 127 and 128 of the NPPF (2019) outline that planning policies and decisions should aim to ensure that developments function well and add to the overall quality of an area not just for the short-term, but over the lifetime of the development. Paragraph 130 advises that permission should be refused for development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions.

London Plan (2016) Policy 7.1 stated that the design of new developments and the spaces they create should help reinforce the character of the neighbourhood. Policy 7.4 requires development to have regard to the form, function and structure of an area, place or street and the scale, mass and orientation of surrounding buildings and other forms of development. It is required that in areas of poor, or ill-defined, character, new development should build on the positive existing elements that can contribute to establishing an enhanced character for the future function of the area. Policy 7.6 seeks the highest quality materials and design appropriate to its context. It is advised that the buildings and structures should be of the highest architectural quality and comprise details and materials that complement the local architectural character. Draft London Plan (2019) Policy D4 discusses the need for good design to be thoroughly scrutinised at application stage, including elements relating to layout, scale, density, land-uses, materials, detailing and landscaping.

This is further supported by policy BP11 of the Borough Wide DPD, policy CP3 of the Core Strategy DPD and policies SP4 and

DM11 of the Draft Local Plan Regulation 18 which ensures that development is designed in a sensitive and appropriate manner which minimises impact on surrounding neighbours and respects the character of the area.

This application seeks permission for the construction of a first floor level and a ground floor side extension. These will be assessed individually as below:

Ground Floor Side

The proposal will be 10.25 metres deep, 10.96 metres wide at the rear elevation and 10.06 metres wide at the front elevation. The proposal will have a flat roof whereby the height of the eaves will be 3.20 metres and the maximum height 3.53 metres. As noted on the application form the materials used will include render to match that of the existing buildings. Nevertheless, from google maps it is evident that the existing building and surrounding buildings are finished in brick or brick and corrugated iron as such officers do not consider the use of render to be acceptable at this location as it would look out of place within its setting. Moreover, as shown on the proposed ground floor plans the rear of the extension will be used as 2 cold rooms and the part which forms the front elevation will be the retail unit. The application site is located within a strategic industrial location which consists primarily of industrial units as such the buildings are characterised by having small window. As the front of the side extension will be used as a retail unit the proposal will have two 3.0 metre full height windows located on either side of the entrance which introduces a new facade design at this location. It is clear from google maps there is not precedence in the immediate surrounding area for development of this sort, hence officers consider the proposal unacceptable as it will appear out of place at this location, therefore, the proposal will appear out of character with the host building, street scene and the wider local area.

First Floor

The proposal will be L shaped whereby the front elevation will be 17.47 metres wide, the rear elevation will be 13.89 metres wide and the depth will be 7.59 metres. The proposal will have a flat roof whereby the height of the eaves will be 6.0 metres and the maximum height will be 6.46 metres. The additional level will sit directly above the existing ground floor. The materials used for this level will include render and as shown on the proposed elevation the existing ground floor part of the building will be rendered as well to match the new enlargements. As noted previously as render is not found at this location or in the surrounding area the proposal is considered to appear out of place and out of character.

Officers acknowledge that a previous application was submitted in 2013 for the erection of single storey storage building, first floor extension to provide offices and accompanying external staircase (13/00804/FUL) which was approved. This application is not dissimilar to the one previously granted, whilst the proposed first floor and ground floor enlargements remain similar in nature the one difference between them is the use of materials. As such, whilst the officers consider the size and sitting of the proposal to be acceptable the design fails to respect and reflect the built form and character of the existing building. The location of the proposal being visible from the highway and public realm add greater weight to the harm caused by the proposal, thus the proposal would warrant a reason for refusal. Therefore, for reasons of design officers consider the proposal unacceptable and contrary to the development policies.

Impacts to Neighbouring Amenity

The NPPF, The London Plan Policies 7.1, 7.4 and 7.15, draft London Plan Policies GG1, GG3 and D14, all have relevance to the importance of quality development which addressing neighbouring amenity and avoiding unacceptable impacts.

Policy BP8 of the Borough Wide DPD seeks to protect residential amenity, by ensuring new developments including conversions, do not expose existing and proposed occupiers to unacceptable levels of pollution that may arise. This includes noise, smoke, fumes, refuse, comings and goings and/ or lighting during construction and occupation. This is supported by policies DM11, DM16 and DM25 of the Draft Local Plan.

The proposal is located a significant distance from the units within Bankside Park, 28 Thames Road and units 8, 7, 5, 1 and 6 28 Thames Road. With Regard to units 4, 1A, 1B, 2B and 3B 30 Thames Road the impact the proposed ground floor and first floor extensions will be assessed below:

Ground Floor extension

The proposed ground floor rear extension will abut the boundary line with the units located behind it. Nevertheless, as the height of the proposal the same height as the single storey parts of the neighbouring buildings officers do not consider it to result in the material loss of daylight or outlook as such the proposal is considered acceptable and in keeping with the development policies.

First Floor Extension

The proposed first floor extension will sit directly above the existing single storey building. The width of the proposal is greater than that of the units behind as such the front elevation of the proposal will surpass the front elevation of the adjoining unit. Nevertheless, the proposal has been design whereby the part which surpasses the front elevation is set back by 3.30 metres as a result no part of the proposal extends beyond a 45 degree angle as measured from the corner of the adjoining building.

Furthermore, the applicant has failed to provide details of opening hours. Nevertheless, as stated on the design and access statement "the retail unit will be used as a meat shop" due to the nature of this use it is unlikely the retail unit will operate outside of

working hours. Furthermore, the use of the extensions will be ancillary to the current use of the site, therefore, officers are satisfied that the proposal will not result in the creation of more noise, waste and general disturbances.

Overall, officers consider the proposal to have an acceptable impact on neighbouring amenity in keeping with the development policies.

Sustainable Transport

The NPPF recognises that sustainable transport has an important role to play in facilitating sustainable development but also contributing to wider health objectives. It offers encouragement to developments which support reductions in greenhouse gas emissions and those which reduce congestion. The NPPF also outlines that developments which generate significant vehicle movements should be located where the need to travel will be minimised and the use of sustainable transport options can be maximised. It is also expected that new development does not give rise to the creation of conflicts between vehicular traffic and pedestrians. However, it also stated that development should only be prevented or refused on highways grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.

This is echoed by the London Plan through policies 6.3, 6.9 and 6.13, and the Draft London Plan Chapter 10 policies and further supported by policy BR9 of the Borough Wide DPD and draft DM policy 32 of the Draft Local Plan.

The application site has a PTAL of 1b which represents poor access to public transport. As stated on the application form the proposal will not result in any additional employment spaces as such officers do not consider the enlargement of this site as an employment space to increase congestion. Nevertheless, as this proposal seeks to introduce a new retail unit at this location it is likely to draw more visitors to the area. due to the sites location within a strategic industrial location and its poor access to public transport it is unlikely visitors to the retail until will be accessing the site on foot or by public transport links. Therefore, it is likely that customers will use a private car to access the site. As shown on google maps there is no off-street parking provision on site, likewise, the applicant has not provided details regarding this as such, officers consider the proposal to result in increased congestion in the local area as a result of an increased number of visitors detrimental to the character of the area. The proposal is therefore considered unacceptable and contrary to the development policies.

CONCLUSION

The introduction of a new A1 (retail) unit at this location will significantly harm the vitality and viability of the town centre whilst simultaneously detracting from the primary use of the site as an industrial area. The principle of development is therefore unacceptable and contrary to the development policies.

The proposed single storey and first floor extension for reasons of design fails to respect and reflect the built form of the existing building by introducing a new material at this location. The proposal will therefore constitute an uncharacteristic and unsympathetic addition as the it will appear out of place and out of character at this location. Hence, the proposed development is considered unacceptable and contrary to the development policies.

The proposed development fails to provide satisfactory off-street parking amenity to support the increased number of visitors as such the proposal is considered to increase congestion in the local area detrimental to the character and appearance of the local area. The proposal is therefore unacceptable and contrary to the development policies.

APPENDIX 1

Development Plan Context	
The Council has carefully considered the relevant provisions of the Council's adopted development plan and of all other relevant policies and guidance. Of particular relevance to this decision were the following Framework and Development Plan policies and guidance:	
National Planning Policy Framework (NPPF) (MHCLG, February 2019)	
The London Plan: Spatial Development Strategy for London (GLA, consolidated with alterations since 2011, published March 2016)	<p>Policy 7.4 - Local Character</p> <p>Policy 7.6 – Architecture</p> <p><i>Policy 2.7- Outer London: Economy</i></p> <p><i>Policy 2.17- Strategic Industrial Locations</i></p> <p><i>Policy 2.15- Town Centres</i></p>
<i>The Mayor of London's Draft London Plan - Intend to Publish version December 2019 is under Examination. Having regard to NPPF paragraph 48 the emerging document is a material consideration and appropriate weight will be given to its policies and suggested changes in decision-making, unless other material considerations indicate that it would not be reasonable to do so.</i>	
Draft London Plan (Intend to Publish version December 2019)	<p>Policy D1 - London's form, character, and capacity for growth</p> <p>Policy D4 - Delivering Good Design</p> <p>Policy SD1- Opportunity Areas</p> <p>Policy E5- Strategic Industrial Locations (SILs)</p> <p>Policy E6- Locally Significant Industrial Sites</p> <p>Policy SD6- Town Centres and High Streets</p> <p>Policy SD7- Town centres: development principles and Development Plan Documents</p>
Local Development Framework (LDF) Core Strategy (July 2010)	<p>Policy CP3: High Quality Built Environment</p> <p>Policy CE3: Safeguarding and release of employment land</p> <p>Policy CM5: Town Centre Hierarchy</p>
Local Development Framework (LDF) Borough Wide Development Plan Document (DPD) (March 2011)	<p>Policy BP8: Protecting Residential Amenity</p> <p>Policy BP11: Urban Design</p> <p>Policy BE3: Retail Outside of Town Centres</p> <p>Policy BE1: Protection of Retail Uses</p>
<i>The London Borough of Barking and Dagenham's Draft Local Plan: (Regulation 18 Consultation Version, November 2019) is at an "early" stage of preparation. Having regard to NPPF paragraph 216 the emerging document is now a material consideration and limited weight will be given to the emerging document in decision-making, unless other material considerations indicate that it would not be reasonable to do so.</i>	
The London Borough of Barking and Dagenham's Draft Local Plan (Regulation 18 Consultation Version, November 2019)	<p>Policy SP1: Delivering Growth</p> <p>Policy SP3: Promoting inclusive economic growth</p> <p>Policy SP4: Delivering high quality design in the borough</p> <p>Policy DM6: Utilising the borough's employment land more efficiently</p> <p>Policy DM14: Conserving and enhancing heritage assets and archaeology.</p> <p>Policy DM8: Encouraging vibrant, resilient, and characterful town centres.</p>

APPENDIX 2

Application Number:	13/00804/FUL	Status:	Application Approved
Description:	Erection of single storey storage building, first floor extension to provide offices and accompanying external staircase.		

APPENDIX 3

Consultations		
Consultee:	Date Consulted:	Summary of response:
N/A	N/A	N/A

APPENDIX 4

Neighbour Notification	
Date Consultation Letter Sent:	13/12/2019
	17 Neighbours Consulted
<i>No response received.</i>	

LBBB Reference: 18/02051/FUL

Marood Architects
43 Vincent Road, Dagenham, Essex RM9 6AS

**TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND) ORDER 2015 (AS
AMENDED)**

Dear Sir / Madam,

Application Number: 18/02051/FUL
Address: 30 Thames Road, Barking, Barking And Dagenham, IG11 0HZ
Development Description: Erection of single storey extension to provide cold rooms and a retail unit (Use Class A1) and the erection of a first floor extension to provide office accommodation.

Thank you for your recent application at the above address on which a decision has now been made. The decision on your application is attached. Please carefully read all of the information contained in these documents.

Please quote your application reference number in any correspondence with the Council.

Yours sincerely,

[Graeme Cooke](#)

Graeme Cooke
Director of Inclusive Growth
London Borough of Barking and Dagenham

PLANNING DECISION NOTICE

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED) TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND) ORDER 2015 (AS AMENDED)

Agent: Marood Architects
43 Vincent Road, Dagenham, Essex RM9
6AS

Applicant: Kashmir Halal Foods
C/o Agent

PART 1 - PARTICULARS OF THE APPLICATION

Application Number: 18/02051/FUL
Application Type: Full Planning Permission
Development Description: Erection of single storey extension to provide cold rooms and a retail unit (Use Class A1) and the erection of a first floor extension to provide office accommodation.
Site Address: 30 Thames Road, Barking, Barking And Dagenham, IG11 0HZ
Date Received: 28 November 2018
Date Validated: 19 November 2019

PART 2 - PARTICULARS OF THE DECISION

The London Borough of Barking and Dagenham, as Local Planning Authority, in pursuance of its powers under the above mentioned Act, Rules, Orders and Regulations made thereunder, hereby gives notice that PLANNING PERMISSION has been **REFUSED** for the carrying out of the development referred to in PART 1 hereof and as described and shown on the plan(s) and document(s) submitted with the application for the reason(s) listed below.

Reason(s):

1. The proposed A1 retail unit would result in the loss of vitality and viability of the town centre whilst simultaneously detracting from the primary use of the site as an industrial area. The principle of development is therefore unacceptable and contrary to:-

- National Planning Policy Framework (MHCLG, February 2019)
- Policies 2.17, 2.17 and 2.7 of The London Plan (March 2016)
- Policies SD1, E5, E6, SD6 and SD7 of the Draft London Plan Intended to Publish (December 2019)
- Policies CE3 and CE1 of the Core Strategy DPD (July 2010)
- Policies SP3, BE1 and BE3 of the Borough Wide DPD (March 2011)
- Policy DM6 of the Draft Local Plan Regulation 18 consultation version (November 2019)

2. The proposed single storey and first floor extension for reasons of design fails to respect and reflect the built form of the existing building by introducing a new material at this location. The proposal will therefore constitute an uncharacteristic and unsympathetic addition as it will appear out of place and out of character at this location. As such the proposal is contrary to:-

- National Planning Policy Framework (MHCLG, February 2019)
- Policies 7.1, 7.4 and 7.6 of The London Plan (March 2016)
- Policy D4 of the Draft London Plan Intended to Publish (December 2019)
- Policy CP3 of the Core Strategy DPD (July 2010)
- Policy BP11 of the Borough Wide DPD (March 2011)
- Policies SP4 and DM11 of the Draft Local Plan Regulation 18 consultation version (November 2019)

3. The proposed development fails to provide satisfactory off-street parking amenity to support the increased number of visitors as such the proposal is considered to increase congestion in the local area detrimental to the character and appearance of the local area. As such the proposal is contrary to:-

- National Planning Policy Framework (MHCLG, February 2019)
- Policies 6.3, 6.9 and 6.13 of The London Plan (March 2016)

- Chapter 10 of the Draft London Plan Intended to Publish (December 2019)
- Policy BR9 of the Borough Wide DPD (March 2011)
- Policy DM32 of the Draft Local Plan Regulation 18 consultation version (November 2019)

The above policies can be viewed on the Council's website: www.lbbd.gov.uk/planning.

Informative(s):

1. The application hereby refused has been considered against the following plan(s) and/or document(s) submitted with the application: -

- 150803 L 002 Site Plan as Proposed Dated 08.11.18
- 150803 L 005 Plans as Proposed Dated 08.11.18
- 150803 L 008 Elevations as Proposed Dated 08.11.18
- 150803 L 006 Plans as Proposed Dated 08.11.18
- Design and Access Statement
- Sequential Assessment

Working with the applicant:

In dealing with this application, Be First, working in partnership with the London Borough of Barking and Dagenham, has implemented the requirements of the National Planning Policy Framework and the Town and Country Planning (Development Management Procedure) (England) Order 2015 to work with the applicant in a positive and proactive manner based on seeking solutions to problems arising in relation to dealing with the planning application. As with all applicants, Be First has made available detailed advice in the form of statutory policies and all other relevant guidance, as well as offering a full pre-application advice service, so as to ensure the applicant has been given every opportunity to submit an application which is likely to be considered favourably. The necessary amendments to make the application acceptable are substantial and would materially change the proposal. They would require further consultations to be undertaken prior to determination, which could not take place within the statutory determination period specified by the Department of Communities and Local Government. You are therefore encouraged to consider submission of a fresh application incorporating material amendments such as to satisfactorily address the reasons for refusal attached.

DATE OF DECISION: 08.09.2020

Yours sincerely,

[Graeme Cooke](#)

Graeme Cooke

Director of Inclusive Growth
London Borough of Barking and Dagenham

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)
Applicant's Rights following the Grant or Refusal of permission

1. Appeals to the Secretary of State

Should you (an applicant/agent) feel aggrieved by the decision of the council to either refuse permission or to grant permission subject to conditions, you can appeal to the Secretary of State for the Department of Communities and Local Government – Section 78 of the Town and Country Planning Act 1990 / Sections 20 and 21 of the Planning (Listed Building and Conservation Areas) Act 1990. Any such appeal must be made within the relevant timescale for the application types noted below, beginning from the date of the decision notice (unless an extended period has been agreed in writing with the council):

- **Six (6) months:** Full application (excluding Householder and Minor Commercial applications), listed building, conservation area consent, Section 73 'variation/removal', Section 73 'minor-material amendment', extension of time and prior approval applications.
- **Twelve (12) weeks:** Householder planning, Householder prior approval and Minor Commercial applications.
- **Eight (8) weeks:** Advertisement consent applications.
- **No timescale:** Certificate of lawful development (existing/proposed) applications.

Where an enforcement notice has been issued the appeal period may be significantly reduced, subject to the following criteria:

- The development proposed by your application is the same or substantially the same as development that is currently the subject of an enforcement notice: **28 days of the date of the application decision.**
- An enforcement notice is served **after the decision on your application** relating to the same or substantially the same land and development as in your application and if you want to appeal against the council's decision you are advised to appeal against the Enforcement Notice and to do so before the Effective Date stated on the Enforcement Notice.

Appeals must be made using the prescribed form(s) of The Planning Inspectorate (PINS) obtained from www.planning-inspectorate.gov.uk or by contacting 03034445000. A copy of any appeal should be sent both to PINS and the council (attn: Planning Appeals Officer).

The Secretary of State can allow a longer period for giving notice of an appeal but will not normally be prepared to use this power unless there are exceptional/special circumstances.

The Secretary of State can refuse to consider an appeal if the council could not have granted planning permission for the proposed development or could not have granted it without the conditions it imposed, having regard to the statutory requirements and provisions of the Development Order and to any direction given under the Order. In practice, it is uncommon for the Secretary of State to refuse to consider appeals solely because the council based its decision on a 'direction given by the Secretary of State'.

2. Subsequent Application Fees

No planning fee would be payable should a revised planning application be submitted within 12 months of the decision. This 'fee waiver' is permitted only where the new application meets the following criteria:

- the applicant is the same as the applicant of the original application
- site boundary is the same as the site boundary of the original application
- the nature of development remains the same.

3. Purchase Notices

Should either the council or the Secretary of State refuse permission or to grant permission subject to conditions, the owner may claim that the land cannot be put to a reasonably beneficial use in its existing state nor through carrying out of any development which has been or could be permitted. In such a case, the owner may serve a purchase notice on the council.

This notice will require the council to purchase the owner's interest in the land in accordance with the provisions of Part IV of the Town and Country Planning Act 1990 and Section 32 of the Planning (Listed Buildings Conservation Areas) Act 1990.

4. Compensation

In certain circumstances compensation may be claimed from the council if permission is refused or granted subject to condition(s) by the Secretary of State on appeal or on reference to the Secretary of State. These circumstances are set out in Section 114 and related provisions of the Town and Country Planning Act 1990 and Section 27 of the Planning (Listed Buildings and Conservation Areas) Act 1990.



Performance Review Sub-Committee

16th February 2021

Sample Selection Number:

26

Application Reference:

19/01105/FUL

Application Description:

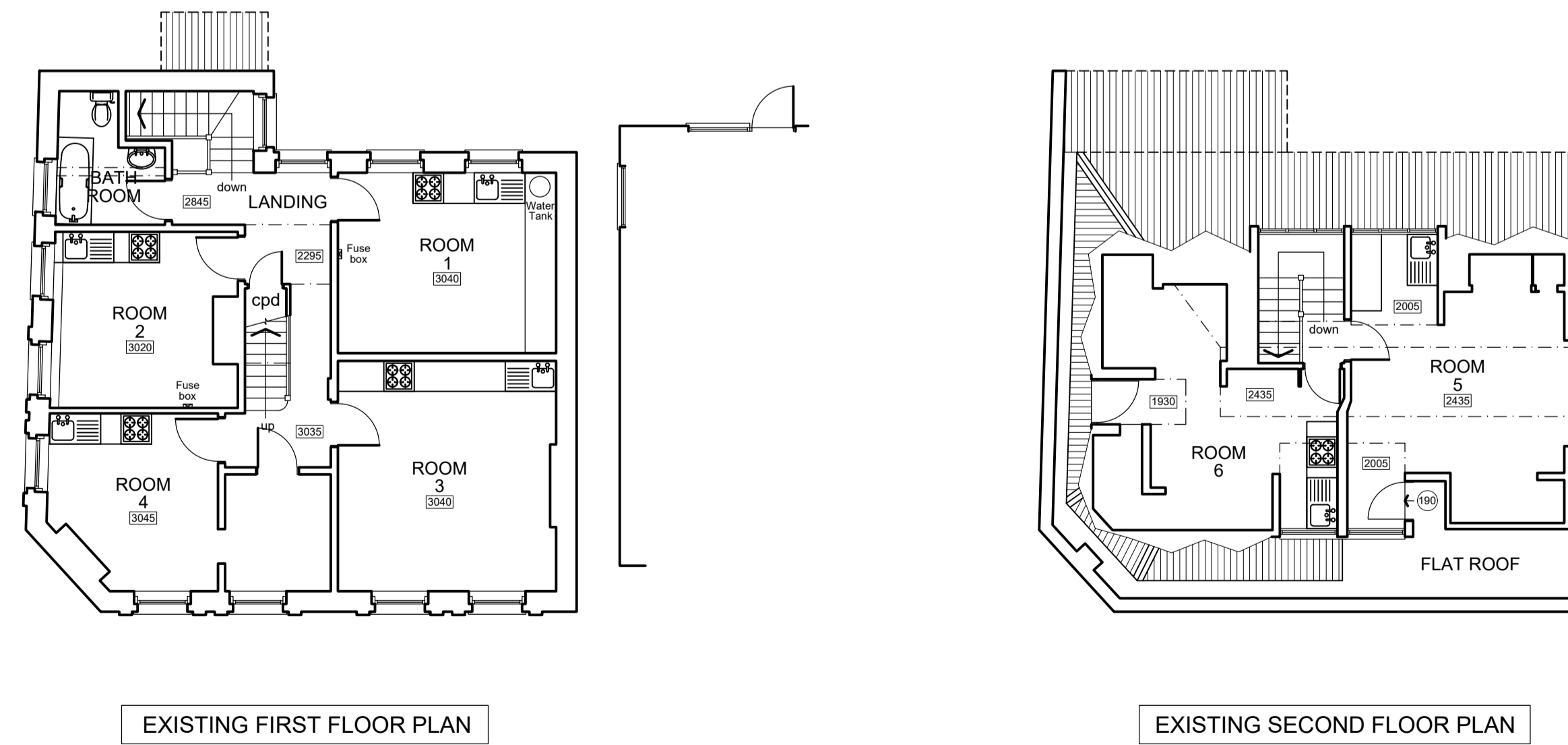
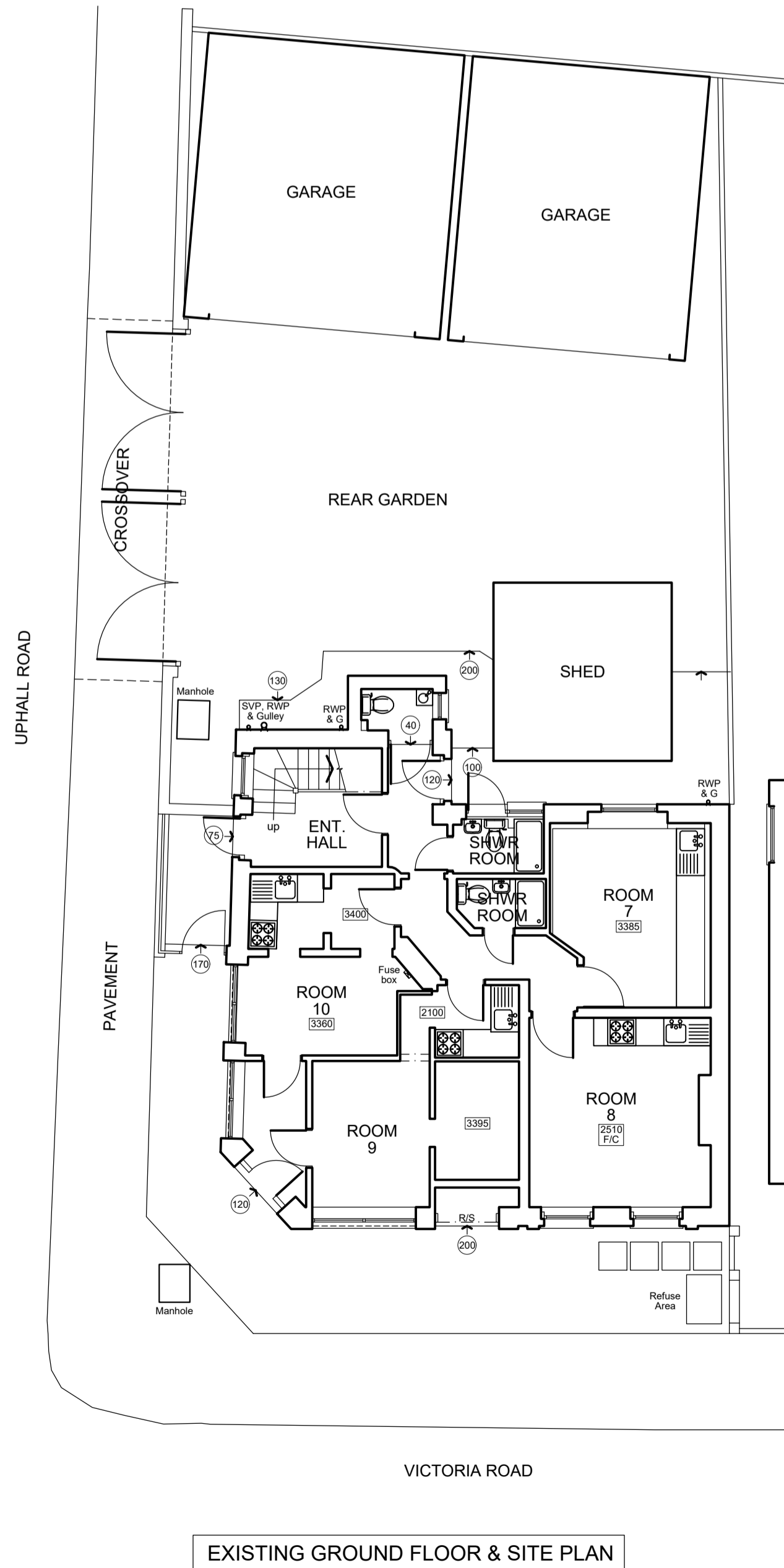
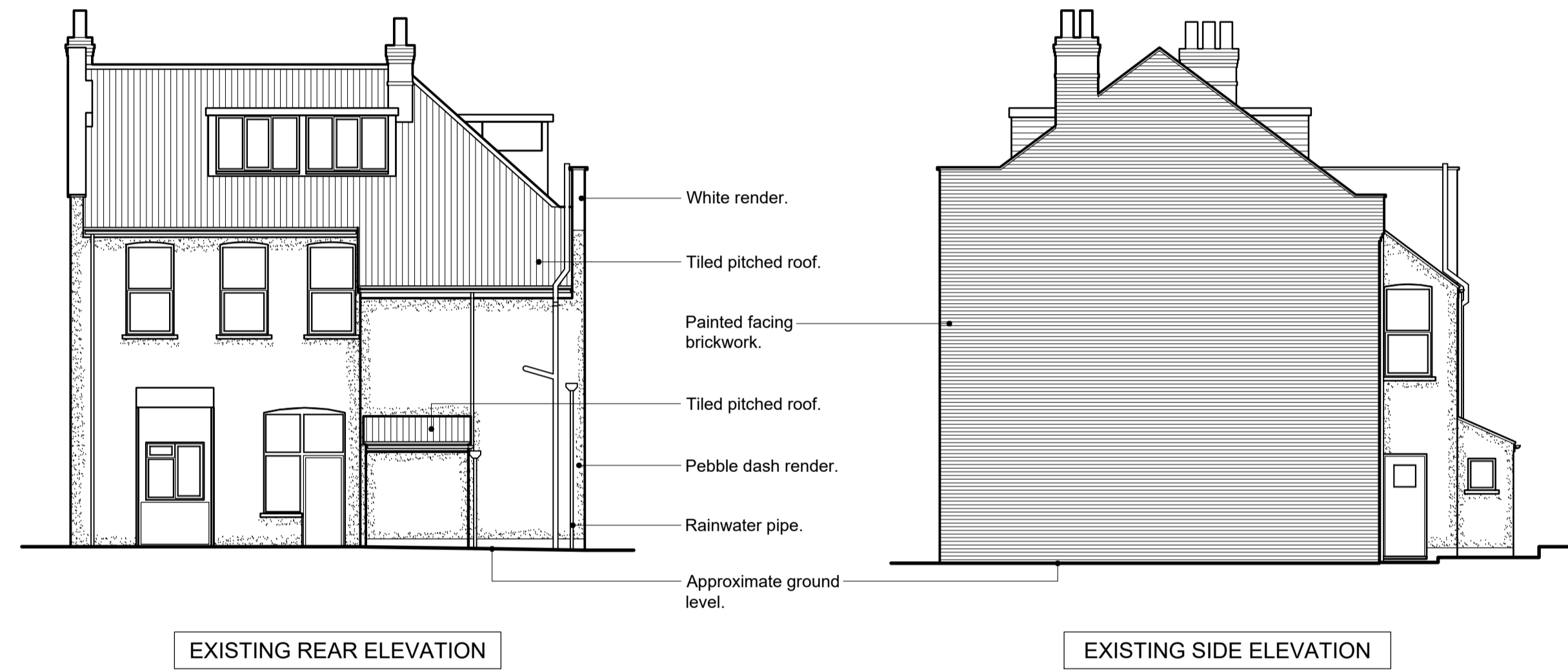
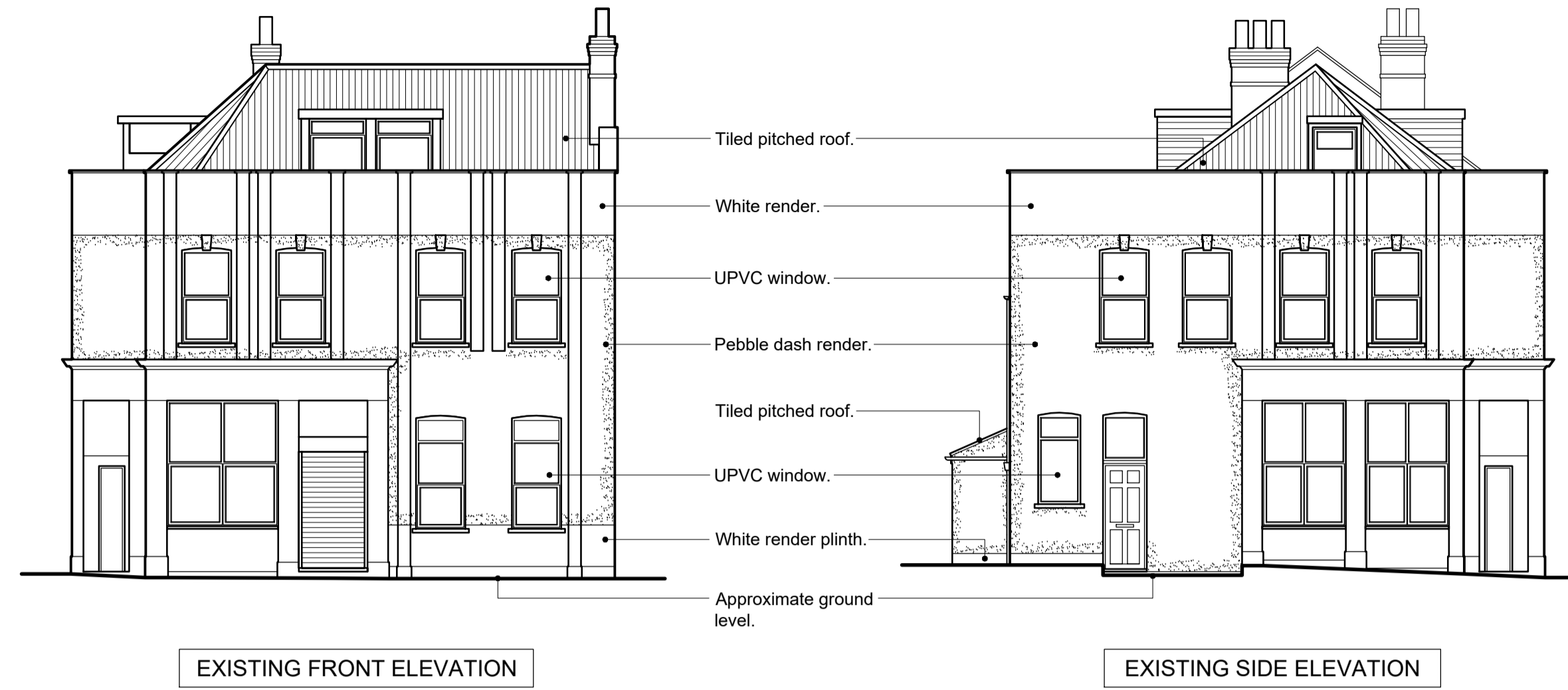
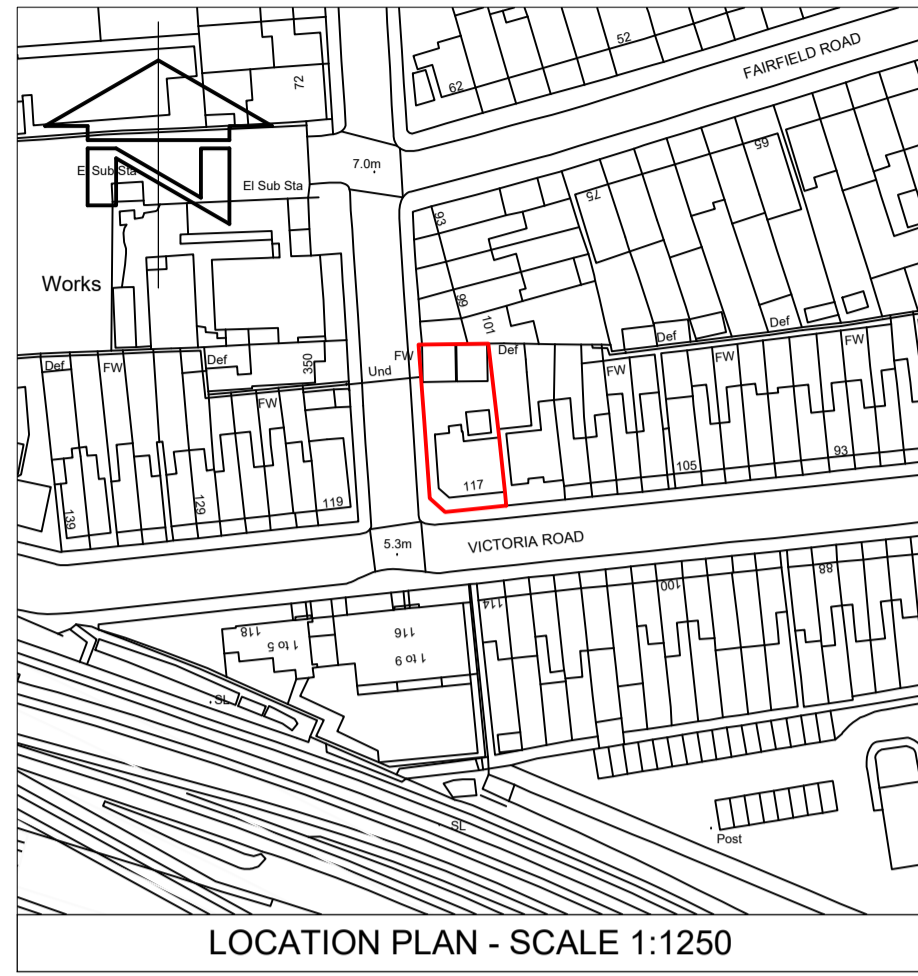
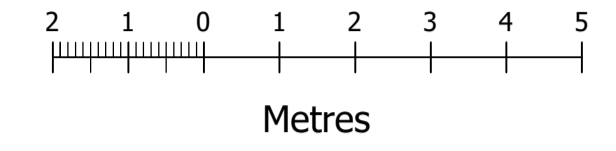
Removal of existing pitched roof, construction of new second floor mansard roof extension, and erection of single storey, first, and second floor rear extensions to create a 9 bedroom house in multiple occupation (HMO).

Decision:

Approved

THIS DRAWING IS COPYRIGHT and must not be traced or copied in any way or form in part or whole by any means whatsoever without prior written consent and may only be used by the present owner in relation to the property referred to on the drawing. This drawing may be copied by an authorised officer of the Local Authority with the sole purpose to assist in the determination of a Planning or Building Regulation application and may not be used for any other purpose unless otherwise agreed in writing.

DO NOT SCALE FROM THIS DRAWING. Dimensions stated are for guidance only, contractor to verify all boundary positions and dimensions on site prior to commencing any works, making workshop drawings or obtaining any materials.
 No site supervision is implied or undertaken unless otherwise separately arranged.
 The drawing does not indicate the extent of any excavation works and the contractor is to determine this prior to submitting a quotation for the works or commencing any works.
 The drawing does not indicate or imply the structural condition of the property, the survey carried out was a "measure survey" for assistance in the preparation of details for Planning and Building Regulation purposes only. The details shown assume that the property is in sound condition and that there are no adverse ground conditions.



NO	REVISION	DATE

CONTRACT

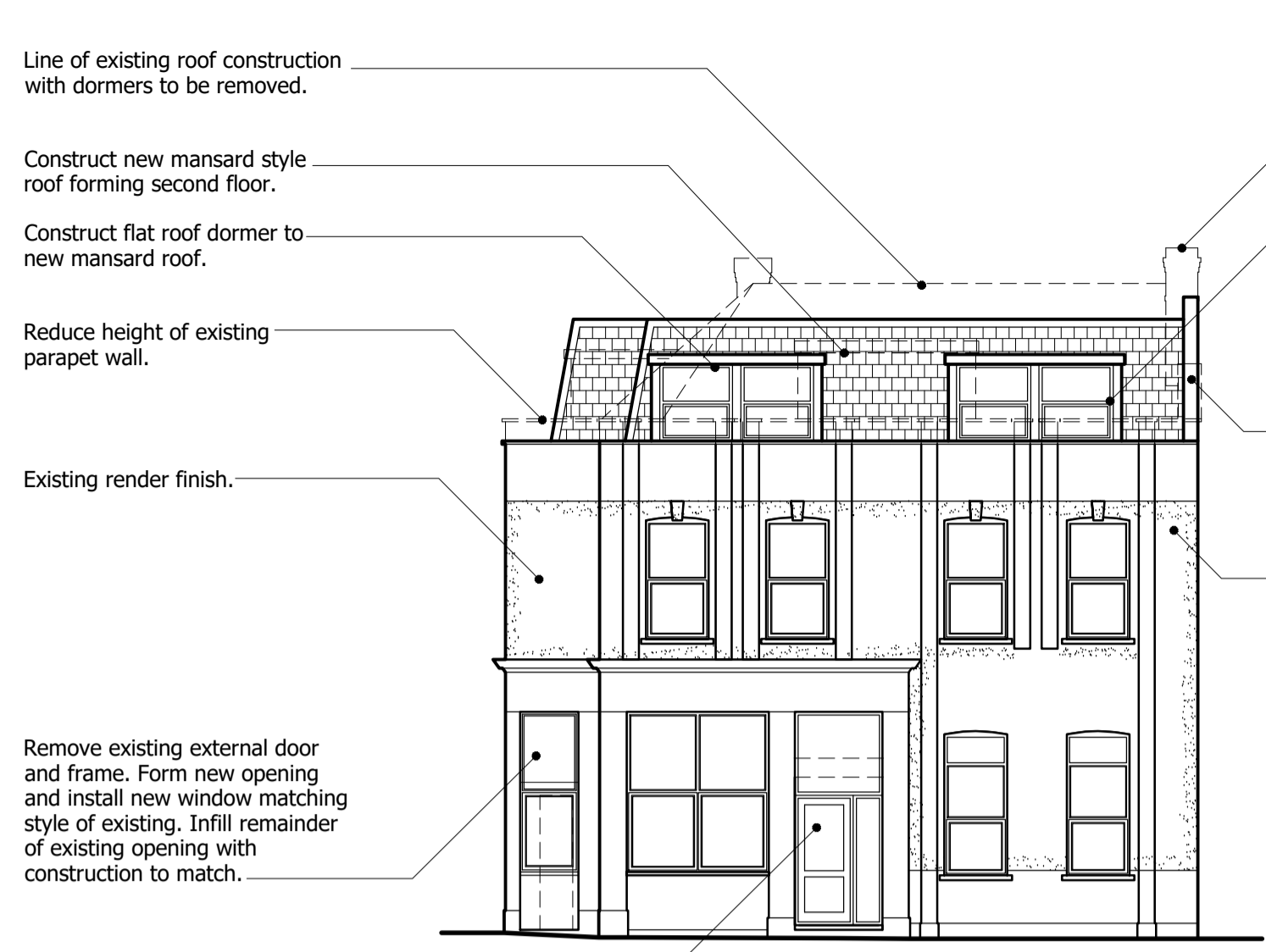
117 VICTORIA ROAD, BARKING, ESSEX, IG11 8PZ.

DRAWING TITLE

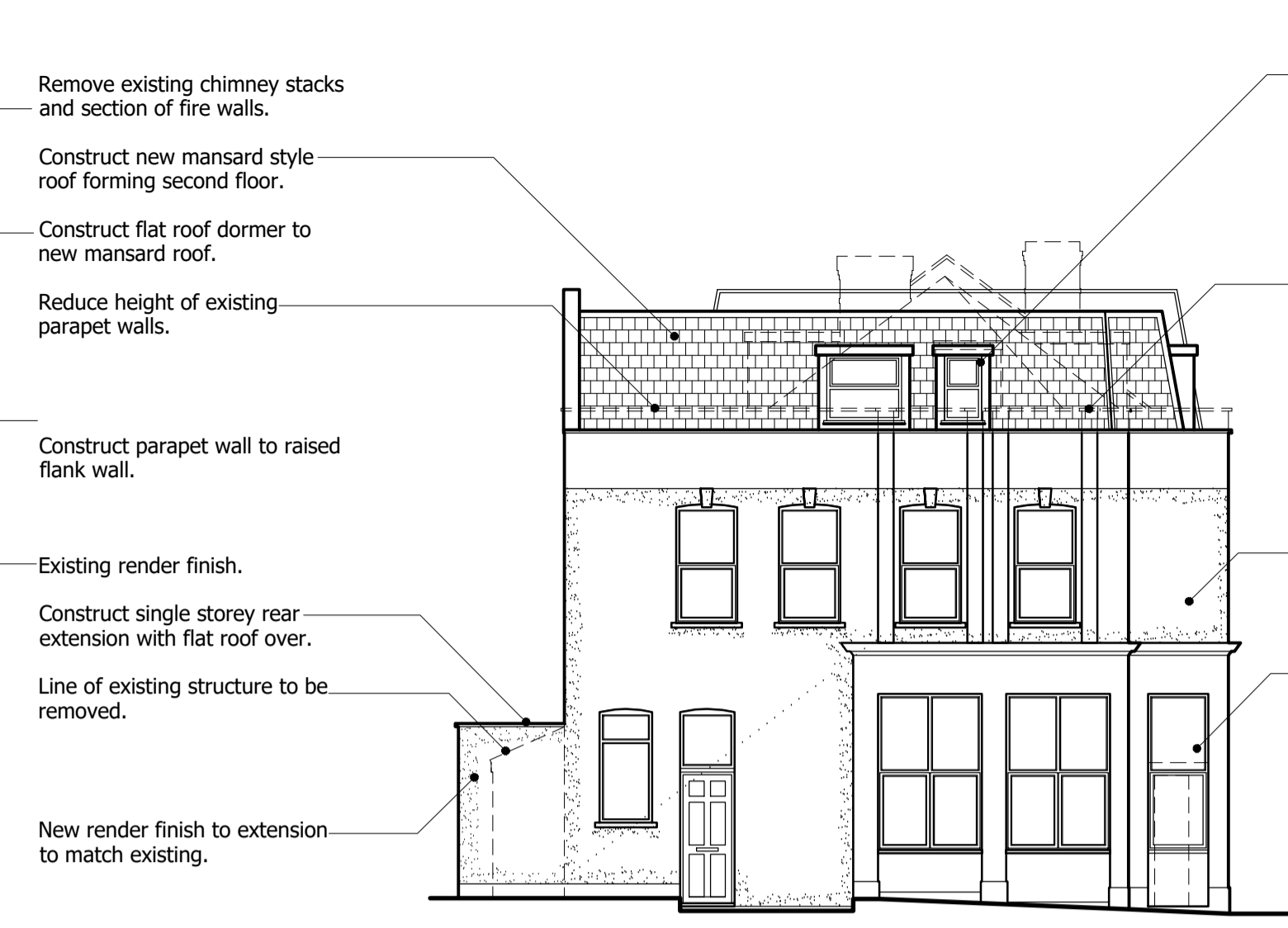
EXISTING FLOOR PLANS, ELEVATIONS AND LOCATION PLAN.

SCALE: 1:100(A1) DATE: MAR 19 DRWN BY: CH DWG. NO: 2501/1 REV:

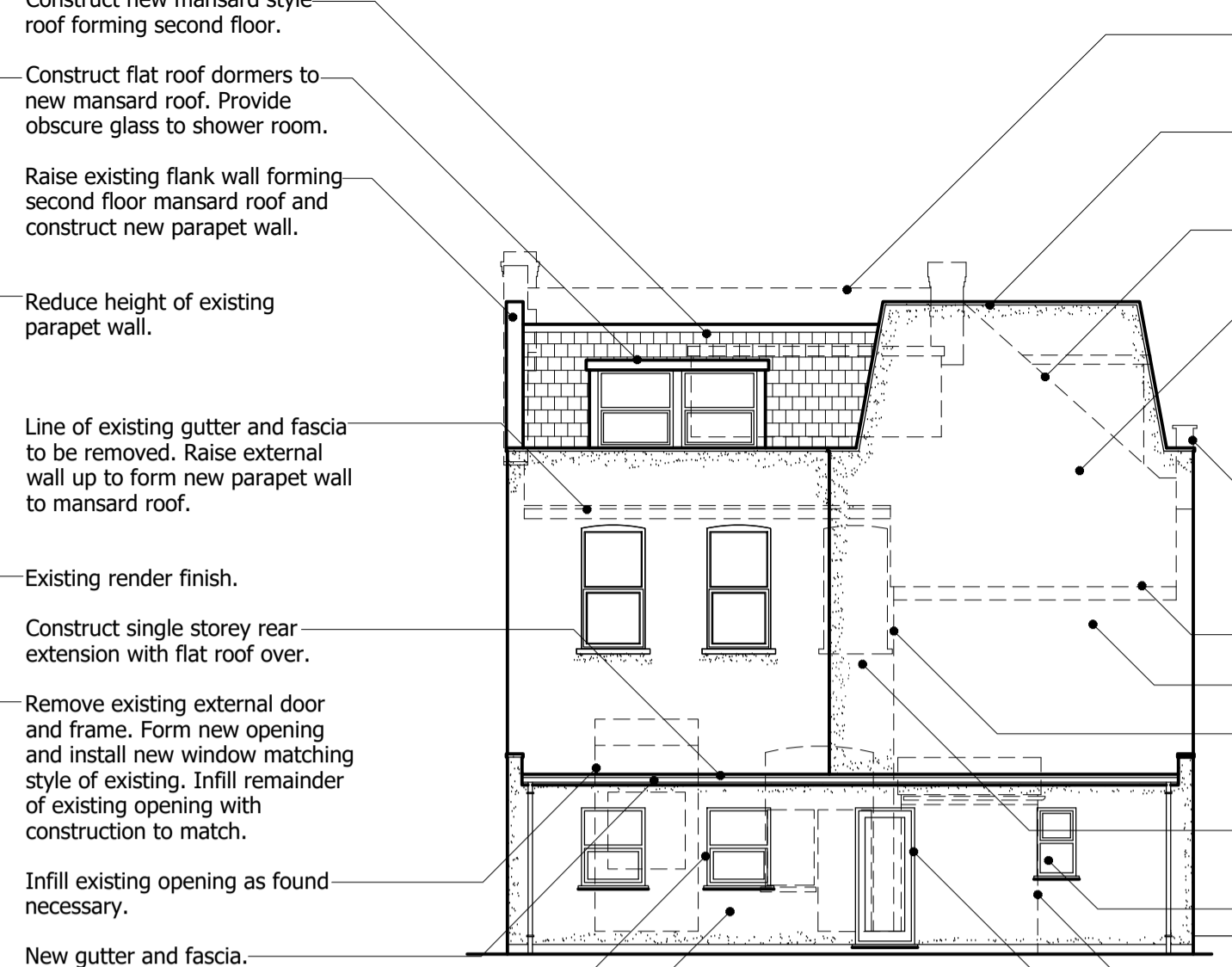
KEN JUDGE & ASSOCIATES LTD.
 THE BARN, MONUMENT OFFICE, MALDON ROAD, MALDON, ESSEX, CM9 6SN.
 TEL: 01245 225577 FAX: 01245 227799 E-MAIL: info@kenjudgetd.co.uk



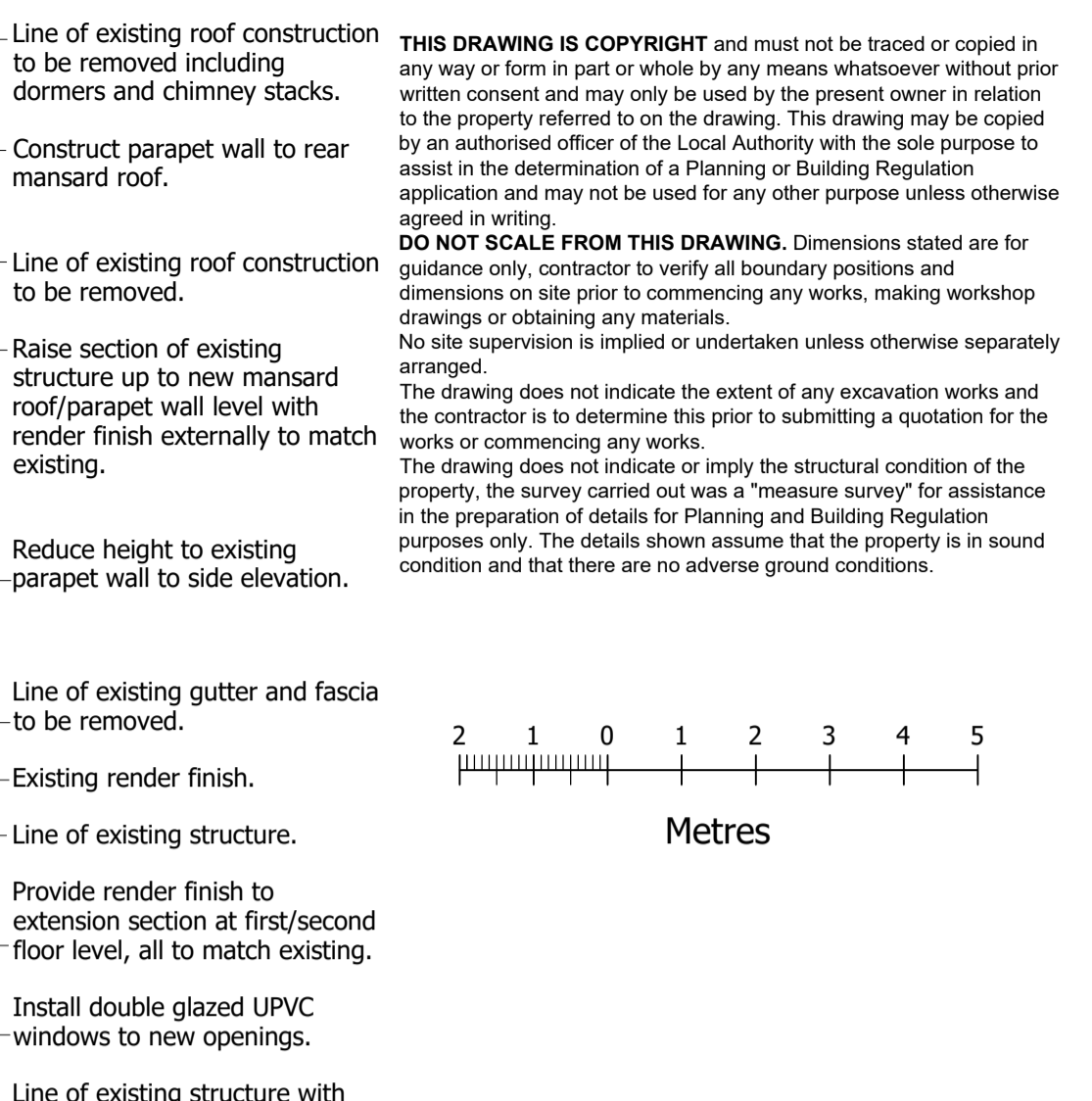
PROPOSED FRONT ELEVATION



PROPOSED SIDE ELEVATION



PROPOSED REAR ELEVATION

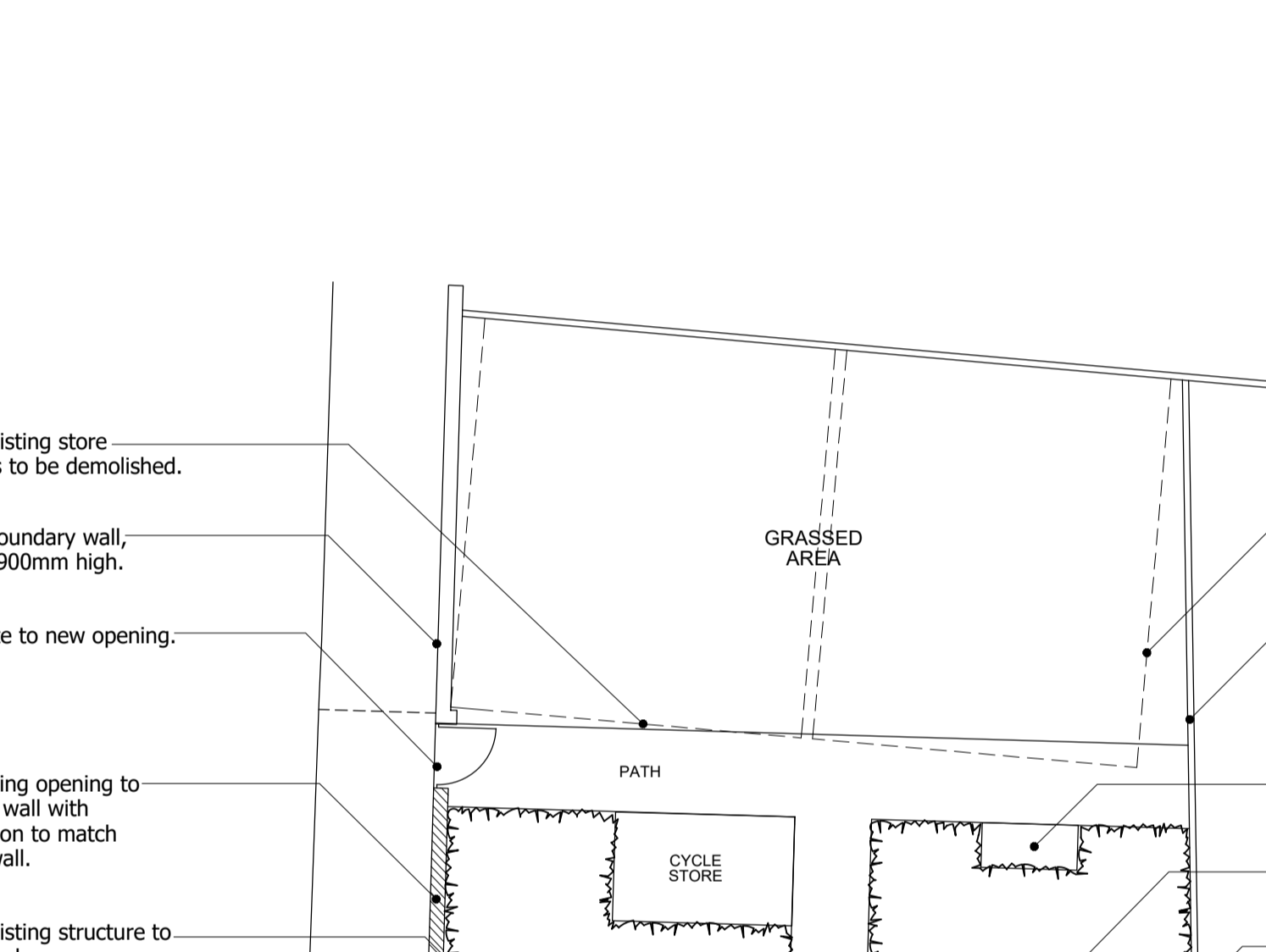


Remove existing roller shutter. Install new entrance door, frame and sidelight.

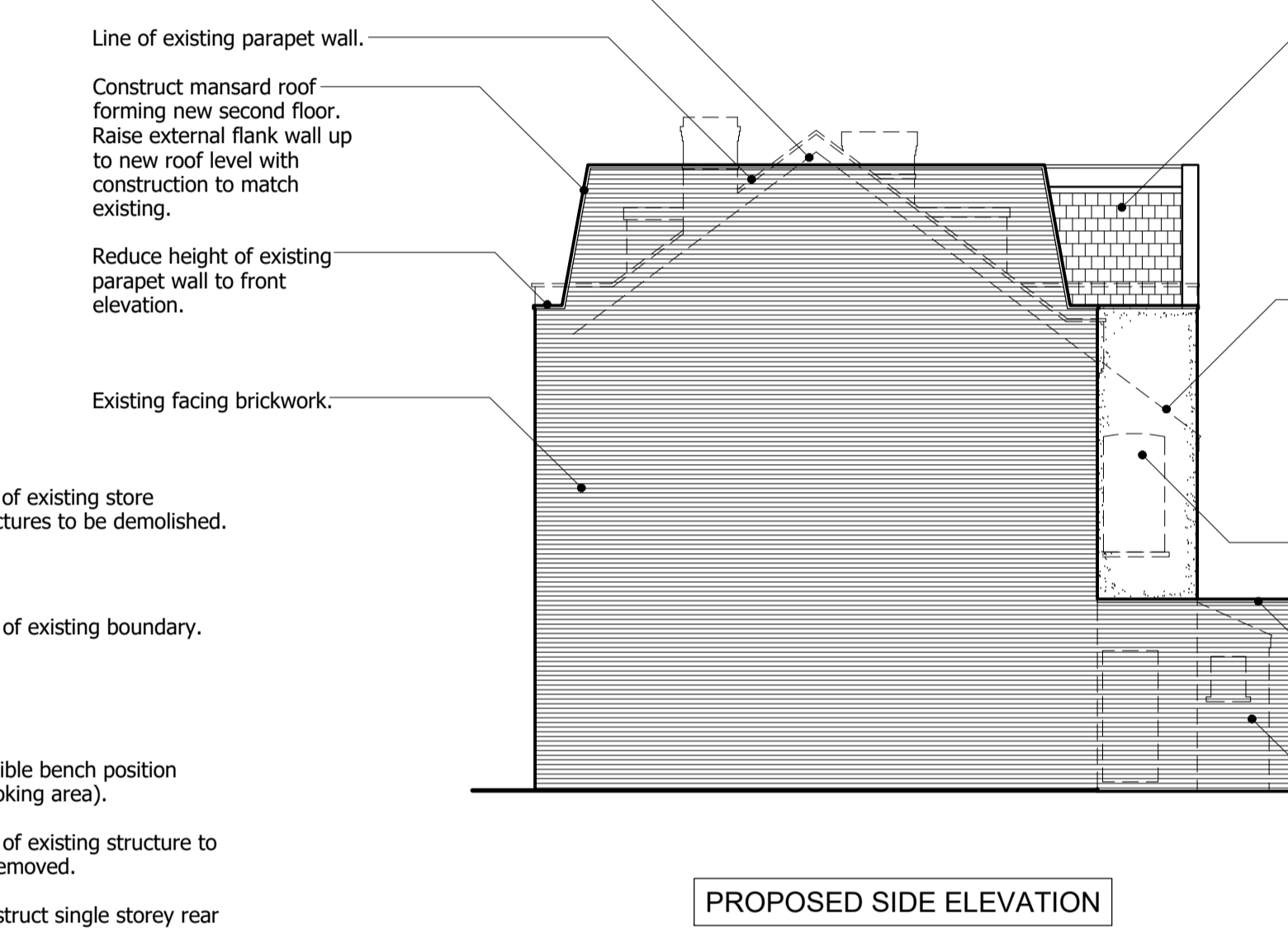
Line of existing roof construction including dormers and chimneys to be removed.

Construct mansard roof forming new second floor. Raise external flank wall up to new roof level with construction to match existing.

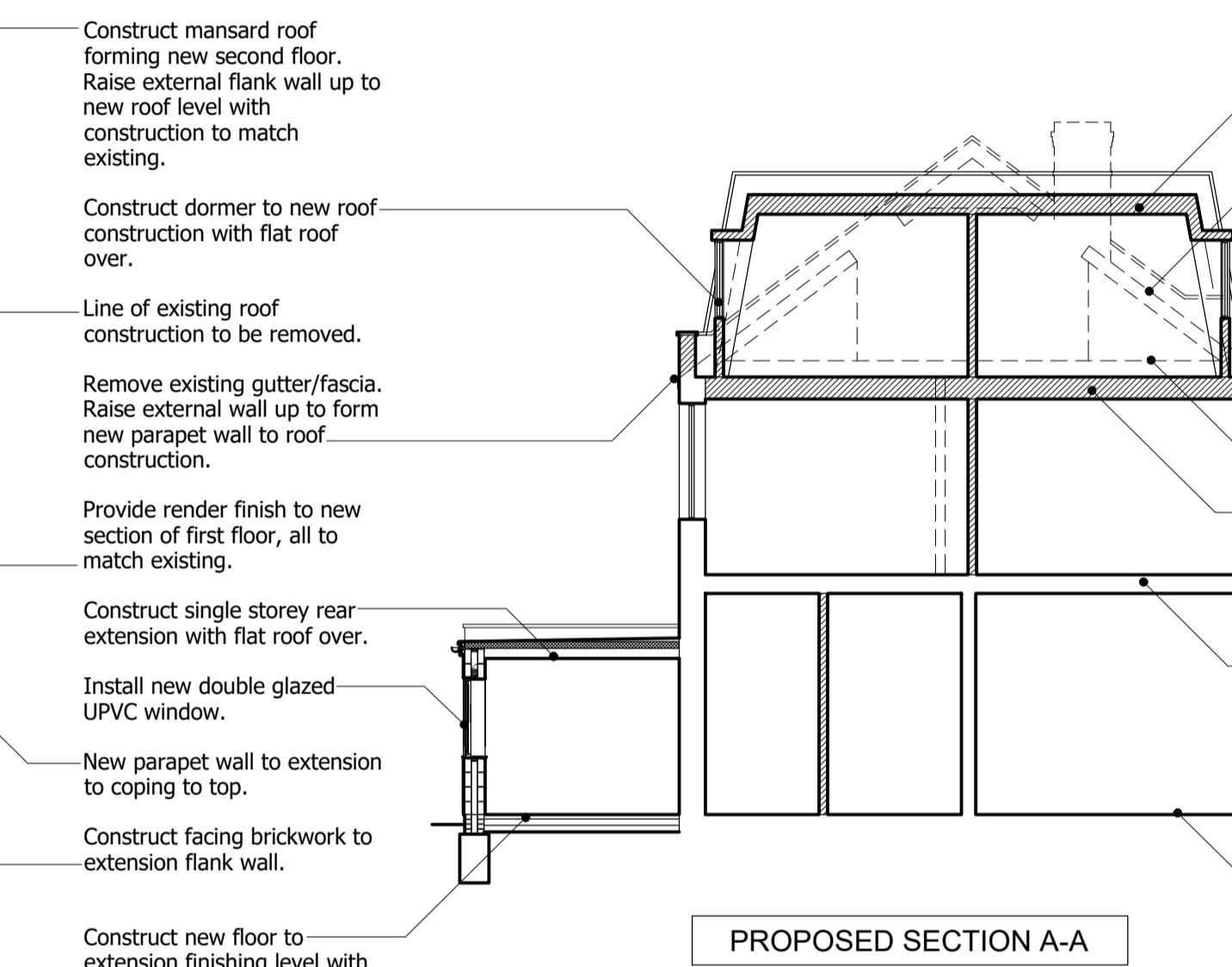
Construct mansard roof forming new second floor with flat roof dormers.



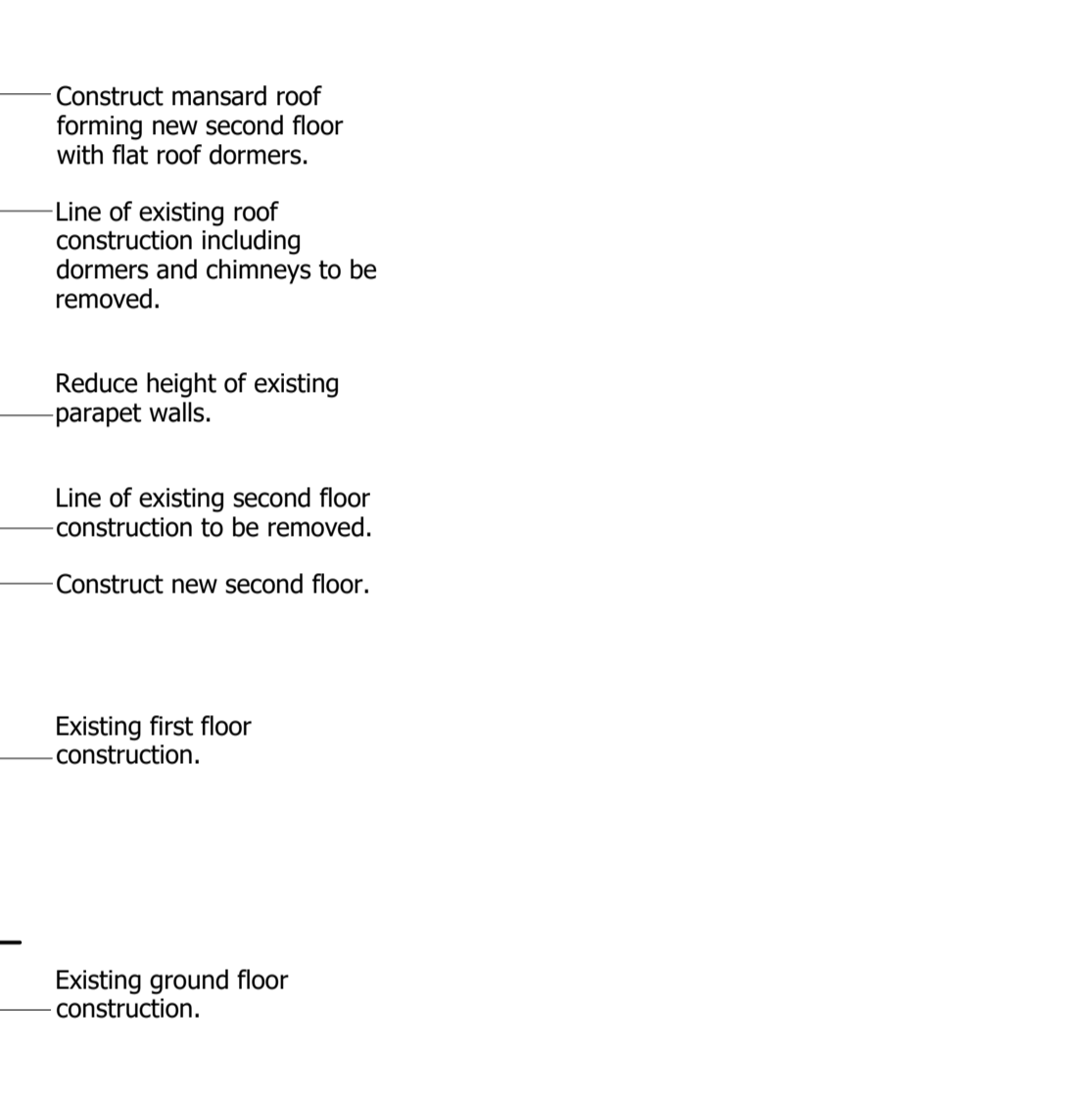
PROPOSED GROUND FLOOR & SITE PLAN



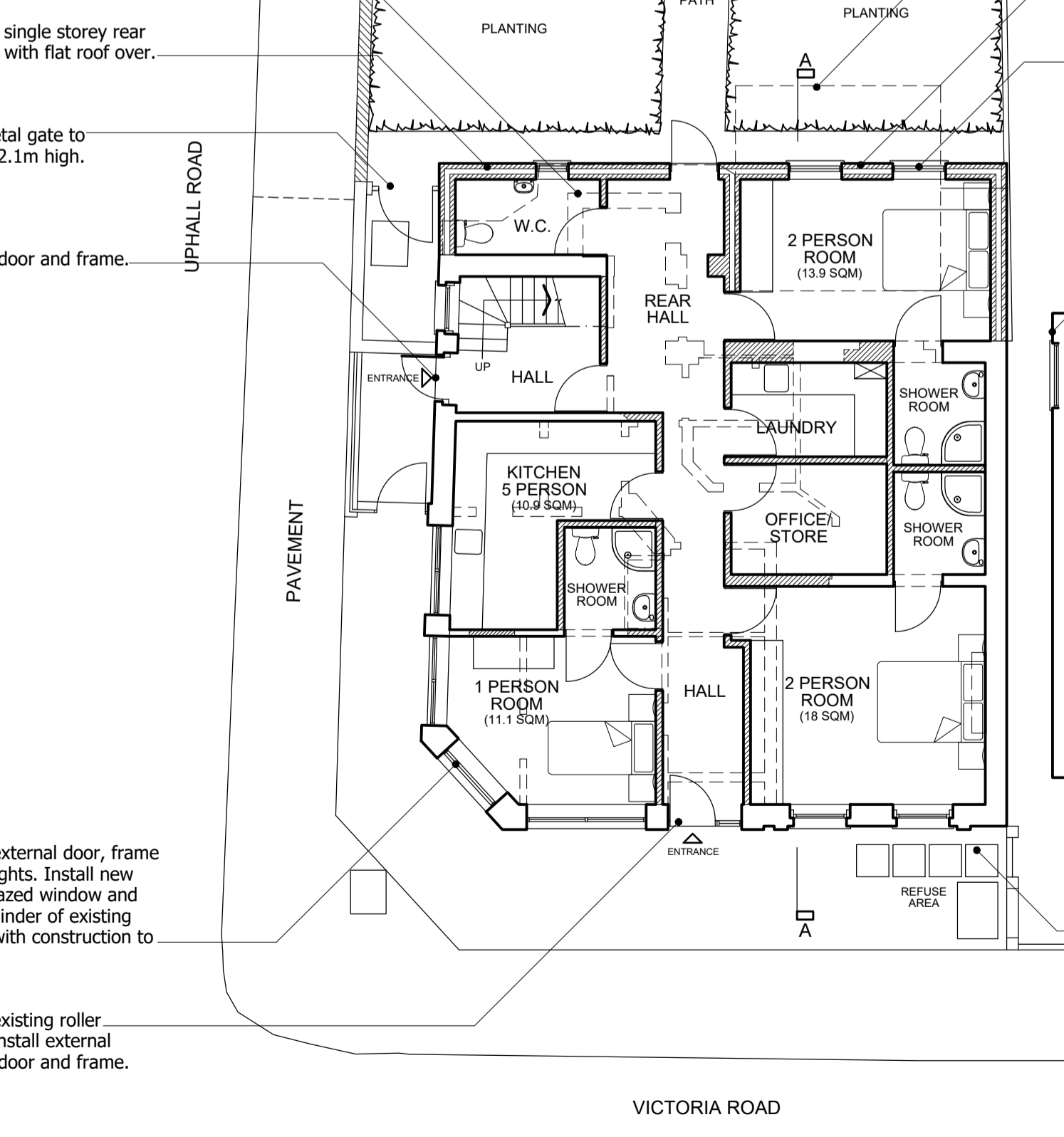
PROPOSED SIDE ELEVATION



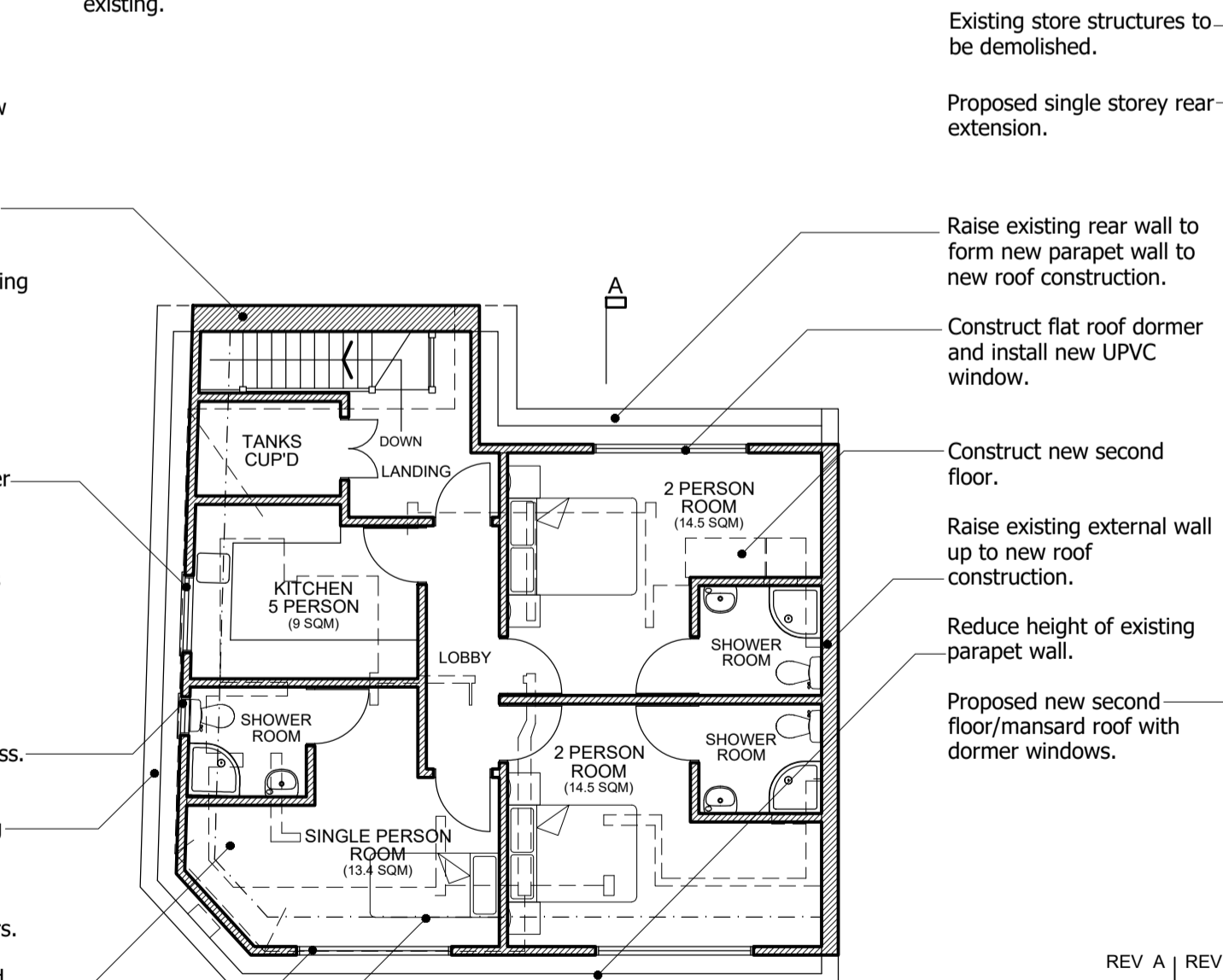
PROPOSED SECTION A-A



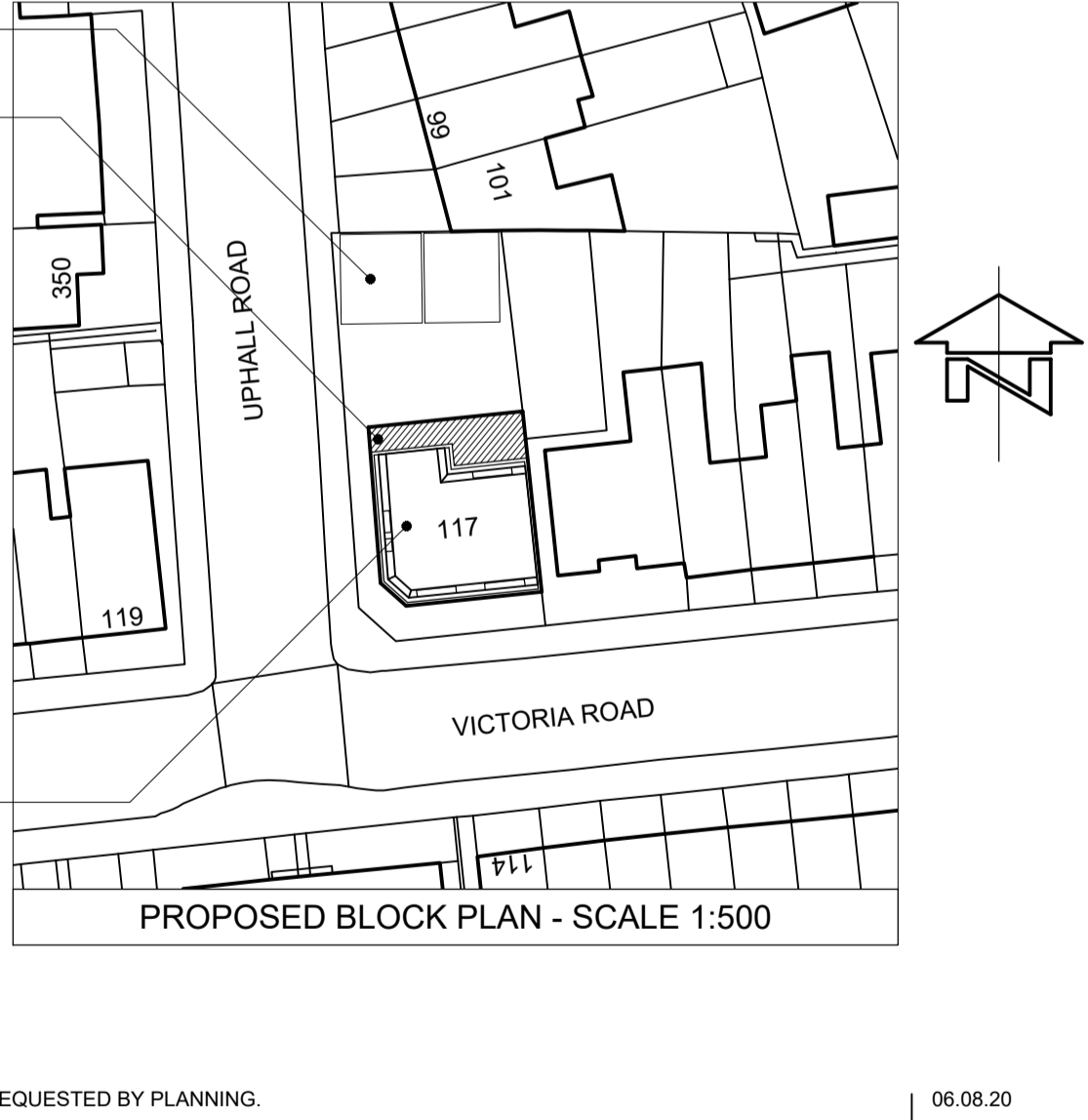
PROPOSED BLOCK PLAN - SCALE 1:500



PROPOSED FIRST FLOOR PLAN



PROPOSED SECOND FLOOR PLAN



REVISIONS REQUESTED BY PLANNING.	06.08.20
NO	REVISION
CONTRACT	DATE

117 VICTORIA ROAD, BARKING, ESSEX, IG11 8PZ.

DRAWING TITLE
PROPOSED FLOOR PLANS, ELEVATIONS, SECTION & BLOCK PLAN.

SCALE: 1:100(A1) DATE: MAY 19 DRWN BY: DJR DWG. NO: 2501/2 REV: A

Delegated Report

Application for Planning Permission

Case Officer:	Kathryn McAllister	Valid Date:	28 June 2019
Officer Recommendation:	APPROVE	Expiry Date:	23 August 2019
Application Number:	19/01105/FUL	Recommended Date:	03 August 2020
Address:	117 Victoria Road, Barking, Barking And Dagenham, IG11 8PZ		
Proposal:	Removal of existing pitched roof, construction of new second floor mansard roof extension, and erection of single storey, first, and second floor rear extensions to create a 9 bedroom house in multiple occupation (HMO).		

Planning Constraints

N/A

Site, Situation and Relevant Background Information

The application site is a 3 storey property on Victoria Road. The property originally consisted of offices on the ground floor and residential units on the first and second floor. In 2017 an enforcement case was opened regarding the use of the property as an HMO and the conversion of the ground floor offices into residential units (17/00322/NOPERM). This was closed as it was found the property had been used as an HMO for a period of 10 years prior to the case being opened, as such it is immune to enforcement action. This application seeks permission for the removal of the existing pitched roof, construction of a new second floor mansard roof extension, and erection of single storey, first and second floor rear extensions to create a 9 bedroom house in multiple occupation (HMO).

Key Issues

- Principle of the Development
- Dwelling Mix and Quality of Accommodation
- Design and Quality of Materials
- Impacts to Neighbouring Amenity
- Sustainable Transport

ASSESSMENT

Principle of the Development

This application seeks permission for the construction of a new second floor mansard roof and erection of single storey, first and second floor rear extension. The overriding objective of the local policies is to deliver high quality development which improves the quality and distinctive identity of places and meets the housing needs of existing and future residents. As such, it is acknowledged that extensions to existing family dwelling houses can facilitate additional and enhanced living space for improved living conditions for occupants. The construction of a new second floor mansard roof, single storey, first and second floor rear extensions are therefore considered acceptable in principle subject to ensuring a high-quality neighbourly design. With regard to the change of use of the single family dwellinghouse into a 9 bedroom HMO the principle of development will be discussed below:

At a national level the National Planning Policy Framework (NPPF) at Chapter 5 has specific regard to housing stating that 'to determine the minimum number of homes needed, strategic policies should be informed by a local housing need assessment... [and] within this context, the size, type and tenure of housing needed for different groups in the community should be assessed and reflected in planning policies'.

The London Plan outlines through Policies 3.3, 3.5 and 3.8 that there is a pressing need for more homes in London and that a genuine choice of new homes should be supported which are of the highest quality and of varying sizes and tenures in accordance with Local Development Frameworks. Policy 3.8 requires that Londoners have a genuine choice of homes that they can afford which meets their requirements for different types of high-quality accommodation. The London Strategic Housing Market Assessment (SHMA) which formed the evidence base for London Plan policy 3.8 denotes that new developments are failing to provide enough affordable and family sized homes for London's growing population. To this end, this policy requires LPA's to take account of their housing requirements to identify the range of needs likely to arise within their areas. Policy 3.14 of the London Plan states that the loss of housing should be resisted unless the housing is replaced at existing or higher densities with at least

equivalent floor space. The Housing SPG supports the London Plan on such matters.

The Draft London Plan Objective GG4 states that to create a housing market that works better for all Londoners, those involved in planning and development must create mixed and inclusive communities, with good quality homes that meet high standards of design and provide for identified needs, including for specialist housing. The policies outlined in Chapter 4 (Housing) further acknowledges the stress on housing demand and provides increased targets for Local Authorities and revised policies in respect of ensuring additional housing contribution according to local needs. Policy H8 echoes existing Policy 3.14 in reinforcing that the loss of existing housing should be replaced at existing or higher densities with at least the equivalent level of floor space. Policy H10 has regard to housing mix outlining the various factors that should be given regard to in ensuring an appropriate mix and balance of units to deliver mixed and inclusive neighbourhoods, including the ability of new development to reduce pressure on conversion, subdivision and amalgamation of existing stock. Policy H9 of the Draft London Plan recognises the role that HMOs can play in meeting need and indicates where they are a reasonable standard they should generally be protected.

The Local Plan outlines through Policy CM1 of the Core Strategy DPD that development should meet the needs of new and existing communities and deliver a sustainable balance between housing, jobs and social infrastructure, with Policy CM2 further emphasising the specifying housing growth targets of the Borough. Regarding HMO's Policy BC4 of the Borough Wide DPD seeks to preserve and increase the stock of family housing in the Borough, as such, proposals which involved the loss of housing with 3 or more bedrooms will be resisted. In particular if the number of houses which have been converted exceeds 10% of the total number of houses on the road. This is further supported by draft policies DM2, DM3 and DM4 of the Draft Local Plan Regulation 18 which states HMO's will only be supported if it helps meet an identified need.

From google maps it is evident that the property used to consist of a ground floor offices and residential units on the first and second, however, the property has since been converted into a 10 bedroom HMO. This application seeks permission for the construction of additional extensions to provide a larger living space and to regularise the HMO use of the property. Policies H10 and H9 have regard to housing mix and recognise the role that HMO's play in meeting need. The Borough's Core Strategy vision which states "New communities will be integrated with existing communities so that Barking and Dagenham will be a sought after place to live, comprise of constellation of neighbourhoods each with their own distinct character and offer". From the sites planning history it is evident that an enforcement case was opened in 2017 regarding the unlawful use of the property as an HMO and the change of use of ground floor offices into ground floor homes (17/00322/NOPERM). The enforcement officer was contacted regarding this application as stated that the property has been in continuous use as an HMO for the last 10 years, as such, the site is immune to enforcement action. Therefore, notwithstanding the position of policy on the proposed use, officers apportion fully weight to the established use of the site and support this proposal which seeks to improve overall internal living spaces.

Dwelling Mix and Quality of Accommodation

At national level, the 'Technical housing standards – nationally described space standard' deals with internal space within new dwellings and dwelling conversions. It is suitable for application across all tenures. It sets out requirements for the gross internal area of new dwellings at a defined level of occupancy, as well as floor areas and dimensions for key parts of the home, notably bedrooms, storage and floor to ceiling height. London Plan Policy 3.5 and Draft London Plan Policy D6 sets out the importance for homes across London to be designed to a high quality – 'New homes should have adequately-sized rooms and convenient and efficient room layouts which are functional, fit for purpose and meet the changing needs of Londoners over their lifetimes. Particular account should be taken of the needs of children, disabled and older people' in line with those set at national level. Regarding HMO's the same space standards are applied to ensure the proposal is of adequate design and size to meet the needs of future residents and provide them with high quality living standards.

The Draft Local Plan Regulation 18 reiterates this in draft policy DM3 which states development should provide high quality design that satisfies requirements of the group it is intended for in terms of facilities, design, parking, internal space and amenity space. This is further supported by policies BP5 of the Borough Wide DPD which seeks to ensure new and converted properties have adequate external amenity space.

This proposal seeks permission for a 9-bedroom, 16-person, 3 storey property. The maximum standards for properties as found on the technical housing standards- nationally described space standards is for a 6- bedroom, 8- person, 3 storey property which requires at least 138 sqm of gross internal area and 4.0 sqm of storage space, as such it would be expected that this property exceed these minimum space standards as it is a property of much greater size. In addition, double bedrooms should have a floor area of at least 11.5 sqm and 7.75 metres wide and single bedrooms should have a floor area of at least 7.5 sqm and 2.15 metres wide. The proposed HMO will have the following areas:

Gross Internal Area: 285.19 sqm **Complies**

Bedroom 1 (gf single): 11.1 sqm and 3.88 metres wide **Complies**

Bedroom 2 (gf double): 13.9 sqm and 3.0 metres wide **Complies**

Bedroom 3 (gf double): 18 sqm and 4.31 metres wide **Complies**

Bedroom 4 (1fl double): 15.2 sqm and 4.70 metres wide **Complies**

Bedroom 5 (1fl double): 15.2 sqm and 4.72 metres wide **Complies**

Bedroom 6 (1fl double): 15.5 sqm and 3.49 metres wide **Complies**

Bedroom 7 (2fl single): 13.4 sqm and 2.19 metres wide **Complies**

Bedroom 8 (2fl double): 14.5 sqm and 4.86 metres wide **Complies**

Bedroom 9 (2fl double): 14.5 sqm and 4.86 metres wide **Complies**

Storage: 7.53 sqm **Complies**

The proposed development exceeds the minimum internal space standards for a property of this size, as such officers consider the proposal acceptable as it would provide an adequate standard of accommodation in keeping with the development policies. In addition, the property will provide 3 communal kitchens one on each floor to serve the residents of each floor the internal area of each kitchen is as follows:

GF Kitchen: 10.9 sqm
1F Kitchen: 10.2 sqm
2F Kitchen: 9.0 sqm

Whilst the property does not provide a shared lounge or dining space officers consider the provision of communal amenity space in the form of a kitchen to be acceptable for a property of this size as such, the property is considered to provide satisfactory internal space standards to meet the needs of future residents and provide them with an adequate quality of life in keeping with the development policies.

In regard to outdoor amenity spaces Chapter 8 of the NPPF seeks to promote healthy and safe communities by ensuring planning decisions achieve healthy, inclusive and safe places which enable and support healthy lifestyles and wellbeing needs. Policy 3.5 of the London Plan and policy D6 of the Draft London Plan supports this by ensuring new housing provides adequate outside space Policy 3.5. Policy BP5 of the Borough Wide Development Plan Document and policies DM11 and DM3 of the Draft Local Plan states that new developments must provide adequate external private and/ or communal amenity space which is private, useable, functional and safe to meet the need generated by development. As noted in the policies there are no set standards for external amenity space for HMO's.

The sites rear garden currently has two large garages and a shed to the rear of the property. As shown in the amended proposed plans these will be removed to create a large rear garden and space for the new rear extension to be constructed. The proposal will have 139.54 sqm of rear garden space which will be private, useable, functional and safe. It will be split into 3 sections- a large 68.6 sqm of grassed area, 23.65 sqm planted area with a possible bench to be used by as a smoking area and 26.24 sqm planted area which will have a secure cycle storage within it. These sections are all separated by paths and can be accessed from the ground floor of the property or a side entrance from Uphall Road. The proposed rear garden space will be a communal garden to be shared by all residents of the property. As policies do not set standards for HMO's officers consider this acceptable. Furthermore, the property is located 7 minutes walk from Barking Park a large green open space which residents can use for recreation. Overall, the proposal has sufficient access to outdoor amenity space, hence, officers consider the proposed development acceptable and in keeping with the development policies.

Design and Quality of Materials

Paragraphs 127 and 128 of the NPPF (2019) outline that planning policies and decisions should aim to ensure that developments function well and add to the overall quality of an area not just for the short-term, but over the lifetime of the development. Paragraph 130 advises that permission should be refused for development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions.

London Plan (2016) Policy 7.1 stated that the design of new developments and the spaces they create should help reinforce the character of the neighbourhood. Policy 7.4 requires development to have regard to the form, function and structure of an area, place or street and the scale, mass and orientation of surrounding buildings and other forms of development. It is required that in areas of poor, or ill-defined, character, new development should build on the positive existing elements that can contribute to establishing an enhanced character for the future function of the area. Policy 7.6 seeks the highest quality materials and design appropriate to its context. It is advised that the buildings and structures should be of the highest architectural quality and comprise details and materials that complement the local architectural character. Draft London Plan (2019) Policy D4 discusses the need for good design to be thoroughly scrutinised at application stage, including elements relating to layout, scale, density, land-uses, materials, detailing and landscaping.

This is further supported by policy BP11 of the Borough Wide DPD and policy DM16, SP4, DM14 and DM11 of the Draft Local Plan Regulation 18 which ensures that development is designed in a sensitive and appropriate manner which minimises impact on surrounding neighbours and respects the character of the area.

The application seeks permission for a new mansard roof and a ground floor, first floor and second floor rear extension. The design of each part of the proposal will be discussed below:

Ground Floor Rear Extension

The proposed development will be located to the rear of the property and seeks to extend the property so that there is a single rear elevation at ground floor level. The proposal will be 10.51 metres wide, 1.70 metres deep on the western side and 3.30 metres deep on the eastern side. The ground floor part will have a flat roof with parapet ends whereby the height of the eaves will be 2.76 metres and the maximum height 3.03 metres. The proposal will form the basis of the first and second storey rear extension. The materials used will include pebble dashed render, UPVC and tiles to match the existing property. Overall, officers consider the proposed single storey rear extension acceptable and in keeping with the development policies.

First Floor Rear Extension

The proposed development will be located to the rear of the property and seeks permission to enlarge the existing landing/ stairwell to create a new cupboard. The proposal will be 1.04 metres wide, 1.60 metres deep and 4.97 metres high. The proposal will integrate into the existing first floor structure and the materials used will include pebble dashed render, UPV and tiles to match the existing property. Therefore, officers consider the proposed development acceptable and in keeping with the development policies.

Mansard Roof

The existing property is located on a street which is characterised by having 2 storey terraced family dwellinghouses, as such, it would be expected that the mass, bulk and appearance of the proposed development respects and reflects the character and design of the street so as to ensure that the proposal does not appear overbearing or out of place at this location.

The application site has an existing pitched roof with a surrounding parapet, as such from street level the application appears to have a flat roof. The proposal seeks to removing the existing roof and construct a 2nd floor on this building. The proposal will be 10.16 metres wide, 7.91 metres deep on the eastern elevation, 8.80 metres deep on the western elevation and extend 1.96 metres above the ridge of the existing parapet which will be lowered in height by 0.35 metres. The front elevation of this floor will be angled and all the northern, southern and western elevation will be set back by 0.55 metres. As such officers do not consider the mass and bulk of the proposal to appear overbearing at this location. Moreover, as shown on google maps the application site is located across the road from a 3 storey block of flats at no. 116-118 Victoria Road, as such, officers do not consider the addition of an extra level to create a 2nd floor at this location to appear out of place as there is precedence in the area for a properties of this height. Furthermore, as stated on the application form the materials used will include tiles to match the existing roof design. Overall officers consider the proposed development to respect and reflect the built form and design of the host property and the character and appearance of the street scene, therefore, the proposal is considered to comply with the development policies.

Overall, officers consider the proposed ground floor, first floor and mansard roof extensions to be acceptable and in keeping with the built form and design of the host property, as such the proposal is considered to be in keeping with the development policies.

Impacts to Neighbouring Amenity

The NPPF, The London Plan Policies 7.1, 7.4 and 7.15, draft London Plan Policies GG1, GG3 and D14, all have relevance to the importance of quality development which addressing neighbouring amenity and avoiding unacceptable impacts.

Policy BP8 of the Borough Wide DPD seeks to protect residential amenity, by ensuring new developments including conversions, do not expose existing and proposed occupiers to unacceptable levels of pollution that may arise. This includes noise, smoke, fumes, refuse and/ or lighting during construction and occupation. This is supported by policies DM11, DM16 and DM25 of the Draft Local Plan which states that HMO's will only be supported if they do not give rise to any significant amenity impacts on the surrounding neighbourhood.

The existing plans show the property to be a 10 bedroom HMO, however, in the proposed plans the property will have 9 bedrooms which can accommodate up to 16 people. HMO's are characterised by being occupied by individual households who have different lifestyles, habits, family, and friends. The regularisation of the properties use as an HMO would result in the number of residents and households on site decreasing from 10 to 9. As such, officers do not consider the proposed development to generate more noise, waste, general disturbances and comings and goings than currently produced on site. Therefore, officers consider the proposed change of use to have an acceptable impact on neighbouring amenity in keeping with the development policies.

Regarding the proposed enlargements their impact on neighbouring amenity will be assessed below:

122, 114, 1116-9116 Victoria Road

The proposed ground floor and first floor rear extensions will be located at least 25.0 metres from these properties, as such officers do not consider them to result in the loss of neighbouring amenity. With regard to the mansard roof this will be located 17.0 metres north of these properties, as such, the proposal is not considered to result in overshadowing or the material loss of daylight or outlook. Furthermore, as the proposal is set back from the the front elevation of the property this will minimise overlooking, hence, officers do not consider the proposal to result in the loss of privacy, therefore, the proposal is in keeping with the development policies.

115A and 115B Victoria Road

The application site is located west of this property, however, as the proposed enlargements are relatively small in size officers do not consider them to result in overshadowing. The proposed ground floor rear extension will abut the boundary line and extend 2.77 metres beyond the rear elevation of these properties. As such officers do not consider the proposed development to result in the material loss of daylight or outlook. Regarding the first floor rear extension this will offset the boundary line by 4.95 metres as a result the proposal will not extend beyond a 45 degree angle as measured from the corner of the adjoining property, therefore, officers do not consider the proposal to result in the loss of neighbouring amenity. With regard to th mansard roof there will be one window on the rear elevation of this level. The existing rear wall will be raised to form a new parapet and the proposed widow will be set back from this by 0.5 metres, as such officer do not consider the proposal to result in overlooking or the loss of privacy. Hence, the proposal is considered to have an acceptable impact on the amenity of 115A and 115B Victoria Road in keeping with

the development policies.

101 Uphall Road

The proposed development will offset the boundary line by 12.82 metres and sit south of this property, nevertheless, officers do not consider the proposal to result in greater levels of overshadowing. As the proposal will be located a significant distance officers do not consider it to result in the material loss of daylight or outlook. With regard to the mansard roof as noted above the proposal will have 1 window to the rear, however, a new parapet roof will be constructed and this window will be set back from the edge, as such officer do not consider the proposed development to result in the loss of privacy. Therefore, officers consider te proposed development to have an acceptable impact on neighbouring amenity in keeping with the development policies.

Overall, officers consider the proposed development to have an acceptable impact on the amenity of neighbouring properties at 112, 114, 1116-9116, 115A and 115B Victoria Road and 101 Uphall Road in keeping with the development policies.

Sustainable Transport

The NPPF recognises that sustainable transport has an important role to play in facilitating sustainable development but also contributing to wider health objectives. It offers encouragement to developments which support reductions in greenhouse gas emissions and those which reduce congestion. The NPPF also outlines that developments which generate significant vehicle movements should be located where the need to travel will be minimised and the use of sustainable transport options can be maximised. It is also expected that new development does not give rise to the creation of conflicts between vehicular traffic and pedestrians. However, it also stated that development should only be prevented or refused on highways grounds if there would be an unacceptable impact on highway safety, or the residual cumulative impacts on the road network would be severe.

This is echoed by the London Plan through Policies 6.3, 6.9 and 6.13, and the Draft London Plan Chapter 10 policies and further supported by policy BR9 of the Borough Wide DPD and draft DM policy 32 of the Draft Local Plan. Whilst policy does not dictate specific onsite parking requirements for an HMO use, it indicates that in areas with a high public transport accessibility rating level (PTAL), onsite parking may be reduced.

The application site has a PTAL rating of 2 which represents low/moderate access to public transport as such it would be expected that off-street parking is provided as it is likely that future residents will require the use of a private car to access the site. As shown in the amended drawings the proposal does not provide any off- street parking. Due to the nature of the property being an HMO for up to 9 households and 16 people officers consider this acceptable as the introduction of off-street parking on site may result in further congestion and loss of parking amenity as all residents may see it as an opportunity to have a private car which would result in an increase in on-road parking. Therefore, a car free development is supported at this location as it would be expected that visitors and residents to the site us nearby public transport routes rather than their own car. The application site is located a 11 minutes walk from Barking Station and moments from a number of bus services which run along Ilford Lane. Therefore, it is evident the property is conveniently located to be assessed by more sustainable modes of transport. In addition the proposal will have secure cycle storage to the rear of the property which residents can use, hence, encouraging residents to own and use a bicycle. Overall, officers consider the proposal to be acceptable and in keeping with the development policies.

CONCLUSION

The proposed construction of a part single/two storey rear extension, mansard roof and conversion of the property into an 9 bedroom HMO will have an acceptable impact on the character and identity of the local area without negatively impacting the amenity of neighbouring properties. The proposal is therefore considered acceptable and in keeping with the development policies.

APPENDIX 1

Development Plan Context	
The Council has carefully considered the relevant provisions of the Council's adopted development plan and of all other relevant policies and guidance. Of particular relevance to this decision were the following Framework and Development Plan policies and guidance:	
National Planning Policy Framework (NPPF) (MHCLG, February 2019)	
The London Plan: Spatial Development Strategy for London (GLA, consolidated with alterations since 2011, published March 2016)	<ul style="list-style-type: none"> Policy 3.3 Increasing Housing Supply Policy 3.5 Quality and Design of Housing Developments Policy 3.8 Housing Choice Policy 3.14 Existing Housing Policy 7.1 Lifestyle Neighbourhoods Policy 7.4 Local Character Policy 7.2 An Inclusive Environment Policy 7.15 Reducing and managing noise, improving and enhancing the acoustic environment and promoting appropriate soundscapes. Policy 6.3 Assessing effects of development on transport capacity Policy 6.9 Cycling Policy 6.13 Parking
<i>The Mayor of London's Draft London Plan - Intend to Publish version December 2019 is under Examination. Having regard to NPPF paragraph 48 the emerging document is a material consideration and appropriate weight will be given to its policies and suggested changes in decision-making, unless other material considerations indicate that it would not be reasonable to do so.</i>	
Draft London Plan (Intend to Publish version December 2019)	<ul style="list-style-type: none"> Policy GG4 Delivering the homes Londoners need Policy H8 Loss of existing housing and estate redevelopment Policy H10 Housing size mix Policy H9 Ensuring the best use of stock Policy D6 Housing quality and standards Policy D4 Delivering good design Policy GG1 Building strong and inclusive communities Policy GG3 Creating a healthy city Policy D14 Noise
Local Development Framework (LDF) Core Strategy (July 2010)	<ul style="list-style-type: none"> Policy CM1 General Principles of Development Policy CM2 Managing Housing Growth
Local Development Framework (LDF) Borough Wide Development Plan Document (DPD) (March 2011)	<ul style="list-style-type: none"> Policy BC4 Residential Conversions and Houses in Multiple Occupation Policy BP5 External Amenity Space Policy BP11 Urban Design Policy BP8 Protecting Residential Amenity Policy BR9 Riverside Development
<i>The London Borough of Barking and Dagenham's Draft Local Plan: (Regulation 18 Consultation Version, November 2019) is at an "early" stage of preparation. Having regard to NPPF paragraph 216 the emerging document is now a material consideration and limited weight will be given to the emerging document in decision-making, unless other material considerations indicate that it would not be reasonable to do so.</i>	
The London Borough of Barking and Dagenham's Draft Local Plan (Regulation 18 Consultation Version, November 2019)	<ul style="list-style-type: none"> Policy DM2 Housing size and mix Policy DM3 Specialist Housing Policy DM4 New Houses in multiple occupation (HMO) Policy DM16 Householder Extensions and Alterations Policy SP4 Delivering Quality Design in the Borough Policy DM14 Conserving and Enhancing Heritage Assets and Archaeology Policy DM11 Responding to Place Policy DM25 Managing Nuisance Policy DM32 Cycle and Car Parking
Supplementary Planning Documents	DCLG Technical Housing Standards (nationally described space standard) (DCLG, March 2015) (as amended) Housing Supplementary Planning Guidance (GLA, March 2016, Updated August 2017)

APPENDIX 2

Application Number:	14/00143/PRE	Status:	Decision Issued
Description:	Pre-application meeting request: Erection of ground and first floor rear extension.		
Enforcement Case:	17/00322/NOPERM	Status:	Case Closed
Alleged breach:	HMO and change of use from office to ground floor homes		

APPENDIX 3

Consultations		
Consultee:	Date Consulted:	Summary of response:
N/A		

APPENDIX 4

Neighbour Notification	
Date Consultation Letter Sent:	17.07.2020
<i>No response received.</i>	

LBBB Reference: 19/01105/FUL

Ken Judge & Associates Ltd
The Barn, Monument Office, Maldon Road, Woodham Mortimer, CM9 6SN, United Kingdom

**TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND) ORDER 2015 (AS AMENDED)**

Dear Sir / Madam,

Application Number: 19/01105/FUL
Address: 117 Victoria Road, Barking, Barking And Dagenham, IG11 8PZ
Development Description: Removal of existing pitched roof, construction of new second floor mansard roof extension, and erection of single storey, first, and second floor rear extensions to create a 9 bedroom house in multiple occupation (HMO).

Thank you for your recent application at the above address on which a decision has now been made. The decision on your application is attached. Please carefully read all of the information contained in these documents.

Please quote your application reference number in any correspondence with the Council.

Yours sincerely,

[Graeme Cooke](#)

Graeme Cooke
Director of Inclusive Growth
London Borough of Barking and Dagenham

PLANNING DECISION NOTICE

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED) TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND) ORDER 2015 (AS AMENDED)

Agent: Ken Judge & Associates Ltd
The Barn, Monument Office, Maldon Road,
Woodham Mortimer, CM9 6SN, United
Kingdom

Applicant: IMAKH LIMITED
C/o Agent

PART 1 - PARTICULARS OF THE APPLICATION

Application Number: 19/01105/FUL
Application Type: Full Planning Permission
Development Description: Removal of existing pitched roof, construction of new second floor mansard roof extension, and erection of single storey, first, and second floor rear extensions to create a 9 bedroom house in multiple occupation (HMO).
Site Address: 117 Victoria Road, Barking, Barking And Dagenham, IG11 8PZ
Date Received: 27 June 2019
Date Validated: 28 June 2019

PART 2 - PARTICULARS OF THE DECISION

The London Borough of Barking and Dagenham, as Local Planning Authority, in pursuance of its powers under the above mentioned Act, Rules, Orders and Regulations made thereunder, hereby gives notice that PLANNING PERMISSION has been **GRANTED** for the carrying out of the development referred to in PART 1 hereof and as described and shown on the plan(s) and document(s) submitted with the application, subject to the conditions and reasons listed below.

Conditions:

1. The development hereby permitted shall be commenced before the expiration of three years from the date of this permission.

Reason: To comply with the requirements of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The development hereby approved shall only be carried out in accordance with the following approved plans and documents: -

- 2501/2 Proposed Floor Plans, Elevations, Section & Block Plan [Revision A] Dated May 2019.

No other drawings or documents apply.

Reason: To ensure that the development is undertaken in accordance with the approved drawing(s) and document(s), to ensure that the finished appearance of the development will enhance the character and visual amenities of the area and to satisfactorily protect the residential amenities of nearby occupiers.

3. The materials to be used in the construction of the external surfaces of the development hereby permitted shall match those used in the existing building.

Reason: To ensure that the finished appearance of the development will respect the character and visual amenities of the local area.

4. Prior to the first occupation of any new/reconfigured units hereby consented, the applicant shall undertake a scheme of improvement works to uplift the external facades of the building including but not limited to; repainting external elevations, restorative works to eaves and windows, removal of excess satellite dishes and supporting wiring, ensure a secure entrance intercom is installed and any exterior signage is removed.

Reason: To enhance the character and amenity of the area and to ensure an exemplar finish to the building.

5. No development above ground level shall take place until details of refuse enclosures showing the design; location and external appearance have been submitted to and approved in writing by the Local Planning Authority. The approved enclosures shall be provided before the commencement of the use and thereafter permanently retained.

Reason: To provide satisfactory refuse storage provision in the interests of the appearance of the site and locality in accordance with policies BP8 and BP11 of the Borough Wide Development Policies Development Plan Document.

6. Prior to first occupation of the site the rear garden must be fully instated in accordance with the approved plans and existing sheds fully removed. This should be maintained as a garden area for the duration of the use of the site as a House in Multiple Occupation.

Reason: To protect and enhance the character and amenity of the area and to ensure the property provide sufficient external amenity space to support future residents.

7. Prior to first occupation the existing vehicle gates from the garden space to Uphall Road shall be removed and a garden wall instated to match the existing.

Reason: To protect or enhance the character and amenity of the area and to uplift the quality and appearance of the site in line with policy BP11 of the Borough Wide DPD.

8. Further to condition 7 and prior to first occupation, the applicant shall enter into a section 278 highways agreement to remove the existing dropped kerb and reinstate the pedestrian footway.

Reason: In the interest of public safety and to protect the character or amenity of the area.

Summary of Policies and Reasons:

In deciding to grant planning permission in this instance, Be First, working in partnership the London Borough of Barking and Dagenham, found the proposal to be acceptable following careful consideration of the relevant provisions of the National Planning Policy Framework, the Development Plan and all other relevant material considerations. Upon review, the London Borough of Barking and Dagenham is satisfied that any potential material harm resulting from the proposal's impact on the surrounding area would be reasonably mitigated through compliance with the conditions listed above.

The following policies are of particular relevance to this decision and for the imposition of the above mentioned conditions:

National Planning Policy Framework (NPPF) (MHCLG, February 2019)

The London Plan: Spatial Development Strategy for London (GLA, consolidated with alterations since 2011, published March 2016)

Policy 3.3 Increasing Housing Supply

Policy 3.5 Quality and Design of Housing Developments

Policy 3.8 Housing Choice

Policy 3.14 Existing Housing

Policy 7.1 Lifestyle Neighbourhoods

Policy 7.4 Local Character

Policy 7.2 An Inclusive Environment

Policy 7.15 Reducing and managing noise, improving and enhancing the acoustic environment and promoting appropriate soundscapes.

Policy 6.3 Assessing effects of development on transport capacity

Policy 6.9 Cycling

Policy 6.13 Parking

Draft London Plan (Intend to Publish version, December 2019)

The Mayor of London's Draft London Plan (Intend to Publish version, December 2019) is under Examination. Having regard to NPPF paragraph 48, the emerging document is a material consideration and appropriate weight will be given to its policies and suggested changes in decision-making, unless other material considerations indicate that it would not be reasonable to do so.

Policy GG4 Delivering the homes Londoners need

Policy H8 Loss of existing housing and estate redevelopment

Policy H10 Housing size mix

Policy H9 Ensuring the best use of stock

Policy D6 Housing quality and standards

Policy D4 Delivering good design

Policy GG1 Building strong and inclusive communities

Policy GG3 Creating a healthy city

Policy D14 Noise

Local Development Framework (LDF) Core Strategy (July 2010)

Policy CM1 General Principles of Development
Policy CM2 Managing Housing Growth

Local Development Framework (LDF) Borough Wide Development Plan Document (DPD) (March 2011)

Policy BC4 Residential Conversions and Houses in Multiple Occupation
Policy BP5 External Amenity Space
Policy BP11 Urban Design
Policy BP8 Protecting Residential Amenity
Policy BR9 Riverside Development

The London Borough of Barking and Dagenham's Draft Local Plan: (Regulation 18 Consultation Version, November 2019)

The London Borough of Barking and Dagenham's Draft Local Plan: (Regulation 18 Consultation Version, November 2019) is at an "early" stage of preparation. Having regard to NPPF paragraph 216 the emerging document is now a material consideration and limited weight will be given to the emerging document in decision-making, unless other material considerations indicate that it would not be reasonable to do so.

Policy DM2 Housing size and mix
Policy DM3 Specialist Housing
Policy DM4 New Houses in multiple occupation (HMO)
Policy DM16 Householder Extensions and Alterations
Policy SP4 Delivering Quality Design in the Borough
Policy DM14 Conserving and Enhancing Heritage Assets and Archaeology
Policy DM11 Responding to Place
Policy DM25 Managing Nuisance
Policy DM32 Cycle and Car Parking

Supplementary Planning Documents

DCLG Technical Housing Standards (nationally described space standard) (DCLG, March 2015) (as amended)

Housing Supplementary Planning Guidance (GLA, March 2016, Updated August 2017)

The above policies can be viewed on the Council's website: www.lbbd.gov.uk/planning.

Working with the applicant:

In dealing with this application, Be First, working in partnership with the London Borough of Barking and Dagenham, has implemented the requirements of the National Planning Policy Framework and of the Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended) to work with the Applicant in a positive and proactive manner. As with all applicants, Be First has made available detailed advice in the form of statutory policies and all other relevant guidance, as well as offering a full pre-application advice service, so as to ensure the applicant has been given every opportunity to submit an application which is likely to be considered favourably.

This development is potentially liable for payment of both the Mayor of London and London Borough of Barking and Dagenham's Community Infrastructure Levies (CIL). Further information about CIL, including the process that must be followed and forms that will be required, can be found on the Council's website: <https://www.lbbd.gov.uk/developer-contributions-cil-and-s106> . CIL forms can be submitted to: S106CIL@befirst.london

DATE OF DECISION: 19/08/2020

Yours sincerely,

Graeme Cooke

Graeme Cooke

Director of Inclusive Growth
London Borough of Barking and Dagenham

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)
Applicant's Rights following the Grant or Refusal of permission

1. Appeals to the Secretary of State

Should you (an applicant/agent) feel aggrieved by the decision of the council to either refuse permission or to grant permission subject to conditions, you can appeal to the Secretary of State for the Department of Communities and Local Government – Section 78 of the Town and Country Planning Act 1990 / Sections 20 and 21 of the Planning (Listed Building and Conservation Areas) Act 1990. Any such appeal must be made within the relevant timescale for the application types noted below, beginning from the date of the decision notice (unless an extended period has been agreed in writing with the council):

- **Six (6) months:** Full application (excluding Householder and Minor Commercial applications), listed building, conservation area consent, Section 73 'variation/removal', Section 73 'minor-material amendment', extension of time and prior approval applications.
- **Twelve (12) weeks:** Householder planning, Householder prior approval and Minor Commercial applications.
- **Eight (8) weeks:** Advertisement consent applications.
- **No timescale:** Certificate of lawful development (existing/proposed) applications.

Where an enforcement notice has been issued the appeal period may be significantly reduced, subject to the following criteria:

- The development proposed by your application is the same or substantially the same as development that is currently the subject of an enforcement notice: **28 days of the date of the application decision.**
- An enforcement notice is served **after the decision on your application** relating to the same or substantially the same land and development as in your application and if you want to appeal against the council's decision you are advised to appeal against the Enforcement Notice and to do so before the Effective Date stated on the Enforcement Notice.

Appeals must be made using the prescribed form(s) of The Planning Inspectorate (PINS) obtained from www.planning-inspectorate.gov.uk or by contacting 03034445000. A copy of any appeal should be sent both to PINS and the council (attn: Planning Appeals Officer).

The Secretary of State can allow a longer period for giving notice of an appeal but will not normally be prepared to use this power unless there are exceptional/special circumstances.

The Secretary of State can refuse to consider an appeal if the council could not have granted planning permission for the proposed development or could not have granted it without the conditions it imposed, having regard to the statutory requirements and provisions of the Development Order and to any direction given under the Order. In practice, it is uncommon for the Secretary of State to refuse to consider appeals solely because the council based its decision on a 'direction given by the Secretary of State'.

2. Subsequent Application Fees

No planning fee would be payable should a revised planning application be submitted within 12 months of the decision. This 'fee waiver' is permitted only where the new application meets the following criteria:

- the applicant is the same as the applicant of the original application
- site boundary is the same as the site boundary of the original application
- the nature of development remains the same.

3. Purchase Notices

Should either the council or the Secretary of State refuse permission or to grant permission subject to conditions, the owner may claim that the land cannot be put to a reasonably beneficial use in its existing state nor through carrying out of any development which has been or could be permitted. In such a case, the owner may serve a purchase notice on the council.

This notice will require the council to purchase the owner's interest in the land in accordance with the provisions of Part IV of the Town and Country Planning Act 1990 and Section 32 of the Planning (Listed Buildings Conservation Areas) Act 1990.

4. Compensation

In certain circumstances compensation may be claimed from the council if permission is refused or granted subject to condition(s) by the Secretary of State on appeal or on reference to the Secretary of State. These circumstances are set out in Section 114 and related provisions of the Town and Country Planning Act 1990 and Section 27 of the Planning (Listed Buildings and Conservation Areas) Act 1990.



Performance Review Sub-Committee

16th February 2021

Sample Selection Number:

77

Application Reference:

19/01910/FUL

Application Description:

Erection of a roof shade outside patio door in the garden for disabled person.

Decision:

Refused

Weight 520 cm
Length 360 cm
height 240 cm
From
Patio floor

left side

Garden

step into garden
40 cm

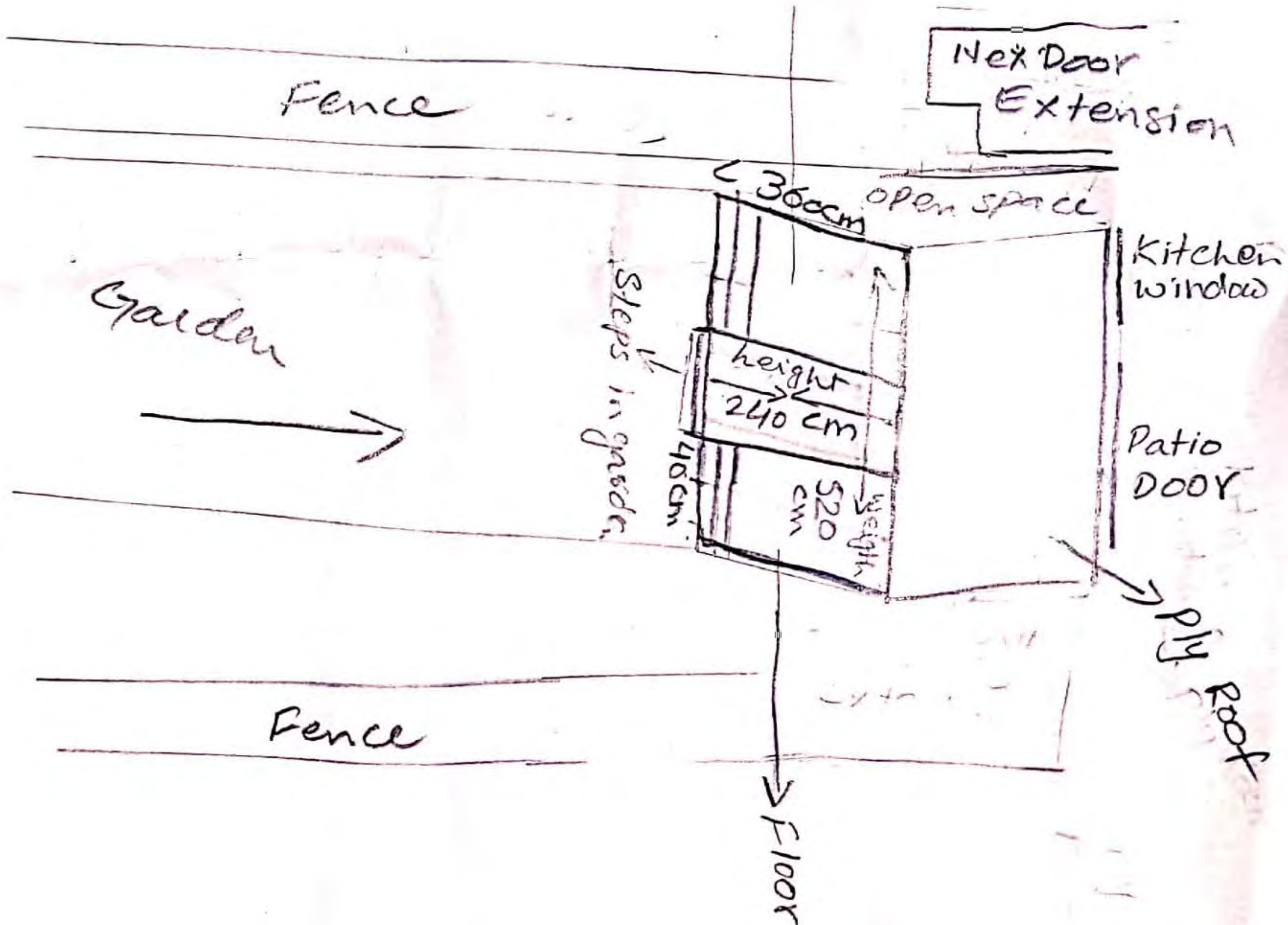
Patio PVC
Roof
H = 240 cm
L = 360 cm
W = 520 cm

Right side

↑
PATIO DOOR

House

Neighbour
Extension



Handwritten notes and dimensions on the right side of the page, including:
- "Kitchen window" (written vertically)
- "Patio DOOR" (written vertically)
- "ply roof" (written vertically)
- "40cm" (written vertically)
- "520 cm" (written vertically)
- "240 cm" (written vertically)
- "360cm" (written vertically)
- "open space" (written vertically)
- "Next Door Extension" (written vertically)
- "Fence" (written vertically)
- "Garden" (written vertically)
- "Steps in garden" (written vertically)
- "Floor" (written vertically)

Delegated Report

Householder Application for Planning Permission for Works or Extension to a Dwelling

Case Officer:	Kathryn McAllister	Valid Date:	19 December 2019
Officer Recommendation:	REFUSE	Expiry Date:	13 February 2020
Application Number:	19/01910/FUL	Recommended Date:	21 October 2020
Address:	171 Dagenham Road, Rush Green, Romford, Barking And Dagenham, RM7 0TL		
Proposal:	Erection of a roof shade outside patio door in the garden for disabled person.		

Planning Constraints

N/A

Consultations

Consultee:	Date Consulted:	Summary of response:
N/A	N/A	N/A

Neighbour Notification

Date Consultation Letter Sent:	20.01.2020
Number of Neighbours Consulted:	6
Address:	Summary of response:
169 Dagenham Road	The roof was erected before Christmas and it blocks the sun from my garden and privacy as they can see over my fence.

Relevant Planning History

Enforcement Case:	19/00326/NOPERM	Status:	Pending Consideration
Alleged breach:	Extension		

Development Plan Context

The Council has carefully considered the relevant provisions of the Council's adopted development plan and of all other relevant policies and guidance. Of particular relevance to this decision were the following Framework and Development Plan policies and guidance:

National Planning Policy Framework (NPPF) (MHCLG, February 2019)

The London Plan: Spatial Development Strategy for London (GLA, consolidated with alterations since 2011, published March 2016)	Policy 7.1 Lifetime Neighbourhoods Policy 7.4 - Local Character Policy 7.5 - Public Realm Policy 7.6 - Architecture
--	--

The Mayor of London's Draft London Plan - Intend to Publish version December 2019 is under Examination. Having regard to NPPF paragraph 48 the emerging document is a material consideration and appropriate weight will be given to its policies and suggested changes in decision-making, unless other material considerations indicate that it would not be reasonable to do so.

Draft London Plan (Intend to Publish version December 2019)	Policy D1 - London's Form, Character and Capacity for Growth Policy D4 - Delivering Good Design Policy D8 - Public Realm
Local Development Framework (LDF) Core Strategy (July 2010)	Policy CR2 - Preserving and Enhancing the Natural Environment Policy CP3 - High Quality Built Environment
Local Development Framework (LDF) Borough Wide Development Plan Document (DPD) (March 2011)	Policy BP8 - Protecting Residential Amenity Policy BP11 - Urban Design

The London Borough of Barking and Dagenham's Draft Local Plan: (Regulation 19 Consultation Version, October 2020) is at an "advanced" stage of preparation. Having regard to NPPF paragraph 216 the emerging document is now a material consideration and substantial weight will be given to the emerging document in decision-making, unless other material considerations indicate that it would not be reasonable to do so.

The London Borough of Barking and Dagenham's Draft Local Plan (Regulation 19 Consultation Version, October 2020)	built environment Policy SP4 - Delivering quality design in the borough. Policy DMD1 - Securing high quality design Policy DMD6 - Householder extensions and alterations Policy DMNE3 - Nature conservation and biodiversity
Supplementary Planning Documents	Residential Extensions and Alterations (SPD) (February 2012)

ASSESSMENT

Principle of the Development

Is the proposed development acceptable 'in principle'? **YES**

Officer Comment: The overriding objective of the local policies is to deliver high quality development which improves the quality and distinctive identity of places and meets the housing needs of existing and future residents. As such, it is acknowledged that extensions to existing family dwelling houses can facilitate additional and enhanced living space for improved living conditions for occupants. They are therefore considered acceptable in principle subject to ensuring a high-quality, neighbourly design. Such matters are addressed below.

Achieving High Quality of Urban Design

Does the proposed development respect the character and appearance of the existing dwelling? **NO**

Does the proposed development respect and accord to the established local character? **NO**

Is the proposed development acceptable within the street scene or when viewed from public vantage points **NO**

Is the proposed development acceptable and policy compliant? **NO**

Officer Comment: Paragraphs 127 and 128 of the NPPF (2019) outline that planning policies and decisions should aim to ensure that developments function well and add to the overall quality of an area not just for the short-term, but over the lifetime of the development. Paragraph 130 advises that permission should be refused for development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions.

London Plan (2016) Policy 7.1 stated that the design of new developments and the spaces they create should help reinforce the character of the neighbourhood. Policy 7.4 requires development to have regard to the form, function and structure of an area, place or street and the scale, mass and orientation of surrounding buildings and other forms of development. It is required that in areas of poor, or ill-defined, character, new development should build on the positive existing elements that can contribute to establishing an enhanced character for the future function of the area. Policy 7.6 seeks the highest quality materials and design appropriate to its context. It is advised that the buildings and structures should be of the highest architectural quality and comprise details and materials that complement the local architectural character. Draft London Plan (2019) Policy D4 discusses the need for good design to be thoroughly scrutinised at application stage, including elements relating to layout, scale, density, land-uses, materials, detailing and landscaping.

This is further supported by policy BP11 of the Borough Wide DPD and policy CP3 of the Core Strategy DPD which seek to ensure developments contribute to providing a high quality built environment which contributes positively to the character of the surrounding area. In particular household extensions and alterations need to be designed in a sensitive and appropriate manner and must not significantly impact on the quality of life of surrounding neighbours. This is further supported by policies SP2, SP4, DMD1 and DMD6 of the Draft Local Plan Reg 19.

The SPD states that rear extensions have the potential to significantly impact upon neighbouring amenity, as such the depth of the proposal should not normally exceed 3.65 metres in depth. Likewise, the height of the eaves should not exceed 3.0 metres and where a flat roof is proposed the maximum height should not exceed 3.0 metres. Where a conservatory is proposed in addition to an extension, a maximum depth of 6 metres as measured from the original rear wall of the house will be allowed. Particular attention should be paid to the side elevations of the conservatory to ensure that it is not impacting the neighbours amenity. In circumstances where the conservatory flanks a neighbour's boundary, the side wall should be fitted with obscure glazing to protect the privacy of adjacent occupiers. Alternatively, the Council will allow walls that flank neighbouring boundaries to be constructed in solid materials to a maximum height of 2 metres in order to allow the passage of natural light. All remaining elevations and the roof of the conservatory should be glazed. Officers acknowledge that this application seeks permission for the erection of a roof shade outside the patio door in the garden, nonetheless, as the roof shade will have similar properties to that of a conservatory it would be expected that the

proposal complies with the guidance set out by the SPD which has been summarised above.

This application seeks permission for the retention of a roof shade outside the patio door. The applicant has submitted sketches of the proposal whilst not to scale they detail the dimensions of the proposal. The roof shade will be 5.20 metres wide, 3.60 metres deep and have a flat roof which measures 2.40 metres from the patio floor. The patio floor is raised 0.40 metres above the natural ground level as such the overall height of the proposal will be 2.80 metres as measured from the natural ground level. The roof shade will be constructed of ply wood, whereby it will have a felt roof under clad with UPVC. Likewise, the proposal will have a full guttering system. Therefore, officers consider the design and detailing of the proposal to exceed that usually found for roof canopies, however, it simultaneously falls short of design expectations for a rear extension. Consequently, officers consider the proposal to be of poor quality and design as it will appear out of place and out of character at this location.

Furthermore, as shown on google maps and the proposed location plan the application site has an existing 3.0 metre rear extension. This development does not form part of the original dwelling house, however, as this property does not have any planning history it is likely it was constructed under permitted development. Nonetheless, the roof shade will sit to the rear of this existing extension, as such, the combined depth of the existing extension and proposal will be 6.60 metres as measured from the main rear elevation of the property. Officers therefore consider the proposed roof shade to be an excessive depth as it will result in the total enlarged part of the application site appearing disproportionately large in comparison to the host property harmful to the character and appearance of the dwellinghouse, terrace row and the surrounding local area.

Overall, for reasons of size, scale and design the proposal fails to respect and reflect the built form of the host property as it will appear disproportionately large and out of place in relation to the host dwellinghouse. The proposal therefore constitutes uncharacteristic and unsympathetic development detrimental to the character and appearance of the host dwelling. Thus the proposal is considered unacceptable and contrary to the development policies.

Delivering Neighbourly Development

	169 Dagenham Road	173 Dagenham Road	N/A			169 Dagenham Road	173 Dagenham Road	N/A
Outlook:				Overshadowing:				
Loss from habitable rooms?	YES	YES		Shadow cast into rooms?	YES	NO		
<i>Is it unacceptable?</i>	YES	YES		<i>Is it unacceptable?</i>	YES	NO		
				Shadow into garden?	YES	NO		
Loss of Privacy:				<i>Is it unacceptable?</i>	YES	NO		
Overlooking the garden?	YES	YES						
<i>Is it unacceptable?</i>	YES	YES		Overbearing:				
Overlooking into rooms?	NO	NO		Impact on habitable rooms?	YES	NO		
<i>Is it unacceptable?</i>	NO	NO		<i>Is it unacceptable?</i>	YES	NO		
				Impact on gardens?	YES	NO		
Loss of Daylight:				<i>Is it unacceptable?</i>	YES	NO		
Loss into habitable rooms?	YES	NO						
<i>Is it unacceptable?</i>	YES	NO						

The proposal will offset the boundary line with Rush Green Primary School by 20.0 metres; no.167 by 5.80 metres; no.175 by 10.0 metres and no.177 by 17.5 metres as such having taken into consideration the development policies which seek to protect neighbouring amenity officers consider the distance between the properties to mitigate any significant impact the proposal may have on neighbouring amenity, as such,

<i>Officer Comment:</i>	<p>officers consider the impact of the proposal to be negligible. Regarding the properties directly adjacent the impact of the proposal will be assessed below.</p> <p>173 Dagenham Road</p> <p>The proposal will abut the boundary and sits to the north of no.73. As shown on google maps this property has an existing solid rear extension which appears to have the same depth as the existing extension on the application site. To the rear of this the property has roof shade, this is constructed out of glazed materials and open on three side as such it continue to allow the natural passage of light into the property. As the proposal will extend 3.60 metres beyond the rear solid elevation of this property officers do not consider the proposal to result in any significant loss of daylight or privacy.</p>
	<p>169 Dagenham Road</p> <p>The proposal will abut the boundary line with this property and sit to the south . As shown on google maps this property has a half width rear extension which offsets the shared boundary line with the application site by 2.21 metres. As a result the combined depth of the existing rear extension and proposed roof shade will extend 6.60 metres beyond the main rear elevation of no.169. Whilst officers acknowledge that the proposed roof shade will be open on three sides as the roof will be finished in solid material this will not allow the natural passage of light which will significantly impact upon the amount of daylight which is entering the habitable rooms to the rear of this property. The sitting of the proposal to the south of this property will also increase the amount of overshadowing, thus, the material impact the proposal will have on daylight is greater exacerbated. Consequently the proposal will represent overbearing and unneighbourly development.</p>
	<p>Furthermore, as noted above the proposal will be of excessive depth as a result it will have a particular prominent position within the rear garden of this property and therefore will impinge upon neighbouring outlook at it will have a protruding presence. Due to the proposal having a poor quality design officers consider this to exacerbate the impact on neighbouring outlook as the proposal will have a visually intrusive presence. Consequently, officers consider the roof shade to constitute unneighbourly development. Moreover, the floor level of the proposed canopy roof will sit 0.4 metres above ground level, as such whilst the overall height remains below that required by the SPD users of this space will sit above ground level thus resulting in the loss of privacy to both 173 and 169 as users will be able to look over the neighbours fence. The photograph submitted showing the roof shade from the solid rear elevation of the property greater highlights how the proposal will impinge upon the privacy of neighbouring properties harmful to their standard of living.</p>
	<p>Therefore, for reasons of design, size and sitting officers consider the proposal to have an unacceptable impact on neighbouring amenity as it will significantly reduce the amount of daylight entering the habitable rooms to the rear of no.169 whilst simultaneously impinging upon the privacy and outlook of both properties as it will be both visually intrusive and enable overlooking detrimental to the standard of living of both no.173 and no.169 Dagenham Road. The proposal is therefore considered to have an unacceptable impact upon neighbouring amenity contrary to the development policies.</p>

Delivering Sustainability	
<i>Does the proposed development promote or enhance biodiversity?</i>	NO
<i>Has established vegetation been preserved or appropriately relocated/mitigated against?</i>	NO
<i>Officer Comment:</i>	The application has not incorporated any proposed biodiversity enhancement measures and the extension will result in the loss of a portion of grassed area. Whilst there is scope to compensate for such loss and to further improve the biodiversity value of the site, the lack of any compensatory or enhancement measures in this instance would not warrant reason for refusal noting there is still ample garden remaining.

Other Material Considerations
Officers note that the applicant has stated they are a disabled occupant, however, the documents provided to evidence this are addressed to another property which does not lie within the Borough. Likewise, the proposed roof shade is not step free as shown in the photos submitted with this application there are steps down to the garden and a step between the existing dwellinghouse and the new roof shade. Therefore, officer have apportioned no material weight to this matter as it is evident that the proposal brought forward has not been designed to be accessible.

CONCLUSION
The proposed roof shade for reasons of design, size and sitting would appear disproportionately large and out of place at this location as such the development fails to respect the character and appearance of the area. Likewise it will result in an unacceptable impact on the living conditions of 173 and 169 Dagenham Road as it will have a material impact on their amenity thus constituting overbearing and unneighbourly development. The proposal is therefore considered unacceptable and contrary to the

Development Plan policies and guidance specified above, therefore, it is recommended that planning permission be refused.

LBBB Reference: 19/01910/FUL

Mr K Shaikh
171 Dagenham Road, Rush Green, Romford, Essex, RM7 0TL,

**TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND) ORDER 2015 (AS
AMENDED)**

Dear Sir / Madam,

Application Number: 19/01910/FUL
Address: 171 Dagenham Road, Rush Green, Romford, Barking And Dagenham, RM7 0TL
Development Description: Erection of a roof shade outside patio door in the garden for disabled person.

Thank you for your recent application at the above address on which a decision has now been made. The decision on your application is attached. Please carefully read all of the information contained in these documents.

Please quote your application reference number in any correspondence with the Council.

Yours sincerely,

[Graeme Cooke](#)

Graeme Cooke
Director of Inclusive Growth
London Borough of Barking and Dagenham

PLANNING DECISION NOTICE

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED) TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND) ORDER 2015 (AS AMENDED)

Agent: **Applicant:** Mr K Shaikh
171 Dagenham Road, Rush Green,
Romford, Essex, RM7 0TL,

PART 1 - PARTICULARS OF THE APPLICATION

Application Number: 19/01910/FUL
Application Type: Full Planning Permission
Development Description: Erection of a roof shade outside patio door in the garden for disabled person.
Site Address: 171 Dagenham Road, Rush Green, Romford, Barking And Dagenham, RM7 0TL
Date Received: 18 December 2019
Date Validated: 19 December 2019

PART 2 - PARTICULARS OF THE DECISION

The London Borough of Barking and Dagenham, as Local Planning Authority, in pursuance of its powers under the above mentioned Act, Rules, Orders and Regulations made thereunder, hereby gives notice that PLANNING PERMISSION has been **REFUSED** for the carrying out of the development referred to in PART 1 hereof and as described and shown on the plan(s) and document(s) submitted with the application for the reason(s) listed below.

Reason(s):

1. The proposed roof shade for reasons of design, size and scale will appear disproportionately large and out of place at this location. Likewise, it constitutes poor quality development as it exceeds the quality of a canopy, however, falls short of what would be expected of a rear extension. The proposal is therefore considered an uncharacteristic and unsympathetic addition to the dwellinghouse detrimental to the character and appearance of the house, built form of the terrace and character of the area. As such, the proposed development is contrary to: -

- National Planning Policy Framework (MHCLG, February 2019); -
- Policies 7.1, 7.4, 7.5 and 7.6 of The London Plan (March 2016); -
- Policy D4 of the Draft London Plan Intended to Publish (December 2019); -
- Policy CP3 of the LDF Core Strategy (July 2010); -
- Policy BP11 of the LDF Borough Wide Development Plan Policies DPD (March 2011); -
- The Residential Extensions and Alterations Supplementary Planning Document (February 2012); -
- Policies SP2, SP4, DMD1 and DMD6 of the Draft Local Plan (Regulation 19 Consultation version, October 2020).

2. The proposed roof canopy for reasons of size, sitting and design would have a visually intrusive appearance, increase the sense of overbearingness and have a harmful loss of outlook, daylight and privacy to neighbouring occupiers at 169 and 173 Dagenham Road. The proposal therefore constitutes unneighbourly development contrary to: -

- National Planning Policy Framework (MHCLG, February 2019); -
- Policies 7.1, 7.4 and 7.6 of The London Plan (March 2016); -
- Policy D4 of the Draft London Plan Intended to Publish (December 2019); -
- Policy CP3 of the LDF Core Strategy (July 2010); -
- Policies BP8 of the LDF Borough Wide Development Plan Policies DPD (March 2011); -
- The Residential Extensions and Alterations Supplementary Planning Document (February 2012); -
- Policies DMD1, DMD6, SP2 and SP4 of the Draft Local Plan (Regulation 19 Consultation version, October 2020).

The above policies can be viewed on the Council's website: www.lbbd.gov.uk/planning.

Informative(s):

1. The application hereby refused has been considered against the following plan(s) and/or document(s) submitted with the application: -

- Location Plan
- Proposed Location Plan
- 3D sketch showing rear elevation
- Ground Floor Plan
- Site Plan
- Proposed Rear Elevation
- Proposed Right Side Elevation
- Left Side Elevation
- Sketch Showing Proposal
- Sketch of Proposed Floor Plan
- Photograph of Rear Elevation
- Photograph from the entrance from the main dwellinghouse
- Photograph from inside the dwellinghouse

Working with the applicant:

In dealing with this application, Be First, working in partnership with the London Borough of Barking and Dagenham, has implemented the requirements of the National Planning Policy Framework and the Town and Country Planning (Development Management Procedure) (England) Order 2015 to work with the applicant in a positive and proactive manner based on seeking solutions to problems arising in relation to dealing with the planning application. As with all applicants, Be First has made available detailed advice in the form of statutory policies and all other relevant guidance, as well as offering a full pre-application advice service, so as to ensure the applicant has been given every opportunity to submit an application which is likely to be considered favourably. The necessary amendments to make the application acceptable are substantial and would materially change the proposal. They would require further consultations to be undertaken prior to determination, which could not take place within the statutory determination period specified by the Department of Communities and Local Government. You are therefore encouraged to consider submission of a fresh application incorporating material amendments such as to satisfactorily address the reasons for refusal attached.

DATE OF DECISION: 27.10.2020

Yours sincerely,

[Graeme Cooke](#)

Graeme Cooke

Director of Inclusive Growth
London Borough of Barking and Dagenham

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)
Applicant's Rights following the Grant or Refusal of permission

1. Appeals to the Secretary of State

Should you (an applicant/agent) feel aggrieved by the decision of the council to either refuse permission or to grant permission subject to conditions, you can appeal to the Secretary of State for the Department of Communities and Local Government – Section 78 of the Town and Country Planning Act 1990 / Sections 20 and 21 of the Planning (Listed Building and Conservation Areas) Act 1990. Any such appeal must be made within the relevant timescale for the application types noted below, beginning from the date of the decision notice (unless an extended period has been agreed in writing with the council):

- **Six (6) months:** Full application (excluding Householder and Minor Commercial applications), listed building, conservation area consent, Section 73 'variation/removal', Section 73 'minor-material amendment', extension of time and prior approval applications.
- **Twelve (12) weeks:** Householder planning, Householder prior approval and Minor Commercial applications.
- **Eight (8) weeks:** Advertisement consent applications.
- **No timescale:** Certificate of lawful development (existing/proposed) applications.

Where an enforcement notice has been issued the appeal period may be significantly reduced, subject to the following criteria:

- The development proposed by your application is the same or substantially the same as development that is currently the subject of an enforcement notice: **28 days of the date of the application decision.**
- An enforcement notice is served **after the decision on your application** relating to the same or substantially the same land and development as in your application and if you want to appeal against the council's decision you are advised to appeal against the Enforcement Notice and to do so before the Effective Date stated on the Enforcement Notice.

Appeals must be made using the prescribed form(s) of The Planning Inspectorate (PINS) obtained from www.planning-inspectorate.gov.uk or by contacting 03034445000. A copy of any appeal should be sent both to PINS and the council (attn: Planning Appeals Officer).

The Secretary of State can allow a longer period for giving notice of an appeal but will not normally be prepared to use this power unless there are exceptional/special circumstances.

The Secretary of State can refuse to consider an appeal if the council could not have granted planning permission for the proposed development or could not have granted it without the conditions it imposed, having regard to the statutory requirements and provisions of the Development Order and to any direction given under the Order. In practice, it is uncommon for the Secretary of State to refuse to consider appeals solely because the council based its decision on a 'direction given by the Secretary of State'.

2. Subsequent Application Fees

No planning fee would be payable should a revised planning application be submitted within 12 months of the decision. This 'fee waiver' is permitted only where the new application meets the following criteria:

- the applicant is the same as the applicant of the original application
- site boundary is the same as the site boundary of the original application
- the nature of development remains the same.

3. Purchase Notices

Should either the council or the Secretary of State refuse permission or to grant permission subject to conditions, the owner may claim that the land cannot be put to a reasonably beneficial use in its existing state nor through carrying out of any development which has been or could be permitted. In such a case, the owner may serve a purchase notice on the council.

This notice will require the council to purchase the owner's interest in the land in accordance with the provisions of Part IV of the Town and Country Planning Act 1990 and Section 32 of the Planning (Listed Buildings Conservation Areas) Act 1990.

4. Compensation

In certain circumstances compensation may be claimed from the council if permission is refused or granted subject to condition(s) by the Secretary of State on appeal or on reference to the Secretary of State. These circumstances are set out in Section 114 and related provisions of the Town and Country Planning Act 1990 and Section 27 of the Planning (Listed Buildings and Conservation Areas) Act 1990.



Performance Review Sub-Committee

16th February 2021

Sample Selection Number:

99

Application Reference:

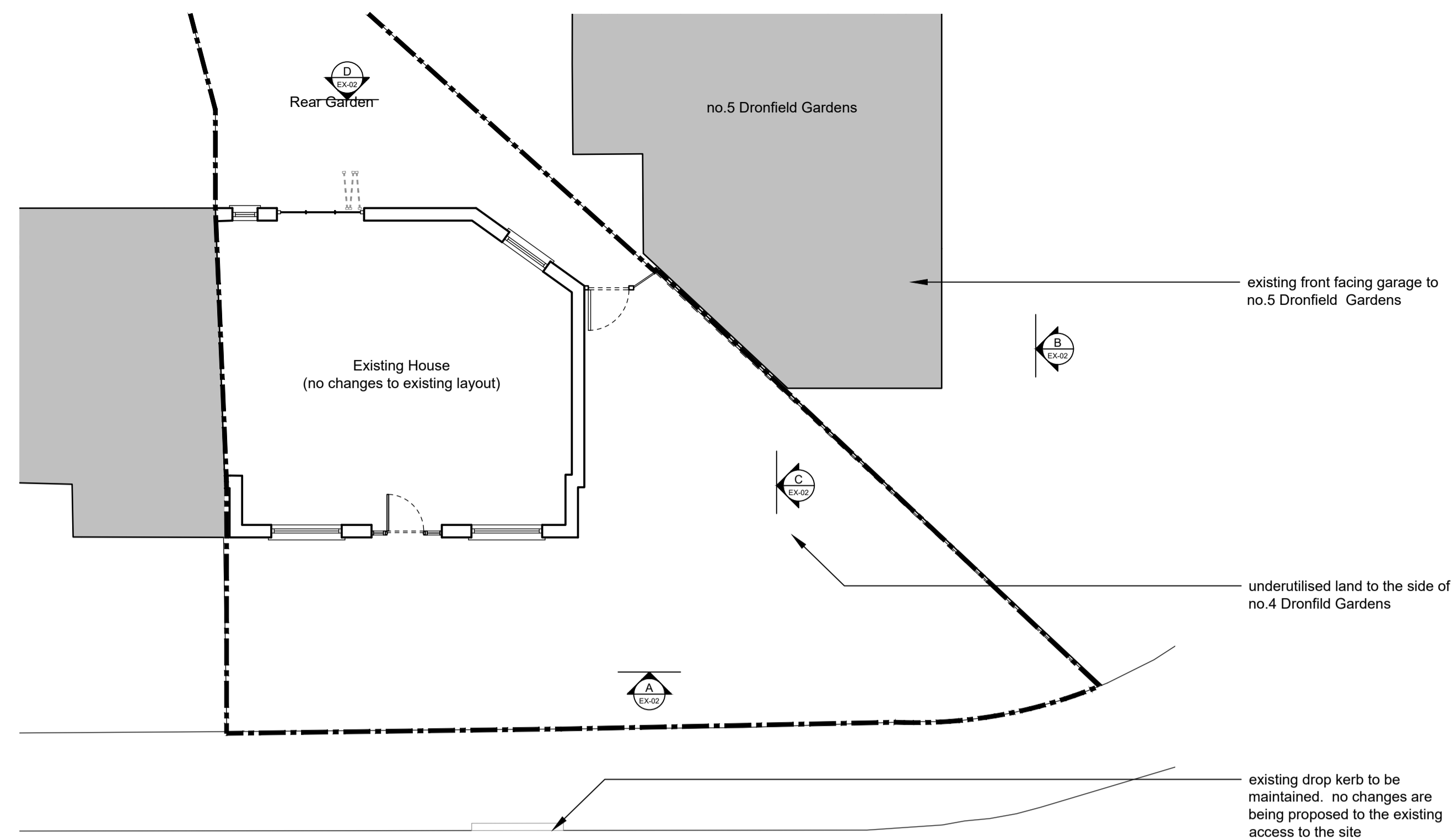
20/00272/FUL

Application Description:

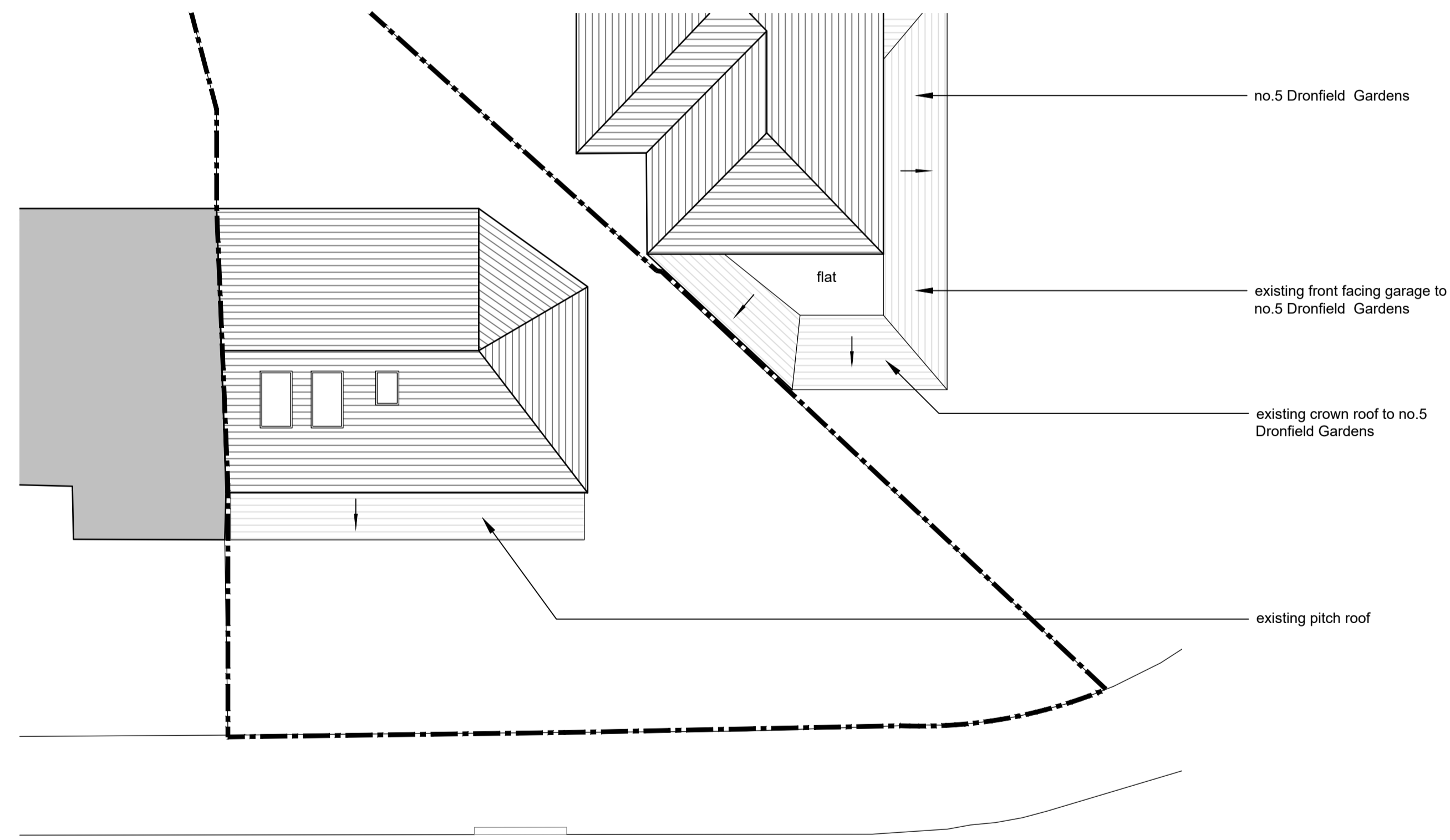
Erection of a side garage in-line with existing semi-detached property

Decision:

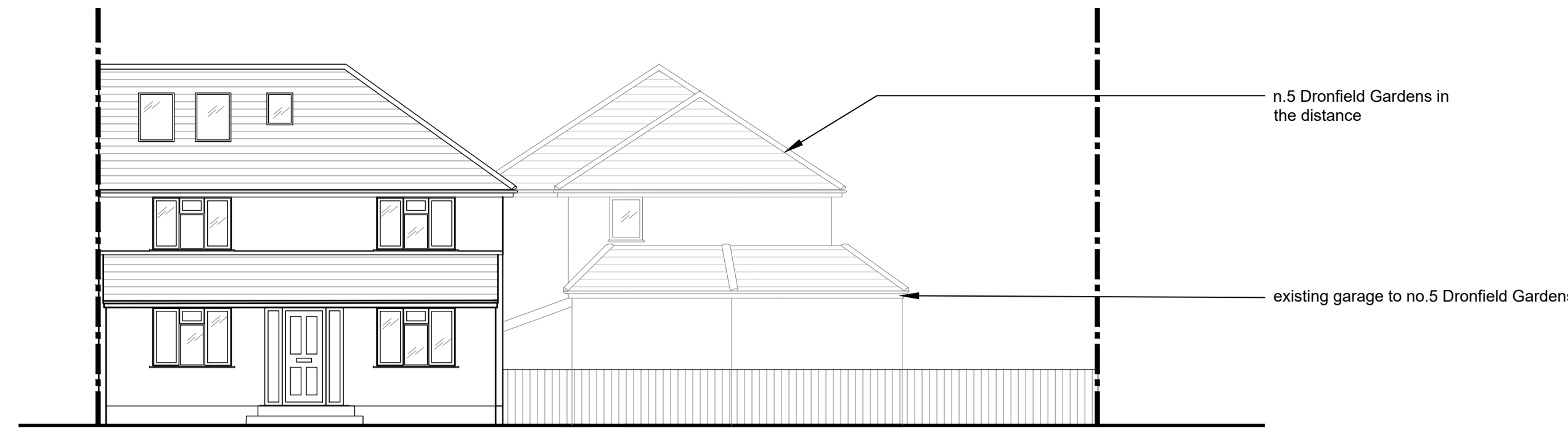
Approved



01 Existing Ground Floor Plan



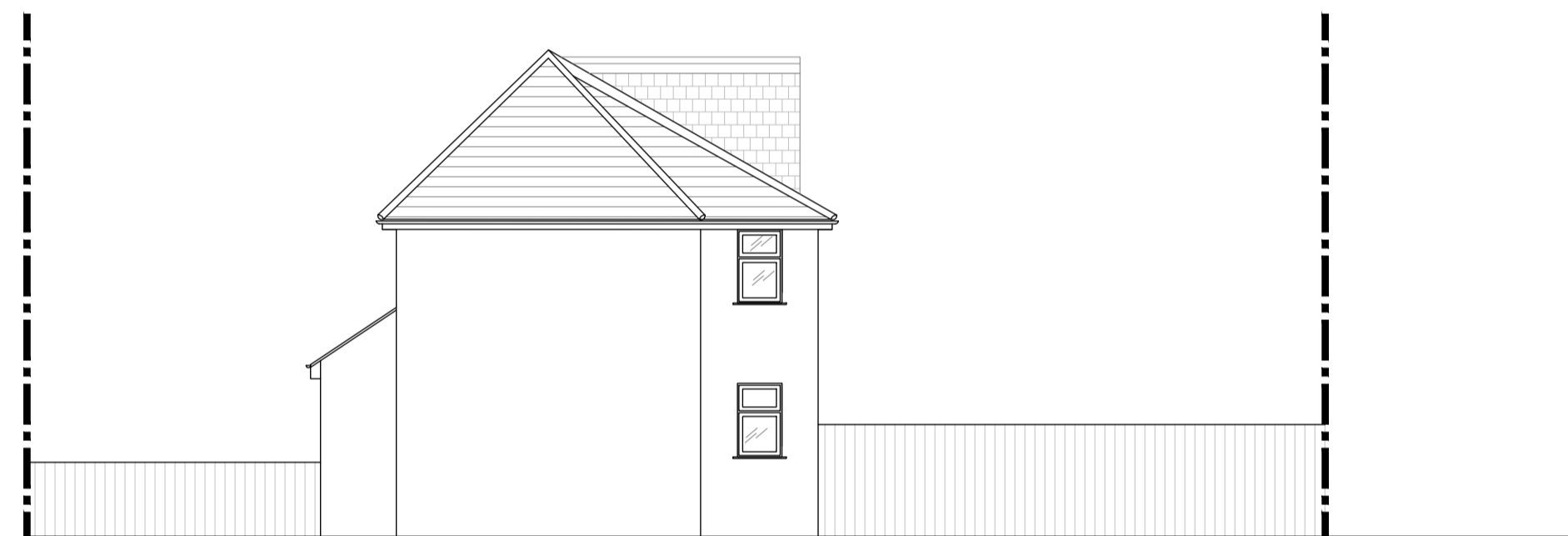
02 Existing Roof Plan



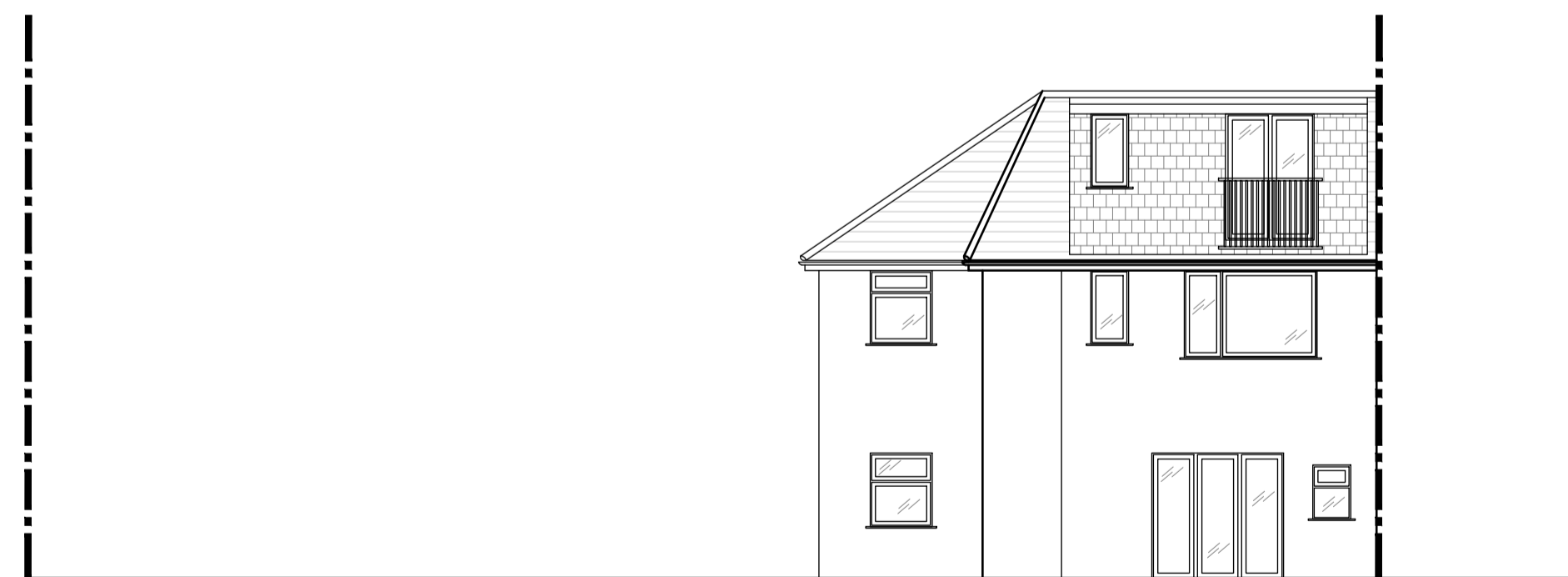
03 Existing Front Elevation
Elevation A



04 Existing Side Elevation (showing No. 5 Dronfield Gardens)
Elevation B



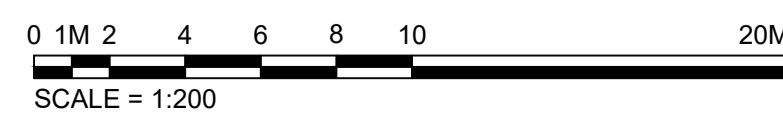
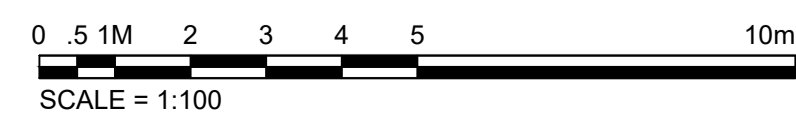
05 Existing Side Elevation
Elevation C



06 Existing Rear Elevation
Elevation D

Page 64

- Notes
- Drawing used for the status indicated only
 - All dimensions and setting out shall be checked and confirmed and any discrepancies to be reported to the Architect prior to commencement of any work
 - All work and materials to be in accordance with current statutory legislation, relevant codes of practice and British Standards
 - Drawing to be read in accordance with relevant consultants and sub-contractors drawings and specifications



SITE BOUNDARY:

- Site boundary assumed and indicated as shown based OSMAP only
- Should exact clarification of boundary be required then a third party boundary professional must be appointed

No Revision
- Issued for Planning Approval

Date
26/02/2020

Project
**4 Dronfield Gardens
Dagenham
RM8 2YD**

Client
Private Client

Scale
1:100 / 1:200

Sheet
A1 / A3

Date
Feb 20

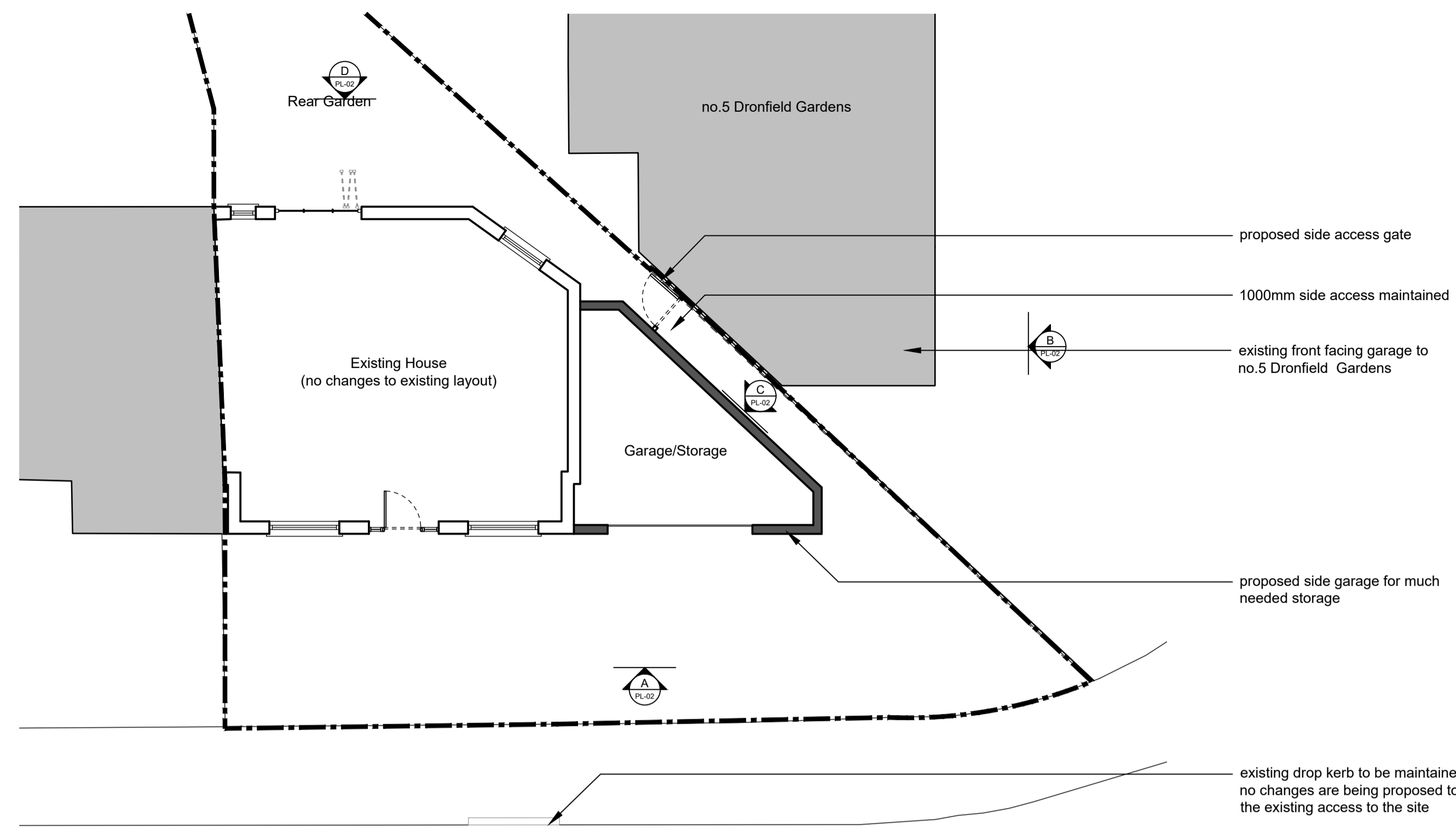
Title
**Existing
Floorplans & Elevations**

Drawing Status
Planning

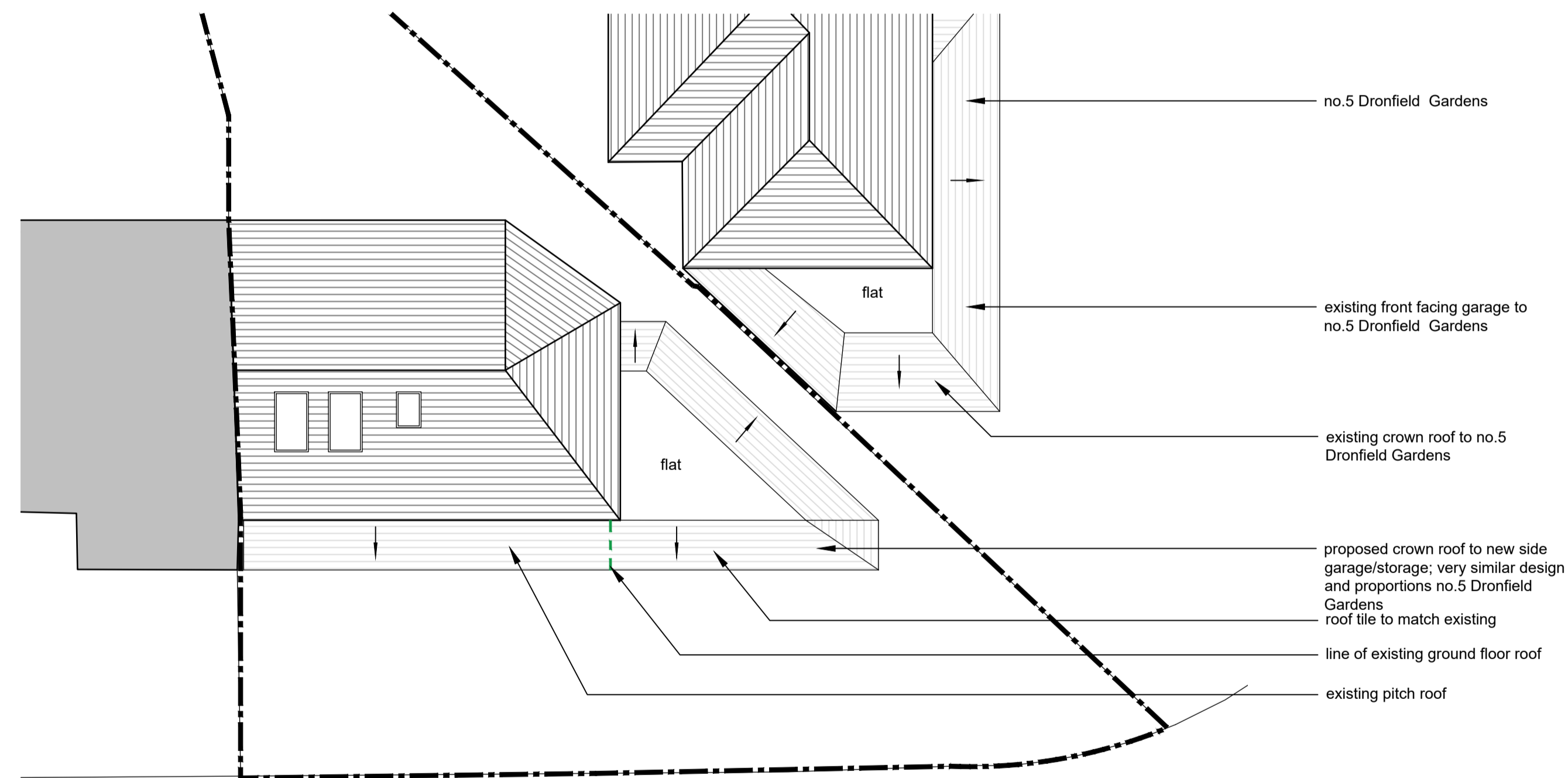
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DF-EX-01

Rev
-

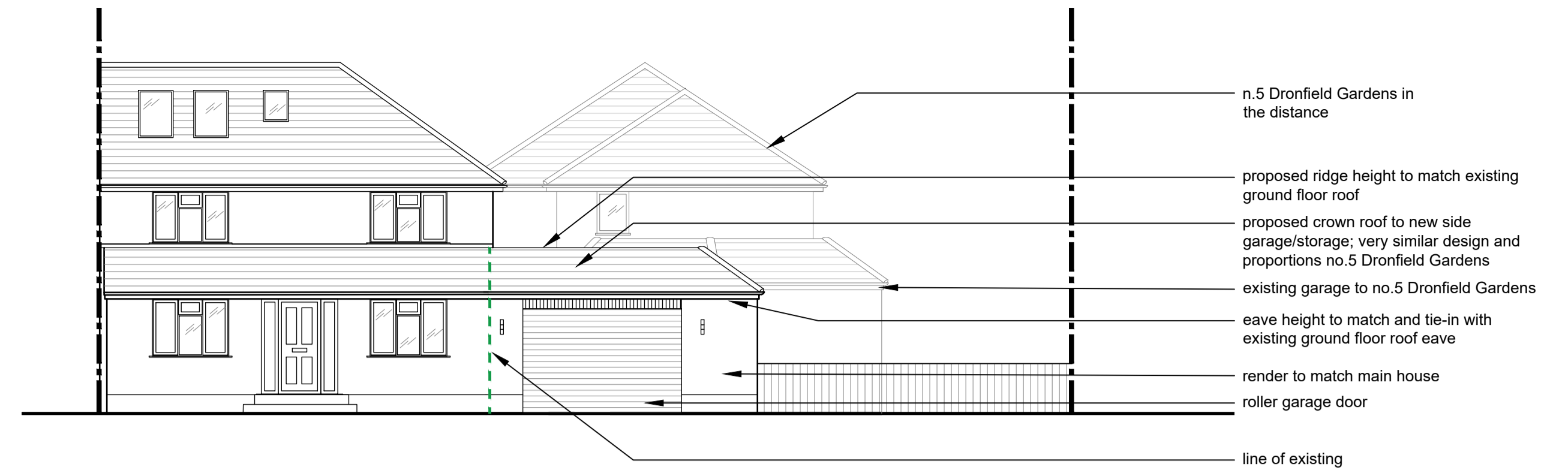
MORS + HARTE ARCHITECTS



01 Proposed Ground Floor Plan



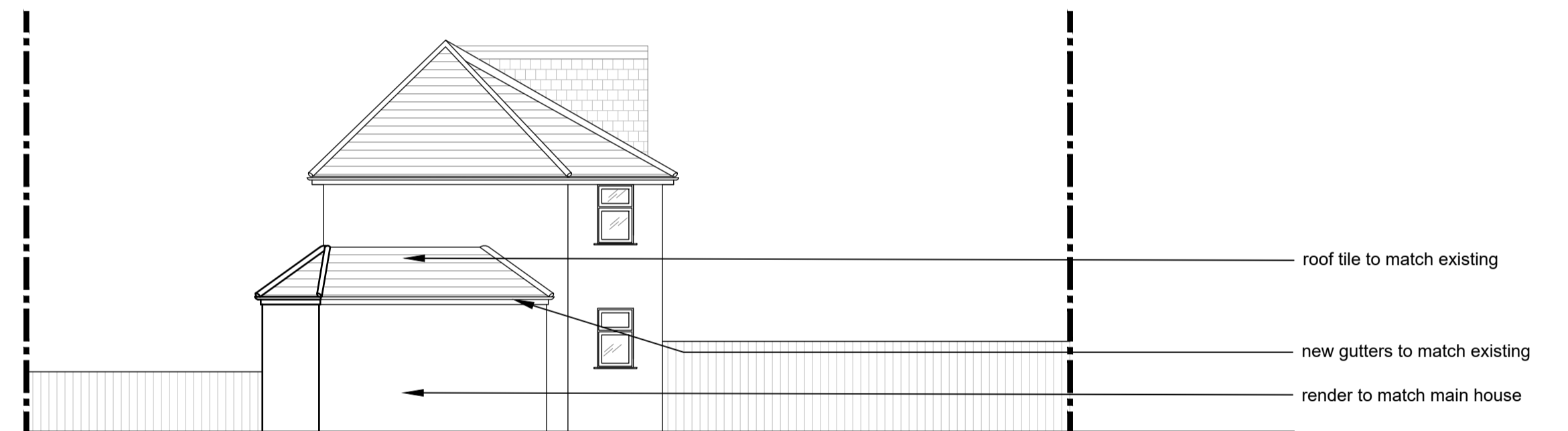
02 Proposed Roof Plan



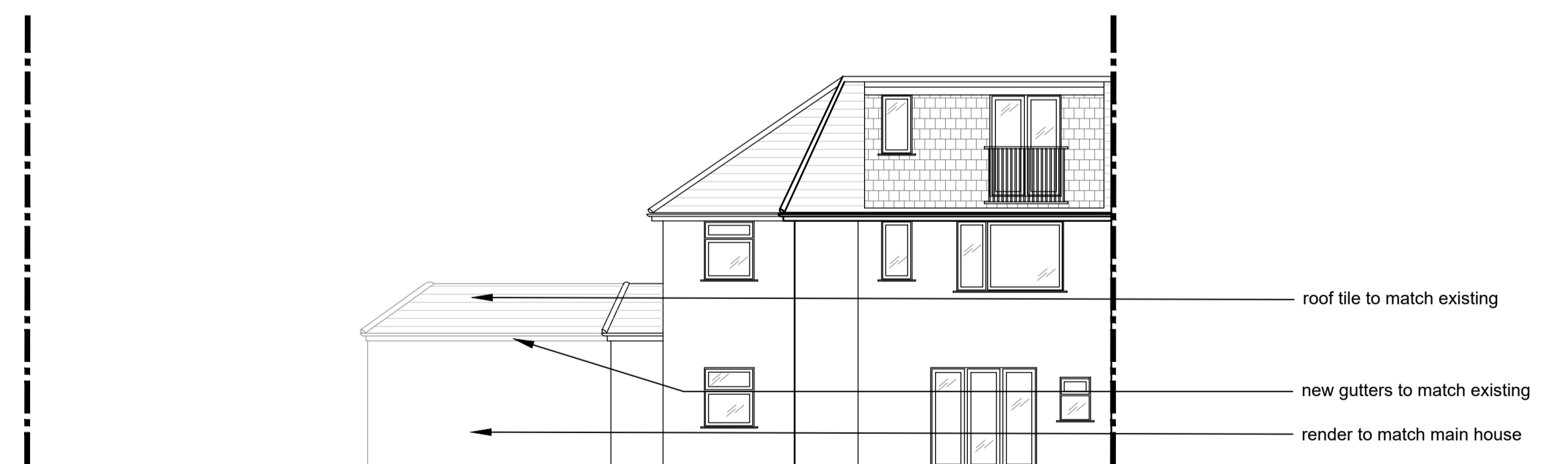
03 Proposed Front Elevation
Elevation A



04 Proposed Side Elevation (showing No. 5 Dronfield Gardens)
Elevation B



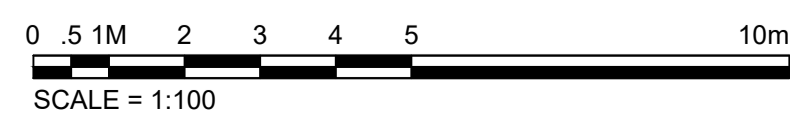
05 Proposed Side Elevation
Elevation C



06 Proposed Rear Elevation
Elevation D

Page 65

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- Should exact clarification of boundary be required then a third party boundary professional must be appointed

No Revision
- Issued for Planning Approval

Date
26/02/2020

Project
**4 Dronfield Gardens
Dagenham
RM8 2YD**

Client
Private Client

Scale
1:100 / 1:200

Sheet
A1 / A3

Date
Feb 20

Title
**Proposed
Floorplans & Elevations**

Drawing Status
Planning

Drawing No.
DF-PL-02

Rev
-

MORS + HARTE ARCHITECTS

Delegated Report

Householder Application for Planning Permission for Works or Extension to a Dwelling

Case Officer:	Kathryn McAllister	Valid Date:	28 February 2020
Officer Recommendation:	APPROVE	Expiry Date:	24 April 2020
Application Number:	20/00272/FUL	Recommended Date:	30 July 2020
Address:	4 Dronfield Gardens, Dagenham, Barking And Dagenham, RM8 2YD		
Proposal:	Erection of a side garage in-line with existing semi-detached property		

Planning Constraints

The application site is located within the Becontree Estate.

Consultations

Consultee:	Date Consulted:	Summary of response:
N/A		

Neighbour Notification

Date Consultation Letter Sent:	29.05.2020
Number of Neighbours Consulted:	3
<i>No response received.</i>	

Relevant Planning History - Remove rows as required

Application Number:	18/00125/FUL	Status:	Application Approved
Description:	Erection of two storey side extension.		
Application Number:	17/01696/PRE	Status:	No Decision Taken
Description:	Pre-application meeting request: Demolition of existing conservatory and erection of a part single/part two storey side extension.		
Application Number:	17/00122/FUL	Status:	Application Refused
Description:	Demolition of existing conservatory and erection of a part single/part two storey side extension.		

Development Plan Context

The Council has carefully considered the relevant provisions of the Council's adopted development plan and of all other relevant policies and guidance. Of particular relevance to this decision were the following Framework and Development Plan policies and guidance:

National Planning Policy Framework (NPPF) (MHCLG, February 2019)

The London Plan: Spatial Development Strategy for London (GLA, consolidated with alterations since 2011, published March 2016)	Policy 7.4 - Local Character Policy 7.5 - Public Realm Policy 7.6 - Architecture Policy 7.8 - Heritage Assets and Archaeology
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The Mayor of London's Draft London Plan - Intend to Publish version December 2019 is under Examination. Having regard to NPPF paragraph 48 the emerging document is a material consideration and appropriate weight will be given to its policies and suggested changes in decision-making, unless other material considerations indicate that it would not be reasonable to do so.

Draft London Plan (Intend to Publish version December 2019)	Policy D1 - London's Form, Character and Capacity for Growth Policy D4 - Delivering Good Design Policy D8 - Public Realm Policy HC1 - Heritage Conservation and Growth
Local Development Framework (LDF) Core Strategy (July 2010)	Policy CR2 - Preserving and Enhancing the Natural Environment Policy CP2 - Protecting and Promoting our Historic Environment Policy CP3 - High Quality Built Environment
	Policy BP2 - Conservation Areas and Listed Buildings

Local Development Framework (LDF) Borough Wide Development Plan Document (DPD) (March 2011)	Policy BP8 - Protecting Residential Amenity Policy BP11 - Urban Design
<i>The London Borough of Barking and Dagenham's Draft Local Plan: (Regulation 18 Consultation Version, November 2019) is at an "early" stage of preparation. Having regard to NPPF paragraph 216 the emerging document is now a material consideration and limited weight will be given to the emerging document in decision-making, unless other material considerations indicate that it would not be reasonable to do so.</i>	
The London Borough of Barking and Dagenham's Draft Local Plan (Regulation 18 Consultation Version, November 2019)	Policy SP4 - Delivering High Quality Design in the Borough Policy DM11 - Responding to Place Policy DM14 - Conserving and Enhancing Heritage Assets and Archaeology Policy DM16 - Householder Extensions and Alterations Policy DM20 - Nature Conservation and Biodiversity
Supplementary Planning Documents	Residential Extensions and Alterations (SPD) (February 2012)

ASSESSMENT

Principle of the Development	
<i>Is the proposed development acceptable 'in principle'?</i>	YES
<i>Officer Comment:</i>	The overriding objective of the local policies is to deliver high quality development which improves the quality and distinctive identity of places and meets the housing needs of existing and future residents. As such, it is acknowledged that extensions to existing family dwelling houses can facilitate additional and enhanced living space for improved living conditions for occupants. They are therefore considered acceptable in principle subject to ensuring a high-quality, neighbourly design. Such matters are addressed below.

Achieving High Quality of Urban Design	
<i>Does the proposed development respect the character and appearance of the existing dwelling?</i>	YES
<i>Does the proposed development respect and accord to the established local character?</i>	YES
<i>Is the proposed development acceptable within the street scene or when viewed from public vantage points</i>	YES
<i>Is the proposed development acceptable and policy compliant?</i>	YES
	<p>Paragraphs 127 and 128 of the NPPF (2019) outline that planning policies and decisions should aim to ensure that developments function well and add to the overall quality of an area not just for the short-term, but over the lifetime of the development. Paragraph 130 advises that permission should be refused for development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions.</p> <p>London Plan (2016) Policy 7.1 stated that the design of new developments and the spaces they create should help reinforce the character of the neighbourhood. Policy 7.4 requires development to have regard to the form, function and structure of an area, place or street and the scale, mass and orientation of surrounding buildings and other forms of development. It is required that in areas of poor, or ill-defined, character, new development should build on the positive existing elements that can contribute to establishing an enhanced character for the future function of the area. Policy 7.6 seeks the highest quality materials and design appropriate to its context. Policy 7.8 seeks to ensure London's heritage assets are identified so that their significance can be enhanced and used positively for place shaping. This is further supported by policy HC1 of the Draft London Plan. It is advised that the buildings and structures should be of the highest architectural quality and comprise details and materials that complement the local architectural character. Draft London Plan (2019) Policy D1 and D4 discusses the need for good design to be thoroughly scrutinised at application stage, including elements relating to layout, scale, density, land-uses, materials, detailing and landscaping.</p> <p>The Becontree Estate, of which this property forms part, was built as Homes for Heroes in the period 1921 to 1934 and at the time was the largest municipal estate in the world. As such, it forms part of the rich local history of the area and is referenced in policy CP2 of the Core Strategy as forming an important symbol of the past. Policy CP2 seeks to respect the local context and reinforce local distinctiveness. It is considered that the proposal would fail to respect the character of the Becontree Estate.</p> <p>Policy BP2 of the Borough Wide Development Policies DPD also references the heritage value of the Estate and although this dwellinghouse is not situated in a conservation area, this policy recognises the distinctive local character and historical importance of the Becontree Estate. The policy is concerned with preserving heritage areas of their instinctive and historically important features and ensuring developments do not detract from the heritage area's significance. This is further supported by</p>

Officer Comment:

policy BP11 of the Borough Wide DPD and policy DM16, SP4 and DM11 of the Draft Local Plan Regulation 18 which ensures that development is designed in a sensitive and appropriate manner which minimises impact on surrounding neighbours and respects the character of the area.

The SPD states that garages have the potential to significantly impact upon the street scene as such they should not sit closer to the highway than the front elevation of the house. In addition if the proposed garage is to the side of the house careful attention should be paid to the design to so that it reflect the built form of the existing property. All garages visible from the public realm should be finished with a pitched roof.

The application site is an end of terrace property whereby each property is uniform in size and design, whereby each property has a dingle building frontage and a single roof scape. As such, the street scene has a very balanced and pleasing symmetry. As a result it would be expected that proposed developments respect and reflect the built form of the existing property so as to ensure it remains in keeping with the character of the dwelling, wider terrace and the surrounding area.

The proposal seeks permission for a side garage located adjacent to the application site. The proposed development will be 5.62 metres deep, 6.0 metres wide at the front elevation and 1.03 metres wide at the rear elevation. The front elevation of the garage will be parallel to the front elevation of the existing front extension and the proposal will be angled so that it runs parallel to the boundary line with no.5. It will offset the boundary line with no.5 by 1.0 metres. The proposal is visible from the public realm, however, as the front elevation of the proposed development will remain flush with the front elevation of the existing front extension on the property it is not considered to result in greater harm to the appearance of the street scene than that which currently existing. Likewise, the garage will merge into the front extension of the existing property, as such, officers consider the proposal to integrate seamlessly with the rest of the unit. Moreover, the proposal will have a semi-pitched roof with a concealed roof whereby the height of the eaves will be 2.55 metres and the maximum height will be 3.68 metres. The existing property is characterised by having a hipped roof which plateaus as it extends across the terrace, therefore, officers consider the roof design of the proposed garage to be acceptable as it mimics the design and appearance of the host dwelling.

Furthermore, the application site is located with a T-shaped banjo cul-de-sac. The property is located within the banjo but on a corner plot. The property across the road no.35 which is situated in the same corner plot as the application site has an existing two storey side extension and single storey side extension which extends up to the boundary line. The first floor part and side garage were approved under application 04/00488/FUL. This enlargement is parallel to the front elevation of the host dwellinghouse and has a flat roof . Likewise, the property directly adjacent to the application site no. 5 has a side garage approved under application 07/00696/FUL. This garage is designed so that the front elevation is parallel to the front elevation of the property front extension, likewise, it has a semi-pitched roof with a concealed flat roof. Having, taken a view of the street scene it is evident that there is precedence within the banjo for a development of this size and design to take place.

Therefore, officers consider the proposed development to respect and reflect the built form and character of the host dwelling without adversely impacting the character and appearance of the street scene, dwelling, wider terrace and the surrounding local area. The proposal is therefore acceptable and in keeping with the development policies.

Delivering Neighbourly Development								
	3 Dronfield Gardens	5 Dronfield Gardens	N/A			3 Dronfield Gardens	5 Dronfield Gardens	N/A
Outlook:				Overshadowing:				
Loss from habitable rooms?	NO	NO		Shadow cast into rooms?	NO	NO		
Is it unacceptable?	NO	NO		Is it unacceptable?	NO	NO		
				Shadow into garden?	NO	NO		
Loss of Privacy:				Is it unacceptable?	NO	NO		
Overlooking the garden?	NO	NO						
Is it unacceptable?	NO	NO		Overbearing:				
Overlooking into				Impact on				

rooms?	NO	NO		habitable rooms?	NO	NO	
<i>Is it unacceptable?</i>	NO	NO		<i>Is it unacceptable?</i>	NO	NO	
				Impact on gardens?	NO	NO	
Loss of Daylight:				<i>Is it unacceptable?</i>	NO	NO	
Loss into habitable rooms?	NO	NO					
<i>Is it unacceptable?</i>	NO	NO					

<i>Officer Comment:</i>	<p>The proposed development will be located 5.71 metres from the boundary line with no. 6 as such officers do not consider the proposal to result in the material loss of daylight or outlook, therefore the proposed development is considered to have an acceptable impact on the amenity of this property. Regarding the properties immediately adjacent the impact will be assessed below:</p> <p><u>3 Dronfiled Gardens</u></p> <p>The proposal will sit 9.0 metres from the boundary line with no. 3 which sits south of the application site. As such the proposal is not considered to result in the material loss of outlook or daylight, hence, officers are confident the proposal will have an acceptable impact on neighbouring amenity.</p> <p><u>5 Dronefield Gardens</u></p> <p>The proposal will sit perpendicular to no. 5 which sits west of the application site. The proposed development will sit adjacent to the garage at no.5, however, the main dwellinghouse on this site will extend beyond the rear elevation of the proposal. As such officers do not consider the proposed development to result in the greater loss of light or outlook then currently caused by the application site. Therefore, officers consider the proposed development to have an acceptable impact on neighbouring amenity.</p> <p>Overall, the proposed development is considered to have an acceptable impact on neighbouring amenity, therefore, the proposal will be in keeping with the development policies</p>						
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Delivering Sustainability	
<i>Does the proposed development promote or enhance biodiversity?</i>	NO
<i>Has established vegetation been preserved or appropriately relocated/mitigated against?</i>	NO
<i>Officer Comment:</i>	The application has not incorporated any proposed biodiversity enhancement measures and the extension will result in the loss of a portion of grassed area. Whilst there is scope to compensate for such loss and to further improve the biodiversity value of the site, the lack of any compensatory or enhancement measures in this instance would not warrant reason for refusal noting there is still ample garden remaining.

Meeting the Needs of Homeowners	
<i>Are all proposed rooms well-lit by daylight and naturally vented through opening windows?</i>	YES
<i>Are the sizes of all proposed rooms appropriate in size for the purpose they are designed for?</i>	YES
<i>Officer Comment:</i>	Due to the nature of the proposal being a side garage it does not require the construction of a room which is well-lit by daylight and naturally ventilated . As such the proposed development is considered to meet the needs of the homeowner and is therefore acceptable.

Other Material Considerations
N/A

CONCLUSION
The proposed development would respect the character and appearance of the area without having any unacceptable impact on the living conditions of neighbouring properties. The proposal is therefore considered to accord with the Development Plan policies and guidance specified above, and it is recommended that planning permission be granted.

LBBD Reference: 20/00272/FUL

Mr James Mors
149 Dersingham Avenue, Manor Park, E12 5QQ,

**TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND) ORDER 2015 (AS AMENDED)**

Dear Sir / Madam,

Application Number: 20/00272/FUL
Address: 4 Dronfield Gardens, Dagenham, Barking And Dagenham, RM8 2YD
Development Description: Erection of a side garage in-line with existing semi-detached property

Thank you for your recent application at the above address on which a decision has now been made. The decision on your application is attached. Please carefully read all of the information contained in these documents.

Please quote your application reference number in any correspondence with the Council.

Yours sincerely,

[Graeme Cooke](#)

Graeme Cooke
Director of Inclusive Growth
London Borough of Barking and Dagenham

PLANNING DECISION NOTICE

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED) TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND) ORDER 2015 (AS AMENDED)

Agent: Mr James Mors
149 Dersingham Avenue, Manor Park ,
E12 5QQ,

Applicant: Mr Russel Lamerton
4, Dronfield Gardens, Dagenham, RM8
2YD,

PART 1 - PARTICULARS OF THE APPLICATION

Application Number: 20/00272/FUL
Application Type: Full Planning Permission
Development Description: Erection of a side garage in-line with existing semi-detached property
Site Address: 4 Dronfield Gardens, Dagenham, Barking And Dagenham, RM8 2YD
Date Received: 28 February 2020
Date Validated: 28 February 2020

PART 2 - PARTICULARS OF THE DECISION

The London Borough of Barking and Dagenham, as Local Planning Authority, in pursuance of its powers under the above mentioned Act, Rules, Orders and Regulations made thereunder, hereby gives notice that PLANNING PERMISSION has been **GRANTED** for the carrying out of the development referred to in PART 1 hereof and as described and shown on the plan(s) and document(s) submitted with the application, subject to the conditions and reasons listed below.

Conditions:

1. The development hereby permitted shall be commenced before the expiration of three years from the date of this permission.

Reason: To comply with the requirements of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The development hereby approved shall only be carried out in accordance with the following approved plans and documents: -

- DF-PL-02 Proposed Floorplans and Elevations Dated Feb 20
- DF-EX-01 Existing Floorland and Elevations Dated Feb 20
- 037-PL-01 Existing and Proposed Site and Location Plans Dated Feb 20

No other drawings or documents apply.

Reason: To ensure that the development is undertaken in accordance with the approved drawing(s) and document(s), to ensure that the finished appearance of the development will enhance the character and visual amenities of the area and to satisfactorily protect the residential amenities of nearby occupiers.

3. The materials to be used in the construction of the external surfaces of the development hereby permitted shall match those used in the existing dwellinghouse.

Reason: To ensure that the finished appearance of the development will respect the character and visual amenities of the local area.

Summary of Policies and Reasons:

In deciding to grant planning permission in this instance, Be First, working in partnership the London Borough of Barking and Dagenham, found the proposal to be acceptable following careful consideration of the relevant provisions of the National Planning Policy Framework, the Development Plan and all other relevant material considerations. Upon review, the London Borough of Barking and Dagenham is satisfied that any potential material harm resulting from the proposal's impact on the surrounding area would be reasonably mitigated through compliance with the conditions listed above.

The following policies are of particular relevance to this decision and for the imposition of the abovementioned conditions:

National Planning Policy Framework (NPPF) (MHCLG, February 2019)

The London Plan: Spatial Development Strategy for London (GLA, consolidated with alterations since 2011, published March 2016)

Policy 7.4 - Local Character
Policy 7.5 - Public Realm
Policy 7.6 - Architecture
Policy 7.8 - Heritage Assets and Archaeology

Draft London Plan (Intend to Publish version, December 2019)

The Mayor of London's Draft London Plan (Intend to Publish version, December 2019) is under Examination. Having regard to NPPF paragraph 48, the emerging document is a material consideration and appropriate weight will be given to its policies and suggested changes in decision-making, unless other material considerations indicate that it would not be reasonable to do so.

Policy D1 - London's Form, Character and Capacity for Growth
Policy D4 - Delivering Good Design
Policy D8 - Public Realm
Policy HC1 - Heritage Conservation and Growth

Local Development Framework (LDF) Core Strategy (July 2010)

Policy CR2 - Preserving and Enhancing the Natural Environment
Policy CP2 - Protecting and Promoting our Historic Environment
Policy CP3 - High Quality Built Environment

Local Development Framework (LDF) Borough Wide Development Plan Document (DPD) (March 2011)

Policy BP2 - Conservation Areas and Listed Buildings
Policy BP8 - Protecting Residential Amenity
Policy BP11 - Urban Design

The London Borough of Barking and Dagenham's Draft Local Plan: (Regulation 18 Consultation Version, November 2019)

The London Borough of Barking and Dagenham's Draft Local Plan: (Regulation 18 Consultation Version, November 2019) is at an "early" stage of preparation. Having regard to NPPF paragraph 216 the emerging document is now a material consideration and limited weight will be given to the emerging document in decision-making, unless other material considerations indicate that it would not be reasonable to do so.

Policy SP4 - Delivering High Quality Design in the Borough
Policy DM11 - Responding to Place
Policy DM14 - Conserving and Enhancing Heritage Assets and Archaeology
Policy DM16 - Householder Extensions and Alterations
Policy DM20 - Nature Conservation and Biodiversity

Supplementary Planning Documents

Residential Extensions and Alterations (SPD) (February 2012)

The above policies can be viewed on the Council's website: www.lbbd.gov.uk/planning.

Working with the applicant:

In dealing with this application, Be First, working in partnership with the London Borough of Barking and Dagenham, has implemented the requirements of the National Planning Policy Framework and of the Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended) to work with the Applicant in a positive and proactive manner. As with all applicants, Be First has made available detailed advice in the form of statutory policies and all other relevant guidance, as well as offering a full pre-application advice service, so as to ensure the applicant has been given every opportunity to submit an application which is likely to be considered favourably.

This development is potentially liable for payment of both the Mayor of London and London Borough of Barking and Dagenham's Community Infrastructure Levies (CIL). Further information about CIL, including the process that must be followed and forms that will be required, can be found on the Council's website: <https://www.lbbd.gov.uk/developer-contributions-cil-and-s106>. CIL forms can be submitted to: S106CIL@befirst.london

DATE OF DECISION: 31.07.2020

Yours sincerely,

Graeme Cooke

Graeme Cooke

Director of Inclusive Growth

London Borough of Barking and Dagenham

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)
Applicant's Rights following the Grant or Refusal of permission

1. Appeals to the Secretary of State

Should you (an applicant/agent) feel aggrieved by the decision of the council to either refuse permission or to grant permission subject to conditions, you can appeal to the Secretary of State for the Department of Communities and Local Government – Section 78 of the Town and Country Planning Act 1990 / Sections 20 and 21 of the Planning (Listed Building and Conservation Areas) Act 1990. Any such appeal must be made within the relevant timescale for the application types noted below, beginning from the date of the decision notice (unless an extended period has been agreed in writing with the council):

- **Six (6) months:** Full application (excluding Householder and Minor Commercial applications), listed building, conservation area consent, Section 73 'variation/removal', Section 73 'minor-material amendment', extension of time and prior approval applications.
- **Twelve (12) weeks:** Householder planning, Householder prior approval and Minor Commercial applications.
- **Eight (8) weeks:** Advertisement consent applications.
- **No timescale:** Certificate of lawful development (existing/proposed) applications.

Where an enforcement notice has been issued the appeal period may be significantly reduced, subject to the following criteria:

- The development proposed by your application is the same or substantially the same as development that is currently the subject of an enforcement notice: **28 days of the date of the application decision.**
- An enforcement notice is served **after the decision on your application** relating to the same or substantially the same land and development as in your application and if you want to appeal against the council's decision you are advised to appeal against the Enforcement Notice and to do so before the Effective Date stated on the Enforcement Notice.

Appeals must be made using the prescribed form(s) of The Planning Inspectorate (PINS) obtained from www.planning-inspectorate.gov.uk or by contacting 03034445000. A copy of any appeal should be sent both to PINS and the council (attn: Planning Appeals Officer).

The Secretary of State can allow a longer period for giving notice of an appeal but will not normally be prepared to use this power unless there are exceptional/special circumstances.

The Secretary of State can refuse to consider an appeal if the council could not have granted planning permission for the proposed development or could not have granted it without the conditions it imposed, having regard to the statutory requirements and provisions of the Development Order and to any direction given under the Order. In practice, it is uncommon for the Secretary of State to refuse to consider appeals solely because the council based its decision on a 'direction given by the Secretary of State'.

2. Subsequent Application Fees

No planning fee would be payable should a revised planning application be submitted within 12 months of the decision. This 'fee waiver' is permitted only where the new application meets the following criteria:

- the applicant is the same as the applicant of the original application
- site boundary is the same as the site boundary of the original application
- the nature of development remains the same.

3. Purchase Notices

Should either the council or the Secretary of State refuse permission or to grant permission subject to conditions, the owner may claim that the land cannot be put to a reasonably beneficial use in its existing state nor through carrying out of any development which has been or could be permitted. In such a case, the owner may serve a purchase notice on the council.

This notice will require the council to purchase the owner's interest in the land in accordance with the provisions of Part IV of the Town and Country Planning Act 1990 and Section 32 of the Planning (Listed Buildings Conservation Areas) Act 1990.

4. Compensation

In certain circumstances compensation may be claimed from the council if permission is refused or granted subject to condition(s) by the Secretary of State on appeal or on reference to the Secretary of State. These circumstances are set out in Section 114 and related provisions of the Town and Country Planning Act 1990 and Section 27 of the Planning (Listed Buildings and Conservation Areas) Act 1990.



Performance Review Sub-Committee

16th February 2021

Sample Selection Number:

133

Application Reference:

20/01063/CLUP

Application Description:

Certificate of Lawfulness for a Proposed Development -
Erection of a single storey rear extension (depth: 6.0
metres; height to eaves: 3.0 metres and maximum
height: 3.12 metres)

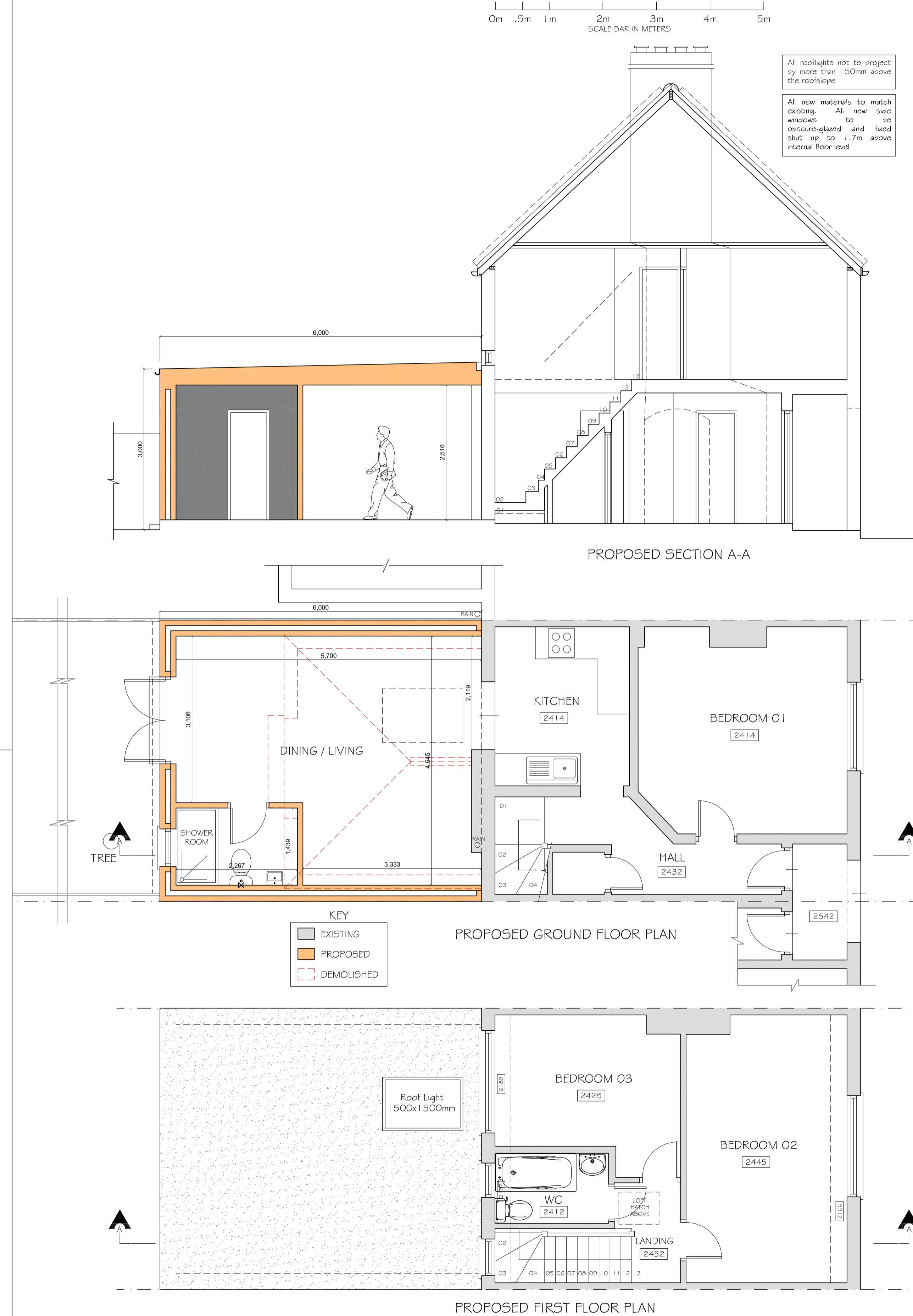
Decision:

Approved

EXISTING 1:100



PROPOSED 1:50



PROPOSED 1:100



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Project
 GROUND FLOOR REAR EXTENSION AT
 482 LODGE AVENUE
 LONDON
 RM9 4QR

Client
 MR FLORESCU
 482 LODGE AVENUE
 RM9 4QR

Drawing Title
 EXISTING & PROPOSED PLANS
 SECTION & ELEVATIONS

Scale	Drawn	Checked	Authorised
1:100 @ A1	-	-	-
	SEPTEMBER 2018	-	-

Drawing Number	Rev
ST_S18_482 LOD_001	A

Delegated Report

Application for a Lawful Development Certificate for a Proposed Use or Development

Case Officer:	Kathryn McAllister	Valid Date:	13 May 2020
Officer Recommendation:	Approve	Expiry Date:	08 July 2020
Application Number:	20/01063/CLUP	Recommended Date:	01 July 2020
Address:	482 Lodge Avenue, Dagenham, Barking And Dagenham, RM9 4QR		
Proposal:	Certificate of Lawfulness for a Proposed Development - Erection of a single storey rear extension (depth: 6.0 metres; height to eaves: 3.0 metres and maximum height: 3.12 metres)		

Relevant Planning History

Application Number:	18/01548/PRIOR6	Status:	Prior approval not required
Description:	Application for prior approval of proposed single storey rear extension (depth: 6.0 metres in total comprising 3.68 metres existing and 2.32 metre proposed; height to eaves: 3.0 metres and maximum height: 3.0 metres).		
Application Number:	19/00785/PRIOR6	Status:	Prior approval not required
Description:	Application for prior approval of proposed single storey rear extension (depth: 6.0 metres; height to eaves: 3.0 metres and maximum height: 3.12 metres).		

Relevant Legislation

- The Town and Country Planning Act 1990 (as amended)
- The Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) Schedule 2, Part 1, Class(es) A Criteria

ASSESSMENT

A. Dwellinghouse

<i>Is the application site a Dwellinghouse?</i>	YES
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B. Pre-Commencement Planning Enforcement

<i>Had works commenced on the proposed development on the date the application was submitted?</i>	NO
<i>Is the development proposed the subject of a related enforcement case?</i>	NO

C. Permitted Development Rights

<i>Have the relevant provisions of Schedule 2, Part 1 of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) been removed from the application site?</i>	NO
--	-----------

D. Application Clarity

<i>Has the developer provided sufficient information to enable the authority to establish whether the proposed development complies with the relevant conditions, limitations or restrictions as detailed within the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended)?</i>	YES
---	------------

E. The Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) Schedule 2, Part 1, Class(es) A Criteria

<i>Does the proposed development comply with the relevant conditions, limitations or restrictions of The Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended)?</i>	YES
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CONCLUSION

Grant a Certificate of Lawful Development

It has been demonstrated to the satisfaction of the Local Planning Authority that the use or operations described in the application would be lawful within the meaning of S192 of the Town and Country Planning Act 1990 (as amended) if instituted or begun at the time of the application.

LBBB Reference: 20/01063/CLUP

Mrs K Cowan
6 The Broadway, Wembley, Middlesex, HA9 8JT, United Kingdom

**TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND) ORDER 2015 (AS
AMENDED)**

Dear Sir / Madam,

Application Number: 20/01063/CLUP
Address: 482 Lodge Avenue, Dagenham, Barking And Dagenham, RM9 4QR
Development Description: Certificate of Lawfulness for a Proposed Development - Erection of a single storey rear extension (depth: 6.0 metres; height to eaves: 3.0 metres and maximum height: 3.12 metres)

Thank you for your recent application at the above address on which a decision has now been made. The decision on your application is attached. Please carefully read all of the information contained in these documents.

Please quote your application reference number in any correspondence with the Council.

Yours sincerely,

[Graeme Cooke](#)

Graeme Cooke
Director of Inclusive Growth
London Borough of Barking and Dagenham

PLANNING DECISION NOTICE

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED) TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND) ORDER 2015 (AS AMENDED)

Agent: Mrs K Cowan
6 The Broadway, Wembley, Middlesex,
HA9 8JT, United Kingdom

Applicant: Florescu
482 LODGE AVENUE
DAGENHAM

PART 1 - PARTICULARS OF THE APPLICATION

Application Number: 20/01063/CLUP
Application Type: Lawful Development Certificate (Proposed Use)
FIRST SCHEDULE (Use / Development / Matter): Certificate of Lawfulness for a Proposed Development - Erection of a single storey rear extension (depth: 6.0 metres; height to eaves: 3.0 metres and maximum height: 3.12 metres)
SECOND SCHEDULE (Site Address): 482 Lodge Avenue, Dagenham, Barking And Dagenham, RM9 4QR
Date Received: 13 May 2020
Date Validated: 13 May 2020

PART 2 - PARTICULARS OF THE DECISION

The London Borough of Barking and Dagenham, as Local Planning Authority, in pursuance of its powers under the above mentioned Act, Rules, Orders and Regulations made thereunder, hereby certifies that the use / development / matter described in the FIRST SCHEDULE to this certificate in respect of the land specified in the SECOND SCHEDULE and as identified on the plans specified below **WAS LAWFUL ON 13 May 2020** within the meaning of Section 191 of the Town and Country Planning Act 1990 for the following reason(s):

Reason(s):

1. The proposal complies with the requirements of Class A of Part 1, Schedule 2 of the Town and Country (General Permitted Development) Order 2015.

Plan(s) and Informative(s):

1. This certificate is granted in respect of development to be carried out in accordance with the following plan(s) and/or document(s) submitted with the application ONLY: -

- ST_S18_48LOD_001 Existing and Proposed Plans Section and Elevations [Revision A] Dated September 2018
- ST_S18_482LOD_000 Site and Location Plan Dated September 2018

2. The materials used in any exterior work (other than materials used in the construction of a conservatory) must be of a similar appearance to those used in the construction of the exterior of the existing dwellinghouse. This is in order to comply with the conditions imposed by the Town and Country Planning (General Permitted Development) Order 2015 (as amended).

NOTES

1. This certificate is issued solely for the purpose of section 192 of the Town and Country Planning Act 1990.
2. It certifies that the use / operations / matter specified in the FIRST SCHEDULE taking place on the land described in the SECOND SCHEDULE was / were / would have been lawful on the specified date, and therefore was not / were not / would not have been liable to enforcement action under section 172 of the Town and Country Planning Act 1990 on that date.
3. This certificate only applies to the extent of the use / operations / matter described in the FIRST SCHEDULE and to the land specified in the SECOND SCHEDULE as identified on the plans specified above. Any use / operations / matter which is / are materially different from that described in the FIRST SCHEDULE, or relating to land other than that specified in the SECOND SCHEDULE, may render the owner or occupier liable to enforcement action.

4. The effect of the certificate is also qualified by the provision in section 192(4) of the Town and Country Planning Act 1990 which states that the lawfulness of a described use or operations is only conclusively presumed where there has been no material change before the use is instituted or the operations are begun in any of the matters relevant to determining such lawfulness.

Working with the applicant:

In dealing with this application, Be First, working in partnership with the London Borough of Barking and Dagenham, has implemented the requirements of the National Planning Policy Framework and of the Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended) to work with the Applicant in a positive and proactive manner. As with all applicants, Be First has made available detailed advice in the form of statutory policies and all other relevant guidance, as well as offering a full pre-application advice service, so as to ensure the applicant has been given every opportunity to submit an application which is likely to be considered favourably.

DATE OF DECISION: 03.07.2020

Yours sincerely,

[Graeme Cooke](#)

Graeme Cooke

Director of Inclusive Growth

London Borough of Barking and Dagenham

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)
Applicant's Rights following the Grant or Refusal of permission

1. Appeals to the Secretary of State

Should you (an applicant/agent) feel aggrieved by the decision of the council to either refuse permission or to grant permission subject to conditions, you can appeal to the Secretary of State for the Department of Communities and Local Government – Section 78 of the Town and Country Planning Act 1990 / Sections 20 and 21 of the Planning (Listed Building and Conservation Areas) Act 1990. Any such appeal must be made within the relevant timescale for the application types noted below, beginning from the date of the decision notice (unless an extended period has been agreed in writing with the council):

- **Six (6) months:** Full application (excluding Householder and Minor Commercial applications), listed building, conservation area consent, Section 73 'variation/removal', Section 73 'minor-material amendment', extension of time and prior approval applications.
- **Twelve (12) weeks:** Householder planning, Householder prior approval and Minor Commercial applications.
- **Eight (8) weeks:** Advertisement consent applications.
- **No timescale:** Certificate of lawful development (existing/proposed) applications.

Where an enforcement notice has been issued the appeal period may be significantly reduced, subject to the following criteria:

- The development proposed by your application is the same or substantially the same as development that is currently the subject of an enforcement notice: **28 days of the date of the application decision.**
- An enforcement notice is served **after the decision on your application** relating to the same or substantially the same land and development as in your application and if you want to appeal against the council's decision you are advised to appeal against the Enforcement Notice and to do so before the Effective Date stated on the Enforcement Notice.

Appeals must be made using the prescribed form(s) of The Planning Inspectorate (PINS) obtained from www.planning-inspectorate.gov.uk or by contacting 03034445000. A copy of any appeal should be sent both to PINS and the council (attn: Planning Appeals Officer).

The Secretary of State can allow a longer period for giving notice of an appeal but will not normally be prepared to use this power unless there are exceptional/special circumstances.

The Secretary of State can refuse to consider an appeal if the council could not have granted planning permission for the proposed development or could not have granted it without the conditions it imposed, having regard to the statutory requirements and provisions of the Development Order and to any direction given under the Order. In practice, it is uncommon for the Secretary of State to refuse to consider appeals solely because the council based its decision on a 'direction given by the Secretary of State'.

2. Subsequent Application Fees

No planning fee would be payable should a revised planning application be submitted within 12 months of the decision. This 'fee waiver' is permitted only where the new application meets the following criteria:

- the applicant is the same as the applicant of the original application
- site boundary is the same as the site boundary of the original application
- the nature of development remains the same.

3. Purchase Notices

Should either the council or the Secretary of State refuse permission or to grant permission subject to conditions, the owner may claim that the land cannot be put to a reasonably beneficial use in its existing state nor through carrying out of any development which has been or could be permitted. In such a case, the owner may serve a purchase notice on the council.

This notice will require the council to purchase the owner's interest in the land in accordance with the provisions of Part IV of the Town and Country Planning Act 1990 and Section 32 of the Planning (Listed Buildings Conservation Areas) Act 1990.

4. Compensation

In certain circumstances compensation may be claimed from the council if permission is refused or granted subject to condition(s) by the Secretary of State on appeal or on reference to the Secretary of State. These circumstances are set out in Section 114 and related provisions of the Town and Country Planning Act 1990 and Section 27 of the Planning (Listed Buildings and Conservation Areas) Act 1990.



Performance Review Sub-Committee

16th February 2021

Sample Selection Number:

186

Application Reference:

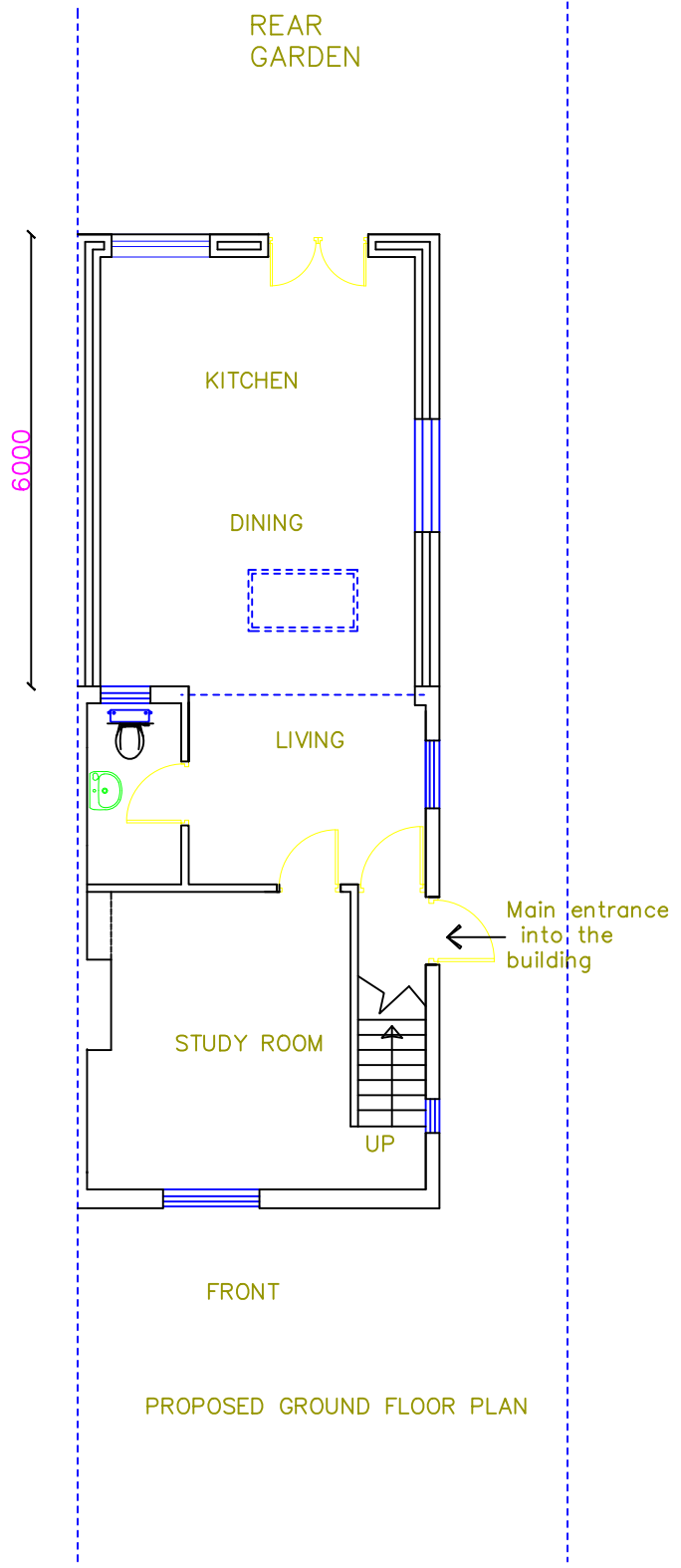
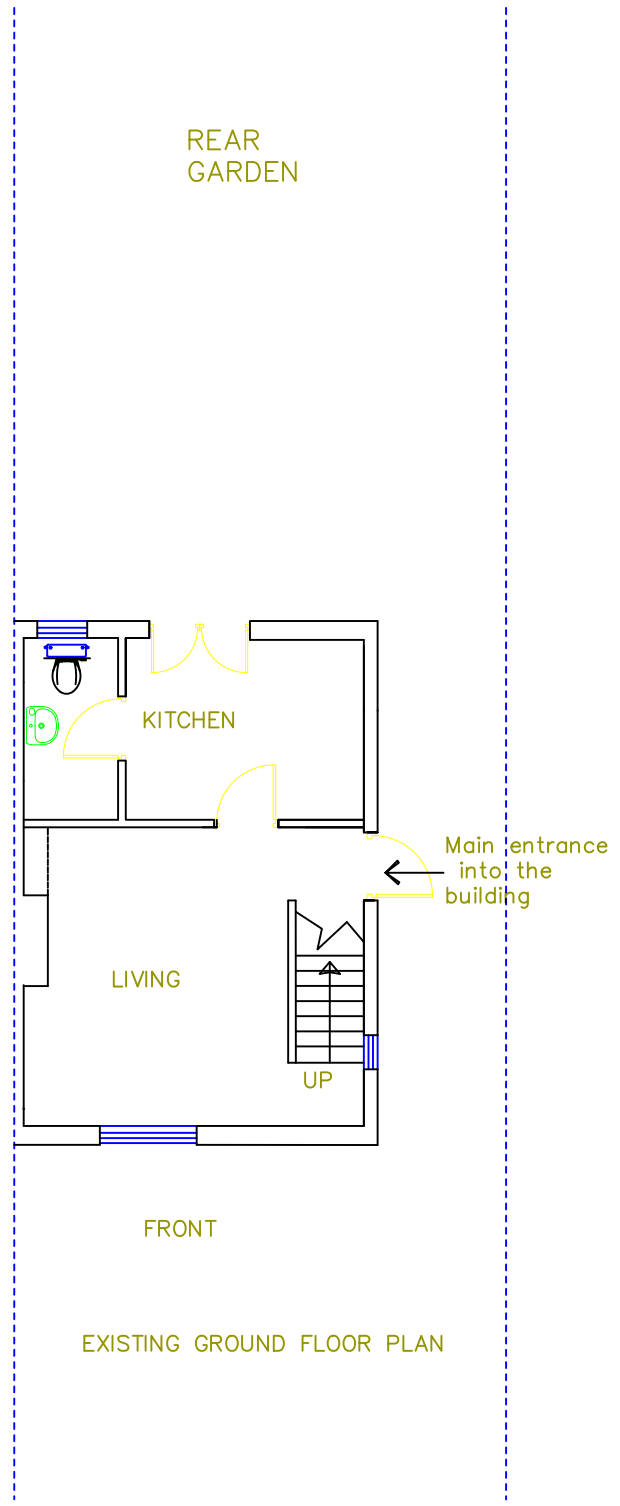
20/01149/PRIEXT

Application Description:

Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.


Decision:

Refused



NOTE:
 PLEASE NOTE THAT BEFORE BUILDING WORKS COMMENCES IT IS THE RESPONSIBILITY OF BUILDER OR OWNER TO SERVE PARTY WALL NOTICES TO ALL NEIGHBOURS
 DIMENSIONS:
 ALL DIMENSIONS TO BE CHECKED ON SITE.
 CONTRACTOR TO CHECK SITE THOROUGHLY BEFORE WORK STARTS & REPORT ANY DISCREPANCIES.

- LEGEND**
- SD = SMOKE DETECTOR WITH SOUNDER
 - ED = EMERGENCY LIGHTING TO BS5266: Part 1 1988
 - HD = HEAT DETECTOR
 - FD30 = 30 MINUTE FIRE RESISTING DOOR AND FRAME
 - FD20 = 20 MINUTE FIRE RESISTING DOOR AND FRAME
 - SS = SMOKE SEALS FITTED TO PERIMETER OF DOOR
 - SC = SELF CLOSING DEVICE

ISSUE	DATE	INITIALS	GRID REF	DESCRIPTION
CHECKED				CHECKED
DATE				DATE
 [153 GREEN LANE, 101 1XW]				
PROJECT: 253 GLAFTON RD RMB 1QP				
DWG TITLE		SCALE		
PLANNING		1:100 @A3		
CLIENT		DATE	MAY 2020	
DWG NO:		SYL/20/253/2		ISSUE
				A


PH:0770100230



NOTE:
PLEASE NOTE THAT BEFORE BUILDING WORKS COMMENCES IT IS THE RESPONSIBILITY OF BUILDER OR OWNER TO SERVE PARTY WALL NOTICES TO ALL NEIGHBOURS

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ALL DIMENSIONS TO BE CHECKED ON SITE. CONTRACTOR TO CHECK SITE THOROUGHLY BEFORE WORK STARTS & REPORT ANY DISCREPANCIES.

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 - SC = SELF CLOSING DEVICE

ISSUE	DATE	INITIALS	GRID REF	DESCRIPTION
CHECKED				CHECKED
DATE				DATE
 [153 GREEN LANE, 101 1XW]				
PROJECT: 253 GLAFTON RD RM8 1QP				
DWG TITLE				SCALE
PLANNING				1:100 @A3
CLIENT			DATE	
			MAY 2020	
DWG NO: SYL/20/253/3				ISSUE A

PH:0770100230

Delegated Report

Notification for Prior Approval for a Proposed Larger Home Extension

Case Officer:	Kathryn McAllister	Valid Date:	07 June 2020
Officer Recommendation:	Prior Approval Required and Refused	Expiry Date:	19 July 2020
Application Number:	20/01149/PRIEXT	Recommended Date:	09 July 2020
Address:	253 Grafton Road, Dagenham, Barking And Dagenham, RM8 1QP		
Proposal:	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.		

Neighbour Notification

Address:	Summary of response:
255 Grafton Road	No response received
251 Grafton Road	No response received
86 Turnage Road	Loss of light Overbearing
84 Turnage Road	No response received
82 Turnage Road	No response received
84a Turnage Road	No response received

Relevant Legislation

- The Town and Country Planning Act 1990 (as amended)
- The Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) Schedule 2, Part 1, Class A

ASSESSMENT

A. Dwellinghouse

Is the application site a Dwellinghouse?	YES
Officer comment: (if NO)	

B. Pre-Commencement and Planning Enforcement

Had works commenced on the proposed development on the date the application was submitted?	NO
Is the development proposed the subject of a related enforcement case?	NO
Officer comment: (if YES)	

C. Conservation Area (Article 2(3) land)

Is the application site located within a Conservation Area (Article 2(3) land)?	NO
Officer comment: (if YES)	

D. Permitted Development Rights

Have the relevant provisions of Schedule 2, Part 1 of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) been removed from the application site?	NO
Officer comment: (if YES)	

E. Application Clarity

Has the developer provided sufficient information to enable the authority to establish whether the	
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proposed development complies with the relevant conditions, limitations or restrictions as detailed within the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended)?	YES
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Officer comment: (if NO)	
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F. The Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) Schedule 2, Part 1, Class A Criteria

Does the proposed development comply with the relevant conditions, limitations or restrictions of Part 1, Class A of Schedule 2 to The Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended)?	YES
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G. Neighbouring Amenity

	255 Grafton Road	251 Grafton Road	N/A			255 Grafton Road	251 Grafton Road	N/A
Outlook:				Overshadowing:				
Loss from habitable rooms?	YES	YES		Shadow cast into rooms?	YES	YES		
Is it unacceptable?	YES	YES		Is it unacceptable?	YES	YES		
				Shadow into garden?	YES	YES		
Loss of Privacy:				Is it unacceptable?	YES	YES		
Overlooking the garden?	YES	YES						
Is it unacceptable?	YES	YES		Overbearing:				
Overlooking into rooms?	YES	YES		Impact on habitable rooms?	YES	YES		
Is it unacceptable?	YES	YES		Is it unacceptable?	YES	YES		
				Impact on gardens?	YES	YES		
Loss of Daylight:				Is it unacceptable?	YES	YES		
Loss into habitable rooms?	YES	YES						
Is it unacceptable?	YES	YES						

Officer comment:	The application site is an end of terrace property. The property is adjoined to 251 Grafton Road and adjacent to 255 Grafton Road. As shown on google maps no. 251 Grafton Road does not have a rear extension, as such the proposal will extend 6.0 metres beyond the rear elevation of this property, henceforth Officers consider the proposal unacceptable as it will result in the material loss of daylight and outlook to the habitable rooms of this property. Regarding No.255 this property is located on a corner plot at the junction of Grafton Road and Turnage Road, as such the property is L-shaped and angled at a 45 degree away from the application site. As shown on google maps no. 255 does not have a rear extension, however, despite this property being angled away from the application site the proposal will extend along the length of the rear garden. As this property is located to the north of the application site, the proposal is likely to result in overshadowing, henceforth officers consider the proposal unacceptable as it will result in the material loss of daylight and outlook, detrimental to the standard of living of current and future occupiers of 251 and 255 Grafton Road, henceforth the proposal would constitute unneighbourly development.
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CONCLUSION

Prior Approval Required and Refused

G. Neighbouring Amenity

Having regard to the proposed development and further to the assessment above, it is considered that the proposed development

is un-neighbourly and would have a detrimental impact upon the amenity of the adjoining properties. As such, Prior Approval for a 'Proposed Larger Home Extension' is required and refused.

LBBB Reference: 20/01149/PRIEXT

Jawad Ahmed

**TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND) ORDER 2015 (AS
AMENDED)**

Dear Sir / Madam,

Application Number: 20/01149/PRIEXT
Address: 253 Grafton Road, Dagenham, Barking And Dagenham, RM8 1QP
Development Description: Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.

Thank you for your recent application at the above address on which a decision has now been made. The decision on your application is attached. Please carefully read all of the information contained in these documents.

Please quote your application reference number in any correspondence with the Council.

Yours sincerely,

[Graeme Cooke](#)

Graeme Cooke
Director of Inclusive Growth
London Borough of Barking and Dagenham

PLANNING DECISION NOTICE

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED) TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND) ORDER 2015 (AS AMENDED)

Agent: **Applicant:** Jawad Ahmed

PART 1 - PARTICULARS OF THE APPLICATION

Application Number: 20/01149/PRIEXT
Application Type: Prior Approval: Larger Home Extension
Development Description: Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.
Site Address: 253 Grafton Road, Dagenham, Barking And Dagenham, RM8 1QP
Date Received: 07 June 2020
Date Validated: 07 June 2020

PART 2 - PARTICULARS OF THE DECISION

The London Borough of Barking and Dagenham, as Local Planning Authority, in pursuance of its powers under the above mentioned Act, Rules, Orders and Regulations made thereunder, hereby gives notice that PRIOR APPROVAL is **REQUIRED AND REFUSED** for the carrying out of the proposal referred to in PART 1 hereof and as described and shown on the plan(s) and document(s) submitted with the application, for the reason(s) listed below.

Reason(s):

1. The proposed extension, by virtue of its excessive depth and proximity to the boundary, would result in a loss of light ,outlook, sense of enclosure and be detrimental to the amenities of and living standards enjoyed by the adjoining residents at 255 Grafton Road and 251 Grafton Road contrary to Policies BP8 and BP11 of the Borough Wide Development Polices DPD and the Residential Extensions and Alterations SPD.

Informative(s):

1. The application hereby refused has been considered against the following plan(s) and/or document(s) submitted with the application: -

- SYL/20/253/2 Existing and Proposed Ground Floor Plan [Issue A] Dated May 2020
- SYL/20/253/3 Existing and Proposed Side Elevation [Issue A] Dated May 2020
- SYL/20/253/a Site Location Plan [Issue A] Dated May 2020

Working with the applicant:

In dealing with this application, Be First, working in partnership with the London Borough of Barking and Dagenham, has implemented the requirements of the National Planning Policy Framework and the Town and Country Planning (Development Management Procedure) (England) Order 2015 to work with the applicant in a positive and proactive manner based on seeking solutions to problems arising in relation to dealing with the planning application. As with all applicants, Be First has made available detailed advice in the form of statutory policies and all other relevant guidance, as well as offering a full pre-application advice service, so as to ensure the applicant has been given every opportunity to submit an application which is likely to be considered favourably. The necessary amendments to make the application acceptable are substantial and would materially change the proposal. They would require further consultations to be undertaken prior to determination, which could not take place within the statutory determination period specified by the Department of Communities and Local Government. You are therefore encouraged to consider submission of a fresh application incorporating material amendments such as to satisfactorily address the reasons for refusal attached.

DATE OF DECISION: 16.07.2020

Yours sincerely,

Graeme Cooke

Graeme Cooke

Director of Inclusive Growth

London Borough of Barking and Dagenham

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)
Applicant's Rights following the Grant or Refusal of permission

1. Appeals to the Secretary of State

Should you (an applicant/agent) feel aggrieved by the decision of the council to either refuse permission or to grant permission subject to conditions, you can appeal to the Secretary of State for the Department of Communities and Local Government – Section 78 of the Town and Country Planning Act 1990 / Sections 20 and 21 of the Planning (Listed Building and Conservation Areas) Act 1990. Any such appeal must be made within the relevant timescale for the application types noted below, beginning from the date of the decision notice (unless an extended period has been agreed in writing with the council):

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Where an enforcement notice has been issued the appeal period may be significantly reduced, subject to the following criteria:

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This notice will require the council to purchase the owner's interest in the land in accordance with the provisions of Part IV of the Town and Country Planning Act 1990 and Section 32 of the Planning (Listed Buildings Conservation Areas) Act 1990.

4. Compensation

In certain circumstances compensation may be claimed from the council if permission is refused or granted subject to condition(s) by the Secretary of State on appeal or on reference to the Secretary of State. These circumstances are set out in Section 114 and related provisions of the Town and Country Planning Act 1990 and Section 27 of the Planning (Listed Buildings and Conservation Areas) Act 1990.



Performance Review Sub-Committee

16th February 2021

Sample Selection Number:

268

Application Reference:

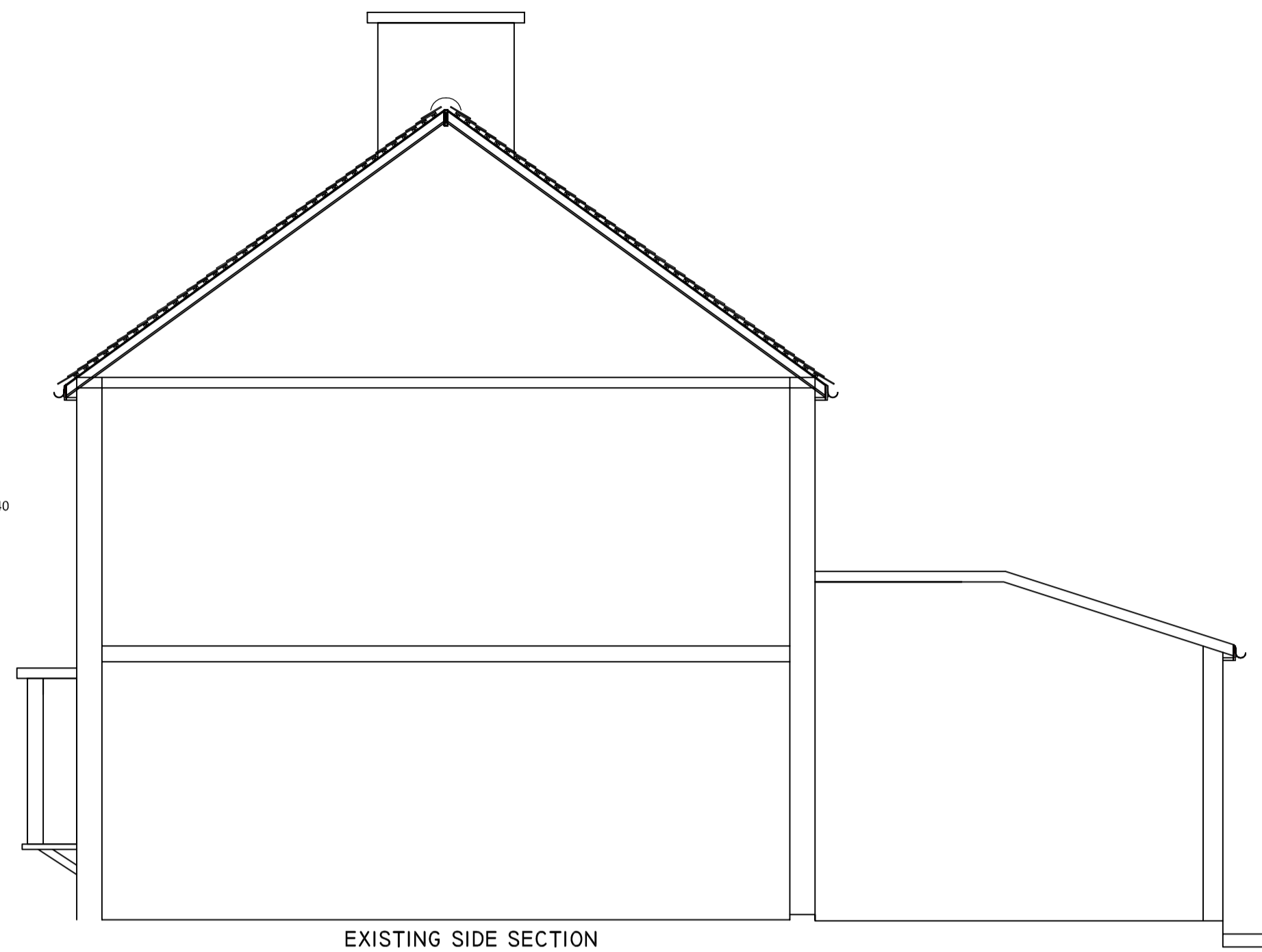
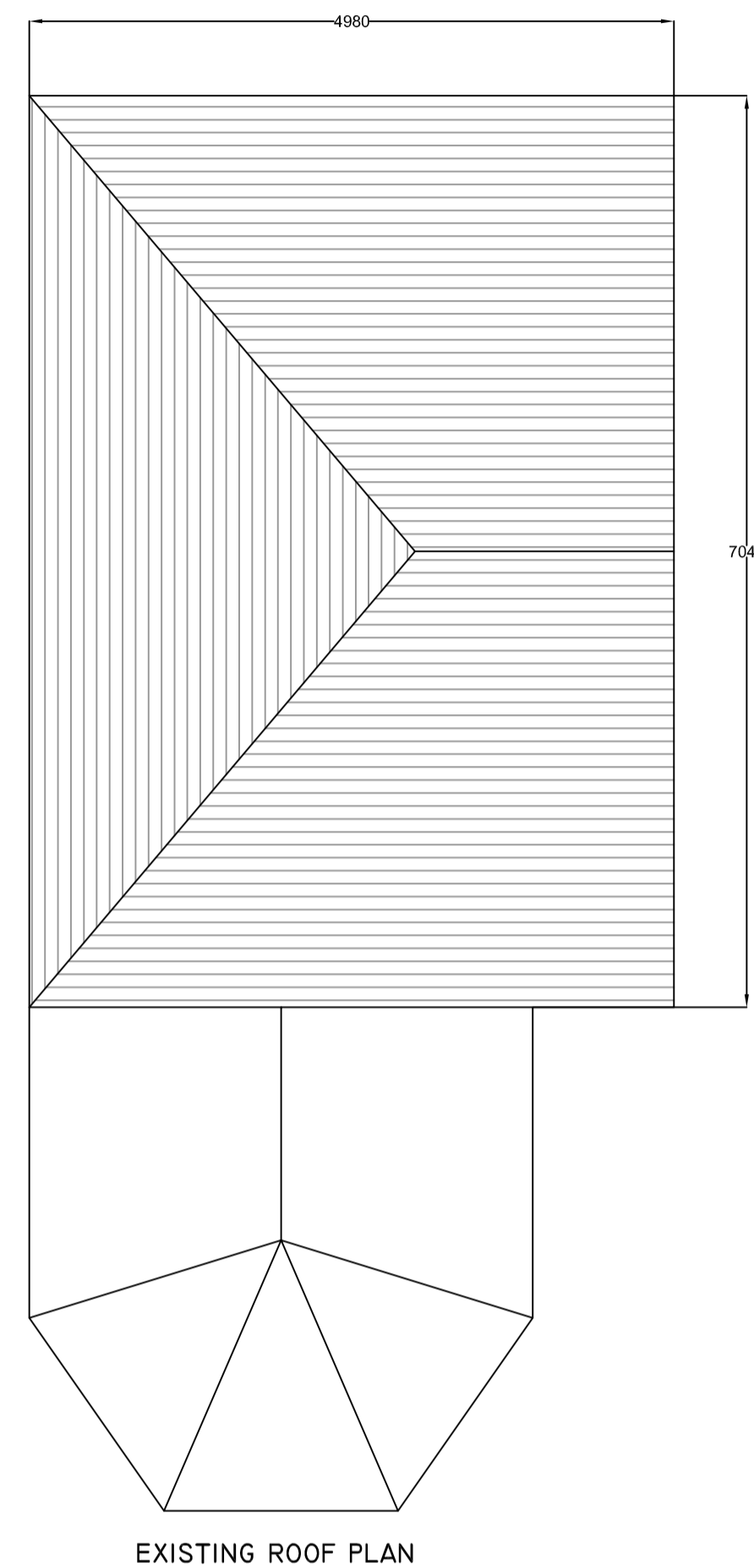
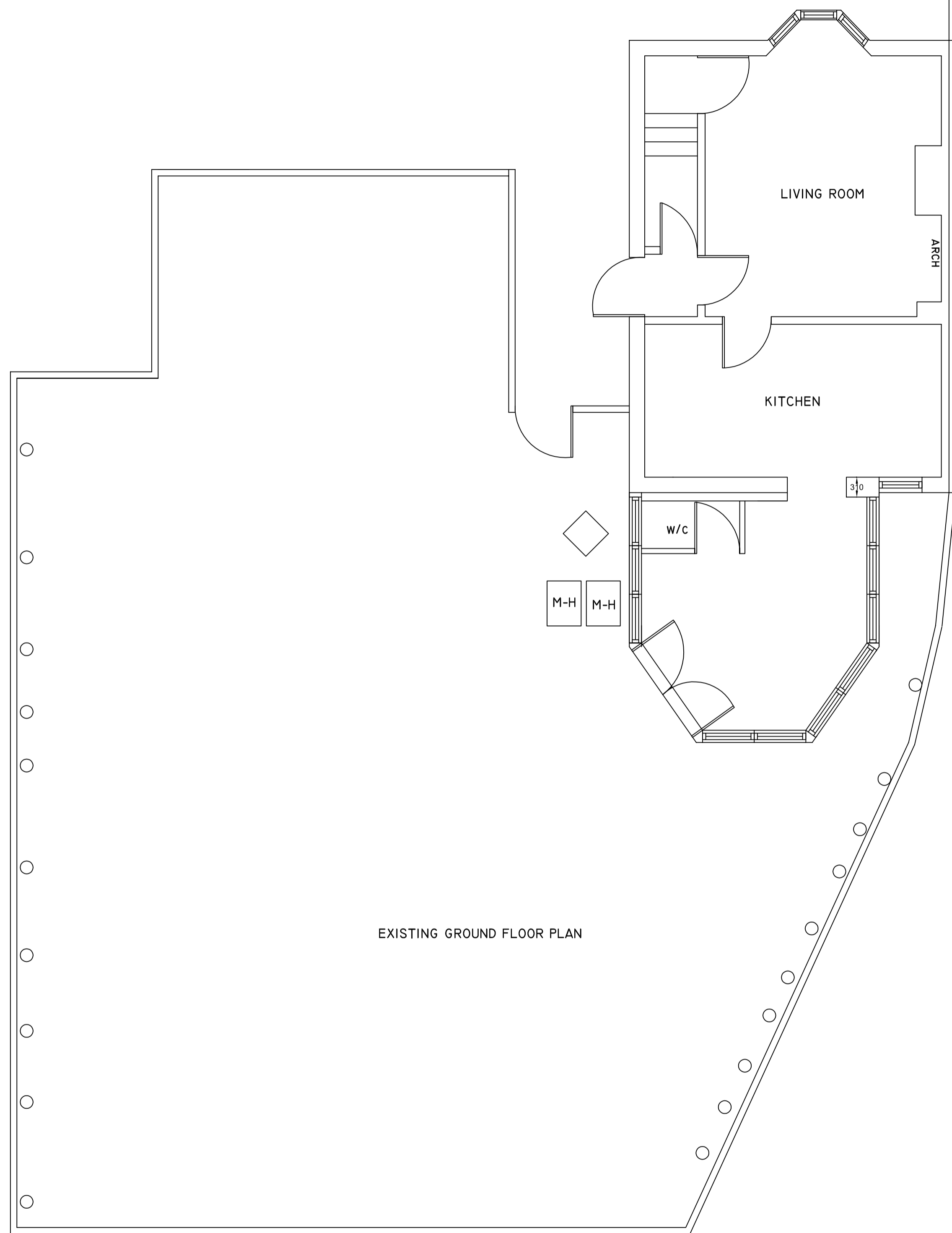
20/01241/PRIEXT

Application Description:

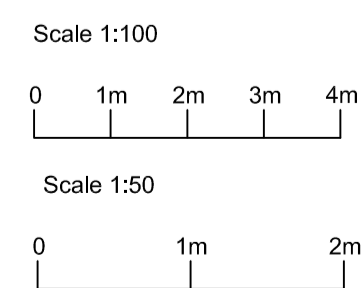
Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3:00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.74 metres.

Decision:

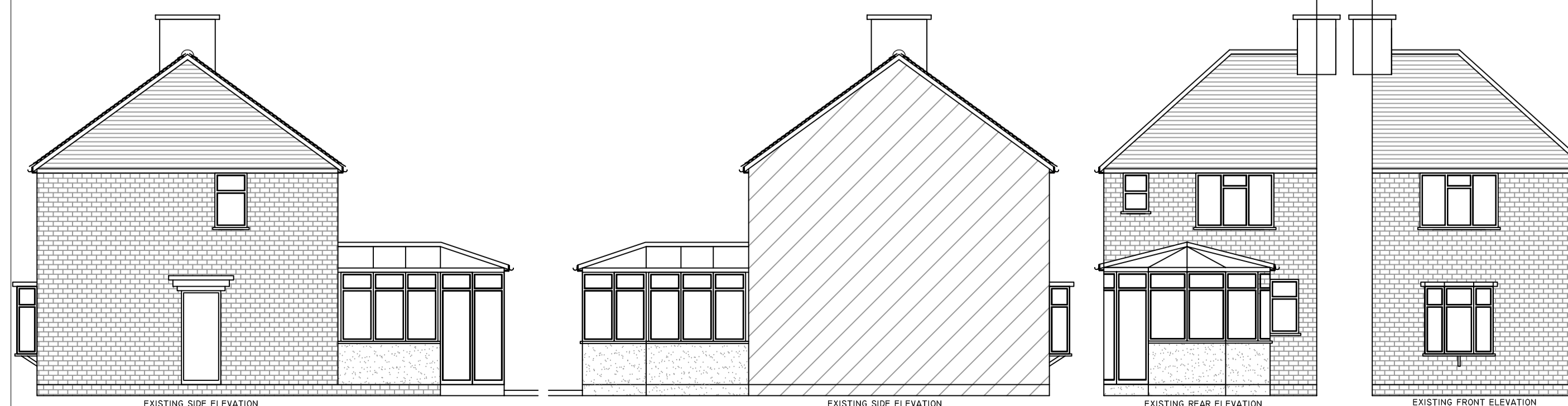
Approved



MATERIALS TO MATCH EXISTING



AI PAPERSIZE



All the structural support needs to be covered with 2 layers of Gyproc fireboard 12.5mm thick with 60mins fire retardant. All steel needs to be measured on site and allow for bearings. Steel length should not be measured from the drawings always allow for bearings. Steel needs to rest on either high density blockwork of at least 7N or engineering brick pier under an adequate footing which needs to be agreed on site with the building inspector. Needs to check on site if any beam is cranked.

All steel needs to be either painted with intumescent paint or boxed in 2 layers Gyproc fire board to achieve 1 hr fire retardant.

Heating via double convactor radiator to proposed system combi boiler 92% efficiency. Thermostatic valve to each radiator and automatic cut out to the boiler when no heat needed. There will be at least one energy efficient light bulb to every 4 light fittings.

Any new or relocated boiler is to be installed and tested and on completion, a copy of the installation and test certificate is to be submitted to the building control, signed by a gas safe registered installer (flue discharge in accordance to part j)

Electric cables should be fixed to the structure above the insulation. Where recessed fittings are to be used, those designed for compact fluorescent or low voltage tungsten halogen lamps should only be used within an enclosure between joists to dissipate heat.

All multiple timbers to be bolted using flat plate washers and timber connectors

The proposed installation work is to be undertaken by a person/firm who is a competent person registered with an electrical self-certification scheme authorised by the Secretary of State. In these cases the person is responsible for ensuring compliance with BS 7671:2001 and all relevant building regulations. On completion of the work, the person ordering the work should receive a signed building regulations self-certification certificate, and the other relevant building control body should receive a copy of the information on the certificate. The person ordering the work should also receive a duly completed electrical installation certificate as or similar to the model in BS 7671.

All construction should be well fitted without gaps. Foam and silicon around window and door frame. Cavity closers around openings. All joints should be sealed and tightly constructed

The heating and hot water system should be inspected on completion of installation to establish that the approved provision for efficient operation have been put in place. These systems should be commissioned to make reasonably certain they can operate efficiently for the purposes of the conservation of fuel and power. A certificate that commissioning has been successfully carried out from the responsible person for achieving compliance and a copy should be forwarded to the building control offices

Smoke detectors should be installed in corridors, on landings. A fixed temperature heat alarm is used in the kitchen, it activates when the temperature reaches 58°C (136°F) in accordance with the recommendations of BS 5839-6

Double glazed 4-22-4 and low-e coated units in windows. Head vents to provide 8000mm². Toughened glass to doors. The glazing panel below 1500mm height should be toughened glass and should satisfy the bs6206 and bs8180 to provide containment. 12mm annealed glass or similar should be used. Any replacement windows and doors will need to achieve a min 'U' value of 2.0 W/m²K and 2.2 W/m²K for doors with more than 50% glazing. All new windows will need to achieve a min 'U' value of 1.6W/m²K and 2.2 W/m²K for all new doors with more than 50% glazing. The installation should be carried out by a FENSA registered person or according to the building control satisfaction

Efficient energy lighting : 3 per 4 fixed lighting facilities. Fixed external light should have effective control and/or use of efficient lamps. Lamp capacity should not exceed 150w and 40 lumens per circuit-watt.

Rain water disposal should be connected to the existing water surface drainage system. Drainage will be discussed on site with the building inspector. If the sewer cannot be found, then a soak-away needs to be constructed at least 5m away from the extension to take the rain water. The internal void is to be left clear of any back-fill. Thames water permission need to be sought if the main drain is within 3 m of the proposed work.

- GENERAL NOTES:**
1. All measurements in millimeters.
 2. To builders only: Obtain all dimensions from site. Do not scale from drawing
 4. Finished room dimensions may vary from plan.
 5. Work although specified may not be part of the contract.
 6. Changes to the drawing must be advised by the instigator.
 7. Party wall agreements are the responsibility of the client.
 8. These drawings can only be used with the permission of Space Design Consultants Ltd.
 9. It is the responsibility of the client to wait for the full plan building regulation approval before any work starts. Failure to wait for approval may result in extra work as a result of the council inspection of plans.

MS J MAMMAN
202 HEDGEMAN ROAD
DAGENHAM
RM9 6DJ

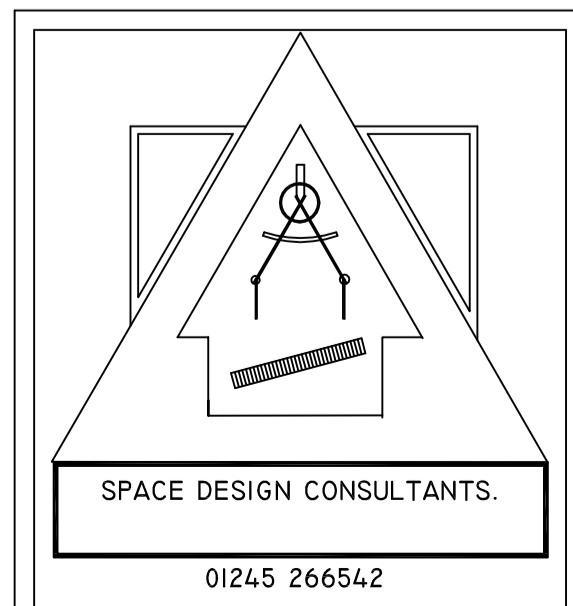
SINGLE STOREY REAR EXTENSION
EXISTING

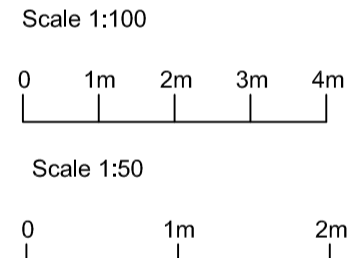
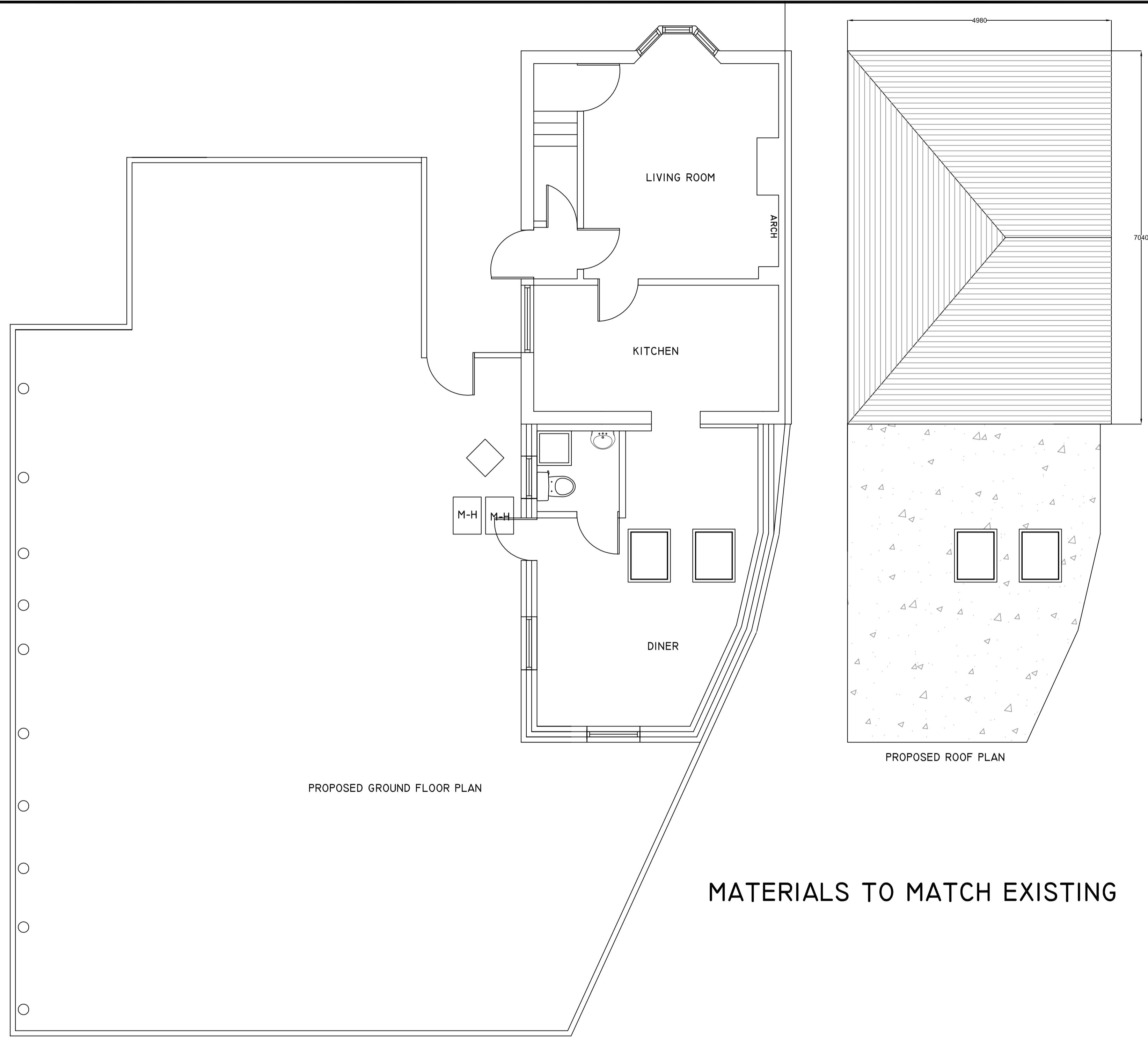
DATE: 05/06/2020

SCALE: 1:50&1:100 DRAWN BY: LF

DRAWING NO.: 01PA REV:

REVISIONS		ISSUED
Rev	Description	Date
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2		
3		
4		
A		A
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B		B
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C		C
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D		D





AI PAPERSIZE



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There will be at least one energy efficient light bulb to every 4 light fittings.

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Electric cables should be fixed to the structure above the insulation. Where recessed fittings are to be used, those designed for compact fluorescent or low voltage tungsten halogen lamps should only be used within an enclosure between joists to dissipate heat.

All multiple timbers to be bolted using flat plate washers and timber connectors

The proposed installation work is to be undertaken by a person/firm who is a competent person registered with an electrical self-certification scheme authorised by the Secretary of State. In these cases the person is responsible for ensuring compliance with BS 7671:2001 and all relevant building regulations. On completion of the work, the person ordering the work should receive a signed building regulations self-certification certificate, and the other relevant building control body should receive a copy of the information on the certificate. The person ordering the work should also receive a duly completed electrical installation certificate as or similar to the model in BS 7671.

All construction should be well fitted without gaps. Foam and silicon around window and door frame. Cavity closers around openings. All joints should be sealed and tightly constructed

The heating and hot water system should be inspected on completion of installation to establish that the approved provision for efficient operation have been put in place. These systems should be commissioned to make reasonably certain they can operate efficiently for the purposes of the conservation of fuel and power. A certificate that commissioning has been successfully carried out from the responsible person for achieving compliance and a copy should be forwarded to the building control offices

Smoke detectors should be installed in corridors, on landings. A fixed temperature heat alarm is used in the kitchen, it activates when the temperature reaches 58°C (136°F) in accordance with the recommendations of BS 5839-6

Double glazed 4-22-4 and low-e coated units in windows. Head vents to provide 8000mm². Toughened glass to doors. The glazing panel below 1500mm height should be toughened glass and should satisfy the BS6200 and BS1100 to provide containment. 12mm annealed glass or similar should be used. Any replacement windows and doors will need to achieve a min 'U' value of 2.0 W/m²K and 2.2 W/m²K for doors with more than 50% glazing. All new windows will need to achieve a min 'U' value of 1.0 W/m²K and 2.2 W/m²K for all new doors with more than 50% glazing. The installation should be carried out by a FENSA registered person or according to the building control satisfaction

Efficient energy lighting : 3 per 4 fixed lighting facilities.

Fixed external light should have effective control and/or use of efficient lamps. Lamp capacity should not exceed 150w and 40 lumens per circuit-watt.

Rain water disposal should be connected to the existing water surface drainage system. Drains will be discussed on site with the building inspector. If the sewer cannot be found, then a soak-away needs to be constructed at least 5m away from the extension to take the rain water. The internal void is to be left clear of any back-fill. Thames water permission need to be sought if the main drain is within 3m of the proposed work

GENERAL NOTES:

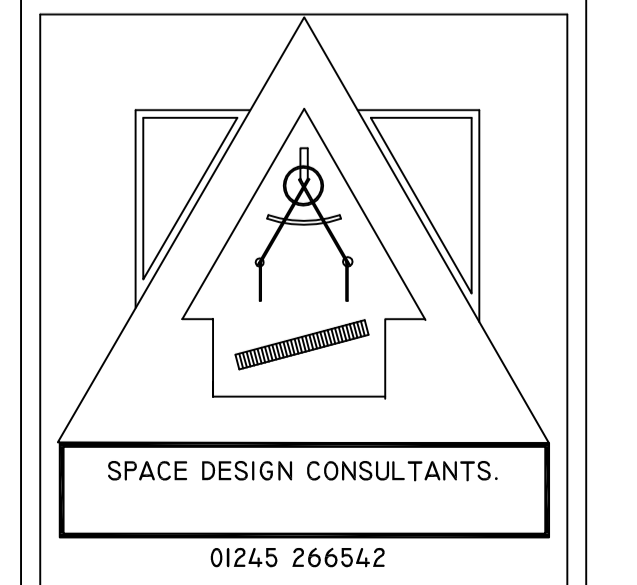
- All measurements in millimeters.
- To builders only: Obtain all dimensions from site. Do not scale from drawing
- Finished room dimensions may vary from plan.
- Work although specified may not be part of the contract.
- Changes to the drawing must be advised by the instigator.
- Party wall agreements are the responsibility of the client.
- These drawings can only be used with the permission of Space Design Consultants Ltd.
- It is the responsibility of the client to wait for the full plan building regulation approval before any work starts. Failure to wait for approval may result in extra work as a result of the council inspection of plans.

MS J MAMMAN
202 HEDGEMAN ROAD
DAGENHAM
RM9 6DJ

SINGLE STOREY REAR EXTENSION
PROPOSED

DATE: 05/06/2020
SCALE: 1:50&1:100 DRAWN BY: LF
DRAWING NO.: 02PA REV:

REVISIONS		ISSUED
Rev	Description	Date
A	1 2 3 4	A
B	1 2 3	B
C	1 2 3 4	C
D	1 2 3 4	D



Delegated Report

Notification for Prior Approval for a Proposed Larger Home Extension

Case Officer:	Harry Moorhouse	Valid Date:	16 June 2020
Officer Recommendation:	Prior Approval Not Required	Expiry Date:	28 July 2020
Application Number:	20/01241/PRIEXT	Recommended Date:	14 July 2020
Address:	202 Hedgemans Road, Dagenham, Barking And Dagenham, RM9 6DJ		
Proposal:	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.74 metres.		

Neighbour Notification

<i>Address:</i>	<i>Summary of response:</i>
204 Hedgemans Road, Dagenham, Barking And Dagenham, RM9 6DJ	No response received
200 Hedgemans Road, Dagenham, Barking And Dagenham, RM9 6DJ	No response received
55 Coleman Road, Dagenham, Barking And Dagenham, RM9 6JU	No response received
118 Hatfield Road, Dagenham, Barking And Dagenham, RM9 6JT	No response received
116 Hatfield Road, Dagenham, Barking And Dagenham, RM9 6JT	No response received
112 Hatfield Road, Dagenham, Barking And Dagenham, RM9 6JT	No response received
114 Hatfield Road, Dagenham, Barking And Dagenham, RM9 6JT	No response received
57 Coleman Road, Dagenham, Barking And Dagenham, RM9 6JU	No response received

Relevant Legislation

- The Town and Country Planning Act 1990 (as amended)
- The Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) Schedule 2, Part 1, Class A

ASSESSMENT

A. Dwellinghouse

<i>Is the application site a Dwellinghouse?</i>	YES
---	------------

B. Pre-Commencement and Planning Enforcement

<i>Had works commenced on the proposed development on the date the application was submitted?</i>	NO
<i>Is the development proposed the subject of a related enforcement case?</i>	NO

C. Conservation Area (Article 2(3) land)

<i>Is the application site located within a Conservation Area (Article 2(3) land)?</i>	NO
--	-----------

D. Permitted Development Rights

<i>Have the relevant provisions of Schedule 2, Part 1 of the Town and Country Planning (General Permitted</i>	NO
---	-----------

Development) (England) Order 2015 (as amended) been removed from the application site?

E. Application Clarity	
<i>Has the developer provided sufficient information to enable the authority to establish whether the proposed development complies with the relevant conditions, limitations or restrictions as detailed within the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended)?</i>	YES

F. The Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) Schedule 2, Part 1, Class A Criteria	
<i>Does the proposed development comply with the relevant conditions, limitations or restrictions of Part 1, Class A of Schedule 2 to The Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended)?</i>	YES

CONCLUSION

Prior Approval Not Required
Having regard to the proposed development and further to the assessment above, Prior Approval for a 'Proposed Larger Home Extension' is not required.

LBBB Reference: 20/01241/PRIEXT

Mr MICHAEL SNELGROVE
30 Van Diemens Road, Chelmsford, CM2 9QQ

**TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND) ORDER 2015 (AS
AMENDED)**

Dear Sir / Madam,

Application Number: 20/01241/PRIEXT
Address: 202 Hedgemans Road, Dagenham, Barking And Dagenham, RM9 6DJ
Development Description: Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3:00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.74 metres.

Thank you for your recent application at the above address on which a decision has now been made. The decision on your application is attached. Please carefully read all of the information contained in these documents.

Please quote your application reference number in any correspondence with the Council.

Yours sincerely,

[Graeme Cooke](#)

Graeme Cooke
Director of Inclusive Growth
London Borough of Barking and Dagenham

PLANNING DECISION NOTICE

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED) TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND) ORDER 2015 (AS AMENDED)

Agent: Mr MICHAEL SNELGROVE
30 Van Diemens Road, Chelmsford, CM2
9QQ

Applicant: C/O Agent
202 HEDGEMANS ROAD
DAGENHAM

PART 1 - PARTICULARS OF THE APPLICATION

Application Number: 20/01241/PRIEXT
Application Type: Prior Approval: Larger Home Extension
Development Description: Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3:00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.74 metres.
Site Address: 202 Hedgemans Road, Dagenham, Barking And Dagenham, RM9 6DJ
Date Received: 16 June 2020
Date Validated: 16 June 2020

PART 2 - PARTICULARS OF THE DECISION

The London Borough of Barking and Dagenham, as Local Planning Authority, in pursuance of its powers under the above mentioned Act, Rules, Orders and Regulations made thereunder, hereby gives notice that PRIOR APPROVAL is **NOT REQUIRED** for the carrying out of the proposal referred to in PART 1 hereof and as described and shown on the plan(s) and document(s) submitted with the application, subject to the conditions and reasons listed below.

Conditions:

1. The development hereby permitted shall be commenced before the expiration of three years from the date of this permission.

Reason: To comply with the requirements of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The development hereby approved shall only be carried out in accordance with the following approved plans and documents:

- Existing and Proposed Block Plan - HEDGEMAN/SDC/01BL - 09/06/2020
- Single Storey Rear Extension Proposed - 02PA - 05/06/2020

No other drawings or documents apply.

Reason: To ensure that the development is undertaken in accordance with the approved drawing(s) and document(s), to ensure that the finished appearance of the development will enhance the character and visual amenities of the area and to satisfactorily protect the residential amenities of nearby occupiers.

Working with the applicant:

In dealing with this application, Be First, working in partnership with the London Borough of Barking and Dagenham, has implemented the requirements of the National Planning Policy Framework and of the Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended) to work with the Applicant in a positive and proactive manner. As with all applicants, Be First has made available detailed advice in the form of statutory policies and all other relevant guidance, as well as offering a full pre-application advice service, so as to ensure the applicant has been given every opportunity to submit an application which is likely to be considered favourably.

DATE OF DECISION: 21st July 2020

Yours sincerely,

Graeme Cooke

Graeme Cooke

Director of Inclusive Growth

London Borough of Barking and Dagenham

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)
Applicant's Rights following the Grant or Refusal of permission

1. Appeals to the Secretary of State

Should you (an applicant/agent) feel aggrieved by the decision of the council to either refuse permission or to grant permission subject to conditions, you can appeal to the Secretary of State for the Department of Communities and Local Government – Section 78 of the Town and Country Planning Act 1990 / Sections 20 and 21 of the Planning (Listed Building and Conservation Areas) Act 1990. Any such appeal must be made within the relevant timescale for the application types noted below, beginning from the date of the decision notice (unless an extended period has been agreed in writing with the council):

- **Six (6) months:** Full application (excluding Householder and Minor Commercial applications), listed building, conservation area consent, Section 73 'variation/removal', Section 73 'minor-material amendment', extension of time and prior approval applications.
- **Twelve (12) weeks:** Householder planning, Householder prior approval and Minor Commercial applications.
- **Eight (8) weeks:** Advertisement consent applications.
- **No timescale:** Certificate of lawful development (existing/proposed) applications.

Where an enforcement notice has been issued the appeal period may be significantly reduced, subject to the following criteria:

- The development proposed by your application is the same or substantially the same as development that is currently the subject of an enforcement notice: **28 days of the date of the application decision.**
- An enforcement notice is served **after the decision on your application** relating to the same or substantially the same land and development as in your application and if you want to appeal against the council's decision you are advised to appeal against the Enforcement Notice and to do so before the Effective Date stated on the Enforcement Notice.

Appeals must be made using the prescribed form(s) of The Planning Inspectorate (PINS) obtained from www.planning-inspectorate.gov.uk or by contacting 03034445000. A copy of any appeal should be sent both to PINS and the council (attn: Planning Appeals Officer).

The Secretary of State can allow a longer period for giving notice of an appeal but will not normally be prepared to use this power unless there are exceptional/special circumstances.

The Secretary of State can refuse to consider an appeal if the council could not have granted planning permission for the proposed development or could not have granted it without the conditions it imposed, having regard to the statutory requirements and provisions of the Development Order and to any direction given under the Order. In practice, it is uncommon for the Secretary of State to refuse to consider appeals solely because the council based its decision on a 'direction given by the Secretary of State'.

2. Subsequent Application Fees

No planning fee would be payable should a revised planning application be submitted within 12 months of the decision. This 'fee waiver' is permitted only where the new application meets the following criteria:

- the applicant is the same as the applicant of the original application
- site boundary is the same as the site boundary of the original application
- the nature of development remains the same.

3. Purchase Notices

Should either the council or the Secretary of State refuse permission or to grant permission subject to conditions, the owner may claim that the land cannot be put to a reasonably beneficial use in its existing state nor through carrying out of any development which has been or could be permitted. In such a case, the owner may serve a purchase notice on the council.

This notice will require the council to purchase the owner's interest in the land in accordance with the provisions of Part IV of the Town and Country Planning Act 1990 and Section 32 of the Planning (Listed Buildings Conservation Areas) Act 1990.

4. Compensation

In certain circumstances compensation may be claimed from the council if permission is refused or granted subject to condition(s) by the Secretary of State on appeal or on reference to the Secretary of State. These circumstances are set out in Section 114 and related provisions of the Town and Country Planning Act 1990 and Section 27 of the Planning (Listed Buildings and Conservation Areas) Act 1990.



Performance Review Sub-Committee

16th February 2021

Sample Selection Number:

378

Application Reference:

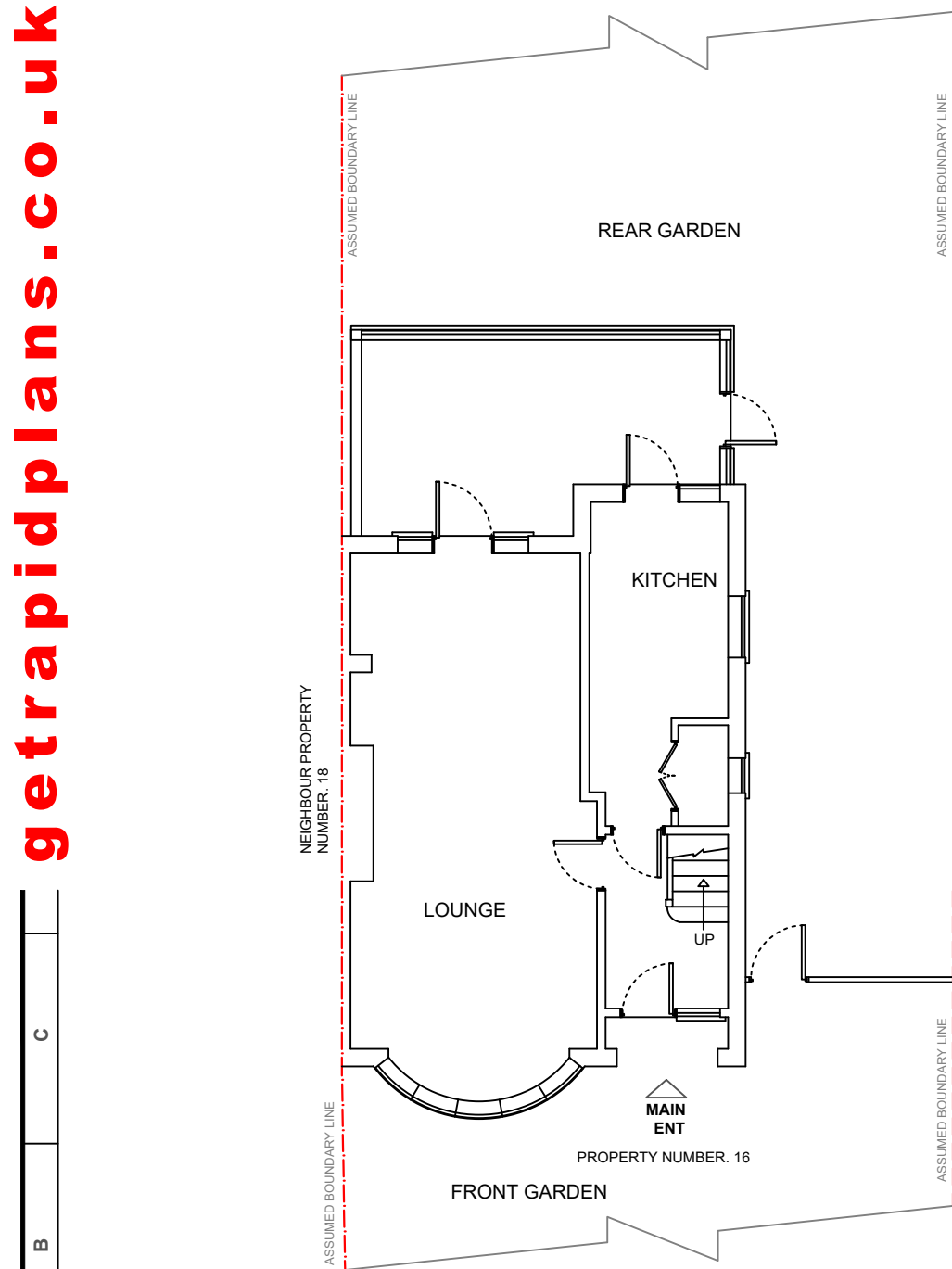
20/01358/HSE

Application Description:

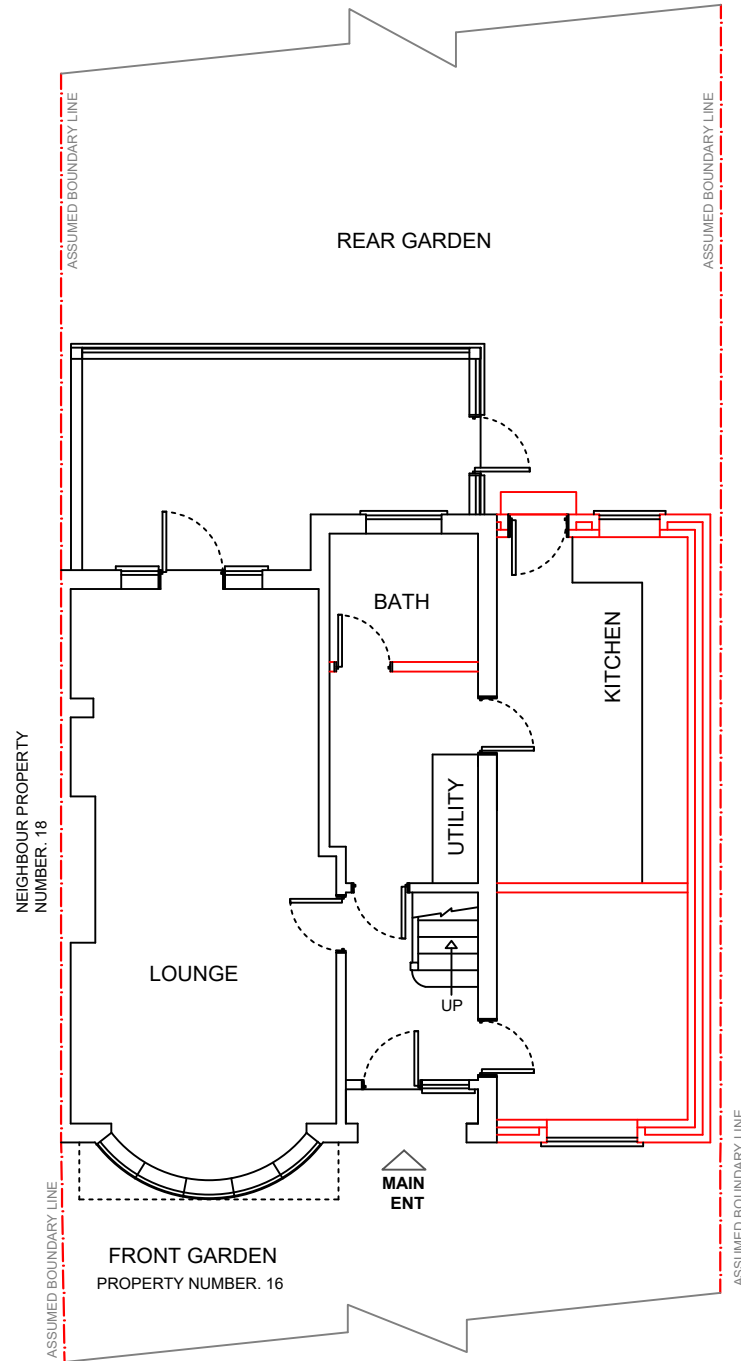
Erection of a single storey side extension

Decision:

Approved



1 GROUND FLOOR - EXISTING
1:100



2 GROUND FLOOR - PROPOSED
1:100

ALL WORK TO COMPLY WITH CURRENT BUILDING REGULATIONS AND CODES OF PRACTICE.
ALL DIMENSIONS IN MM UNLESS NOTED OTHERWISE
MEASURED SURVEY DOES NOT INCLUDE FOR INTRUSIVE SURVEY TO DETERMINE EXACT LOCATION OF STEELWORK/SUPPORTING STRUCTURE.
"THIS DRAWING IS PREPARED SOLELY FOR DESIGN AND PLANNING SUBMISSION PURPOSES. IT IS NOT INTENDED OR SUITABLE FOR EITHER BUILDING REGULATIONS OR CONSTRUCTION PURPOSES AND SHOULD NOT BE USED FOR SUCH".

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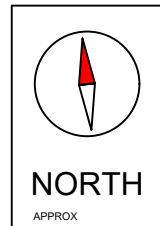
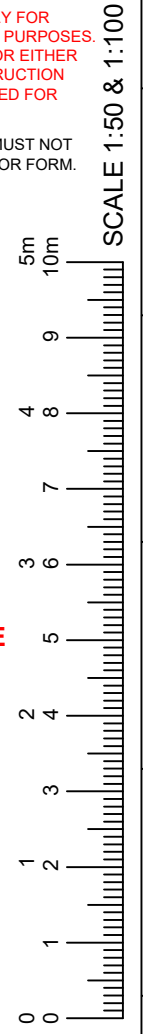
PLEASE NOTE: PROPERTY OWNER TO ENSURE THAT ALL ASPECTS OF THE "PARTY WALL ETC, ACT 1996" ARE COMPLIED WITH PRIOR TO ANY WORK COMMENCING ON SITE.

VARIATIONS IN SQUARENESS, DEPTH OF PLASTER ETC, MUST BE CHECKED FOR. WHERE NEW WALLS ARE SHOWN AS ALIGNED WITH EXISTING WALLS, PHYSICAL REMOVAL OF BRICKWORK AND / OR PLASTER TO ESTABLISH THE ACTUAL POSITION OF THE WALL BEING ATTACHED TO MUST BE CHECKED.

ANY DEVELOPMENT WITHOUT A CERTIFICATE OF LAWFULNESS OR PLANNING PERMISSION IS SOLELY AT OWNER'S RISK.

MATERIALS SHOULD MATCH THOSE OF THE EXISTING DWELLING

PLANNING ISSUE
DO NOT USE FOR ANY CONSTRUCTION WORK
DOCUMENTS SHOULD BE USED AS THE DRAWING STATUS DESCRIBED, ANY OTHER USE IS DONE SO AT THE RESPONSIBILITY OF THE USER.



Revision	Description	Date
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GET RAPID PLANS
Full Architectural Services
07538938251 / 07507665812
169 Southpark Drive Ilford IG3 9AD
Email: getrapidplans@gmail.com
Website: getrapidplans.co.uk

ADDRESS 16 FOURTH AVENUE, RUSH GREEN RM7 0UB

PROJECT SINGLE STOREY SIDE EXTENSION

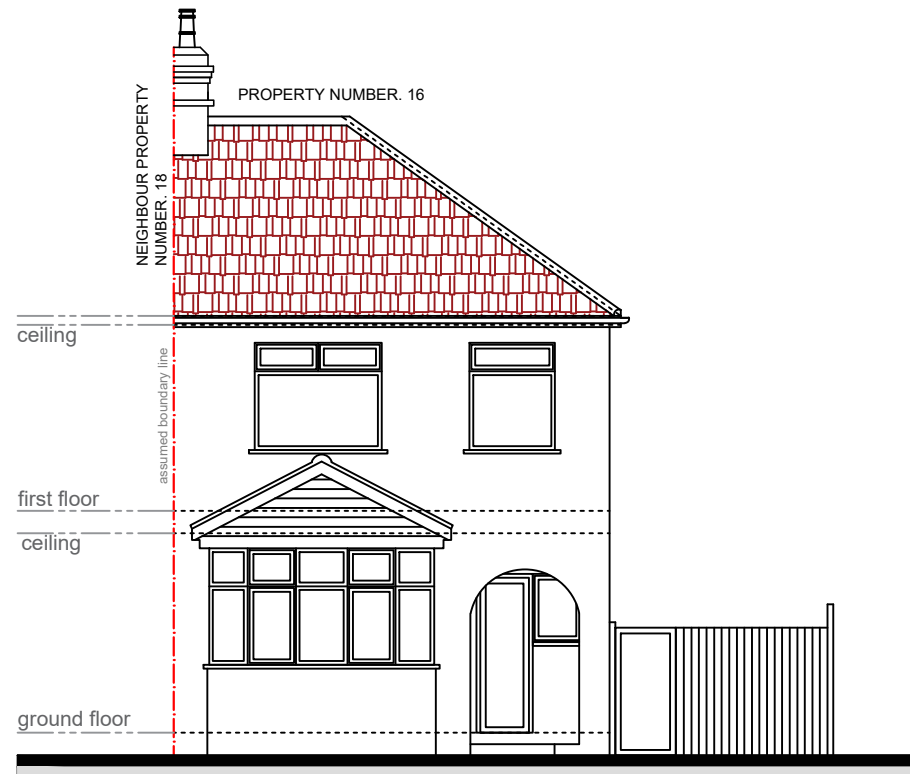
TITLE GROUND FLOOR PLANS

DRAWN AT HEAD OFFICE SCALE **1:100 @A3**

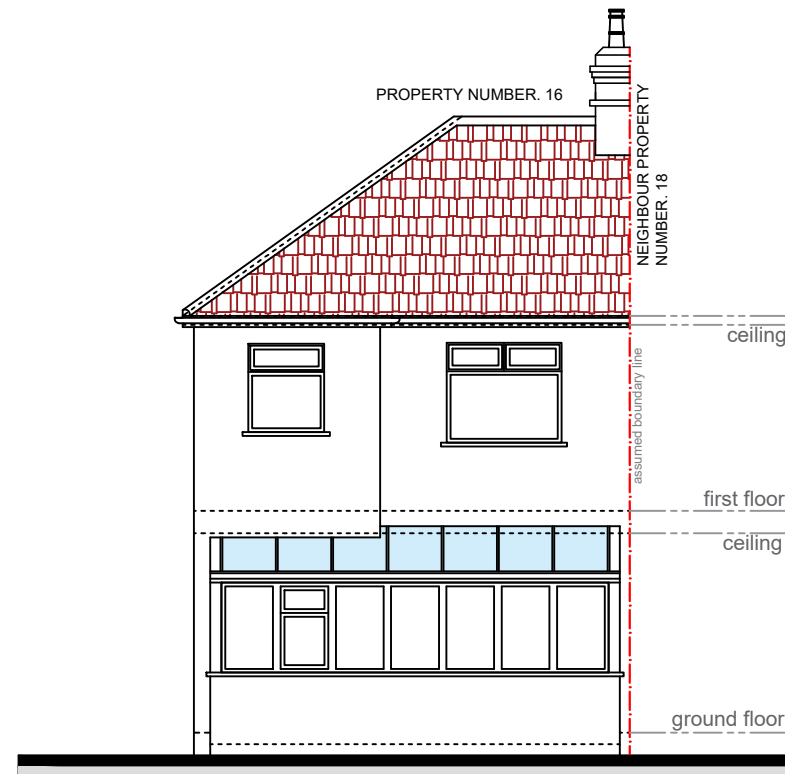
DRAWING NO J27-1	DRAWN BY	CHKD BY
	REVISION A	DATE 14-08-2020

GET RAPID PLANS

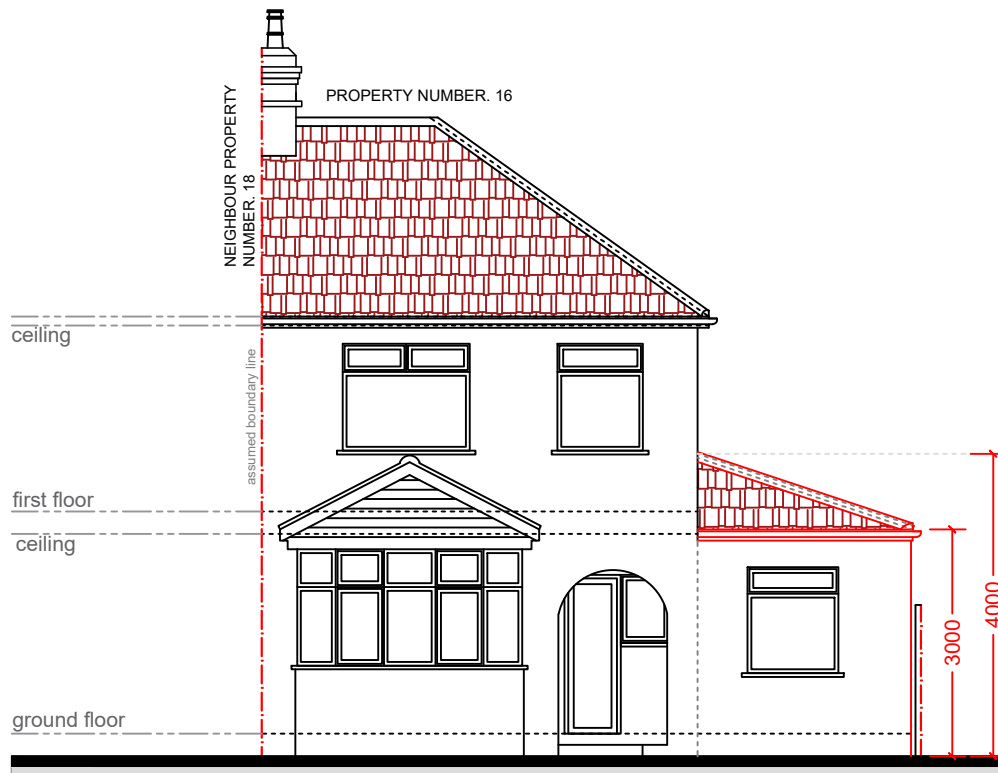
PAPER SIZE
A3



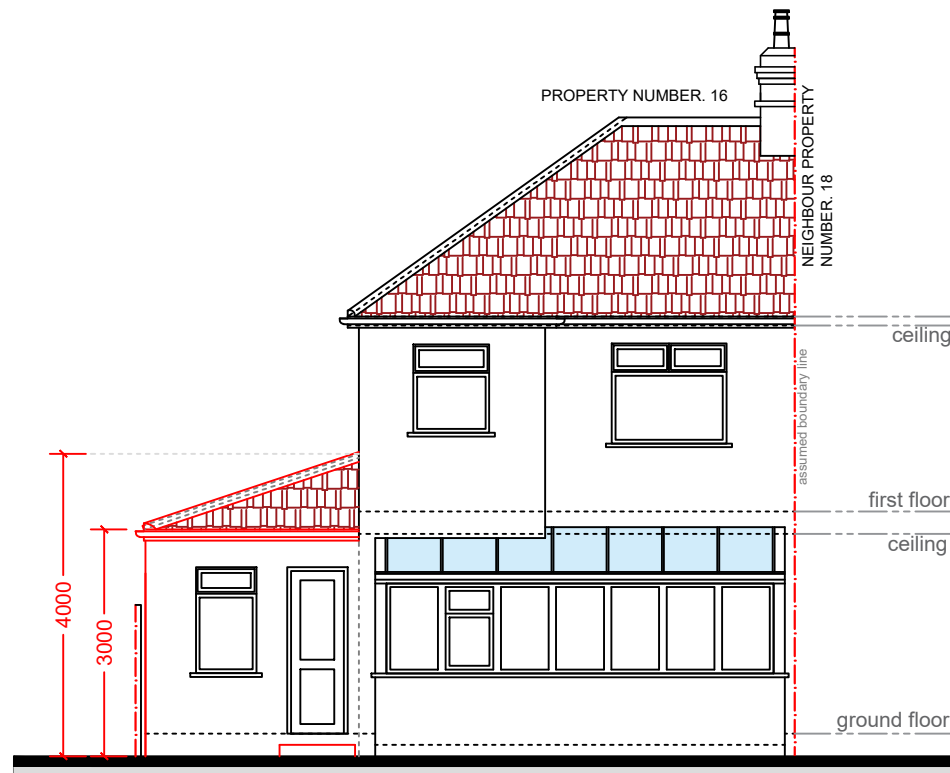
5 FRONT ELEVATION - EXISTING
1:100



7 REAR ELEVATION - EXISTING
1:100



6 FRONT ELEVATION - PROPOSED
1:100



8 REAR ELEVATION - PROPOSED
1:100

ALL WORK TO COMPLY WITH CURRENT BUILDING REGULATIONS AND CODES OF PRACTICE.
ALL DIMENSIONS IN MM UNLESS NOTED OTHERWISE
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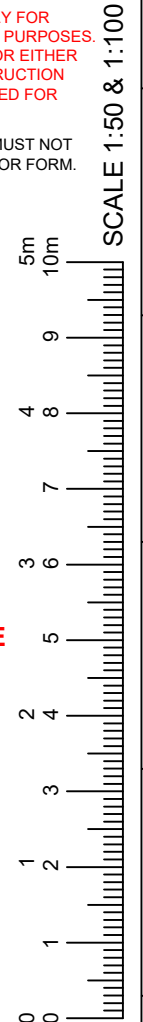
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MATERIALS SHOULD MATCH THOSE OF THE EXISTING DWELLING

PLANNING ISSUE

DO NOT USE FOR ANY CONSTRUCTION WORK

DOCUMENTS SHOULD BE USED AS THE DRAWING STATUS DESCRIBED, ANY OTHER USE IS DONE SO AT THE RESPONSIBILITY OF THE USER.



Revision	Description	Date
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GET RAPID PLANS

Full Architectural Services

07538938251 / 07507665812

169 Southpark Drive Ilford IG3 9AD

Email: getrapidplans@gmail.com

Website: getrapidplans.co.uk

ADDRESS 16 FOURTH AVENUE, RUSH GREEN RM7 0UB

PROJECT SINGLE STOREY SIDE EXTENSION

TITLE FRONT AND REAR ELEVATIONS

DRAWN AT HEAD OFFICE SCALE **1:100 @A3**

DRAWING NO	DRAWN BY	CHKD BY
J27-3	A	
	REVISION	DATE
		14-08-2020

Delegated Report

Householder Application for Planning Permission for Works or Extension to a Dwelling

Case Officer:	Harry Moorhouse	Valid Date:	03 July 2020
Officer Recommendation:	Approve	Expiry Date:	28 August 2020
Application Number:	20/01358/HSE	Recommended Date:	21 August 2020
Address:	16 Fourth Avenue, Rush Green, Romford, Barking And Dagenham, RM7 0UB		
Proposal:	ERECTION OF SINGLE STOREY SIDE EXTENSION.		

Planning Constraints - None.

Consultations

<i>Consultee:</i>	<i>Date Consulted:</i>	<i>Summary of response:</i>
Transport Development Management (Be First)	13/08/2020	Based on the information provided it is our considered view that there is no apparent adverse highway safety issue or any substantial reason to object.

Neighbour Notification

Date Consultation Letter Sent:	06/07/2020
Number of Neighbours Consulted:	3
<i>No response received.</i>	

Relevant Planning History - None.

Development Plan Context

The Council has carefully considered the relevant provisions of the Council's adopted development plan and of all other relevant policies and guidance. Of particular relevance to this decision were the following Framework and Development Plan policies and guidance:

National Planning Policy Framework (NPPF) (MHCLG, February 2019)	
The London Plan: Spatial Development Strategy for London (GLA, consolidated with alterations since 2011, published March 2016)	Policy 7.4 - Local Character Policy 7.5 - Public Realm Policy 7.6 - Architecture
<i>The Mayor of London's Draft London Plan - Intend to Publish version December 2019 is under Examination. Having regard to NPPF paragraph 48 the emerging document is a material consideration and appropriate weight will be given to its policies and suggested changes in decision-making, unless other material considerations indicate that it would not be reasonable to do so.</i>	
Draft London Plan (Intend to Publish version December 2019)	Policy D1 - London's Form, Character and Capacity for Growth Policy D4 - Delivering Good Design Policy D8 - Public Realm
Local Development Framework (LDF) Core Strategy (July 2010)	Policy CR2 - Preserving and Enhancing the Natural Environment Policy CP3 - High Quality Built Environment
Local Development Framework (LDF) Borough Wide Development Plan Document (DPD) (March 2011)	Policy BP8 - Protecting Residential Amenity Policy BP11 - Urban Design
<i>The London Borough of Barking and Dagenham's Draft Local Plan: (Regulation 18 Consultation Version, November 2019) is at an "early" stage of preparation. Having regard to NPPF paragraph 216 the emerging document is now a material consideration and limited weight will be given to the emerging document in decision-making, unless other material considerations indicate that it would not be reasonable to do so.</i>	
The London Borough of Barking and Dagenham's Draft Local Plan (Regulation 18 Consultation Version, November 2019)	Policy SP4 - Delivering High Quality Design in the Borough Policy DM11 - Responding to Place Policy DM16 - Householder Extensions and Alterations Policy DM20 - Nature Conservation and Biodiversity
Supplementary Planning Documents	Residential Extensions and Alterations (SPD) (February 2012)

ASSESSMENT

Principle of the Development

<i>Is the proposed development acceptable 'in principle'?</i>	YES
<i>Officer Comment:</i>	The overriding objective of the local policies is to deliver high quality development which improves the quality and distinctive identity of places and meets the housing needs of existing and future residents. As such, it is acknowledged that extensions to existing family dwelling houses can facilitate additional and enhanced living space for improved living conditions for occupants. They are therefore considered acceptable in principle subject to ensuring a high-quality, neighbourly design. Such matters are addressed below.

Achieving High Quality of Urban Design

<i>Does the proposed development respect the character and appearance of the existing dwelling?</i>	YES
<i>Does the proposed development respect and accord to the established local character?</i>	YES
<i>Is the proposed development acceptable within the street scene or when viewed from public vantage points</i>	YES
<i>Is the proposed development acceptable and policy compliant?</i>	YES

<i>Officer Comment:</i>	<p>The importance of good design is emphasised at national level by the NPPF (2019). Paragraphs 127 and 128, outline that planning policies and decisions should aim to ensure that development functions well and adds to the overall quality of an area for both the short term and over the lifetime of the development. Paragraph 130 advises that permission should be refused for proposed developments of poor design which fails to take the opportunities available for improving the character and quality of an area and the way it functions. Such aspirations are filtered through further planning policies, all echoing the same principles, in which this application will be assessed against.</p> <p>The London Plan (2016) London Plan (2016), Policy 7.4, requires development to have regard to the form, function and structure of an area, place or street and the scale, mass and orientation of surrounding buildings and other forms of development. It is required that in areas of poor, or ill-defined, character, new development should build on the positive existing elements that can contribute to establishing an enhanced character for the future function of the area. Policy 7.6 seeks the highest quality materials and design appropriate to its context. It is advised that the buildings and structures should be of the highest architectural quality and comprise details and materials that complement the local architectural character, something further supported by Policy CP3 of the Core Strategy DPD. Policy D1 and D4 of the Draft London Plan discusses the need for good design to be thoroughly scrutinised at the application stage, and that the design should respond successfully to the identity and character of the locality. Policies BP8 and BP11 of the Local Development Framework Borough Wide Development Plan all echo the same principles in requiring high quality design and a development which responds well to the local character. Within the Draft Local Plan, Policies SP4 and DM11 relate to the importance of high quality design which provides a safe and accessible environment for all, recognising and celebrating local character and the borough's heritage and should make a positive contribution to the surrounding character. Policy DM16 emphasises that the design of householder extensions and alterations will need to be sensitive and appropriate, being sympathetic to the design of the original dwelling and surrounding area.</p> <p>The development site is an end of terrace property, the terrace is characterised by arched porches with the front door covered, and a ground floor bay window. The site is located on the northern side of Fourth Avenue on the corner of the junction where Fourth Avenue and Philip Avenue cross. The proposed development is for the construction of a side extension which will extend from the side wall of the dwelling by approximately 2.85 metres up to the boundary of the site. The proposed extension will have a height to eaves of 3 metres and a maximum height of 4 metres with a hipped roof which is in keeping with the original dwelling and surrounding area.</p> <p>The Residential Extensions and Alterations SPD (2012) outlines that side extensions should reflect the type of house and the type of plot as they have the potential to cause significant impact upon the character of the area. They should be sympathetic in terms of their form, roof treatment, detailing and materials. Side extensions on terrace houses should be designed so that the front elevation is parallel with the front elevation of the existing house. This will help to maintain the built form of the terrace of which the house is a part.</p> <p>The proposed design of the development is considered to compliment the existing dwelling and will seek to conserve the existing local character with the roof being tiled in keeping with the area. The front elevation of the side extension will be built so that it is parallel to the front elevation of the existing house. Overall the development is considered to be a complimentary addition to the dwelling and is considered</p>
-------------------------	--

to be acceptable in regards to the Development Plan policies outlined above in regards to design.

Delivering Neighbourly Development								
	No. 18 Fourth Avenue	No. 50 Philip Avenue	N/A			No. 18 Fourth Avenue	No. 50 Philip Avenue	N/A
Outlook:				Overshadowing:				
Loss from habitable rooms?	NO	NO		Shadow cast into rooms?	NO	NO		
<i>Is it unacceptable?</i>				<i>Is it unacceptable?</i>				
				Shadow into garden?	NO	NO		
Loss of Privacy:				<i>Is it unacceptable?</i>				
Overlooking the garden?	NO	NO						
<i>Is it unacceptable?</i>				Overbearing:				
Overlooking into rooms?	NO	NO		Impact on habitable rooms?	NO	NO		
<i>Is it unacceptable?</i>				<i>Is it unacceptable?</i>				
				Impact on gardens?	NO	NO		
Loss of Daylight:				<i>Is it unacceptable?</i>				
Loss into habitable rooms?	NO	NO						
<i>Is it unacceptable?</i>								
<i>Officer Comment:</i>	<p>The proposed development is for a side extension to an end of terrace property, this will extend approximately 2.85 metres from the side elevation of the dwelling and will be a single storey. The height to the eaves will be 3 metres and the maximum height will be 4 metres, with the extension having a hipped roof which will be tiled.</p> <p>In regards to neighbouring amenity, due to the location of the development on the side of the dwelling, the adjoining neighbour, Number 18 Fourth Avenue will not be able to see the development and therefore Officers do not consider the development to be unneighbourly to this neighbouring dwelling. Further by virtue of distance due to a moderate sized rear garden, Number 50 Philip Avenue is not considered to be impacted by the development in regards to a loss of neighbouring amenity.</p> <p>The importance of maintaining residential amenity to specifically emphasised within Policies BP8 and BP11 of the Local Development Framework Borough Wide Development Policies. Policy DM16 of the Draft Local Plan seeks to ensure that developments minimise impacts in respect of overlooking (loss of privacy and immediate outlook) and overshadowing (loss of daylight and sunlight).</p> <p>Due to the position of the host property on the end of the terrace and the nature of the development proposed. Officers do not consider the development to be unneighbourly to either the adjoining neighbour, No. 18 Fourth Avenue or the neighbour to the rear, No. 50 Philip Avenue. As such the development is considered acceptable.</p>							

Delivering Sustainability	
<i>Does the proposed development promote or enhance biodiversity?</i>	NO
<i>Has established vegetation been preserved or appropriately relocated/mitigated against?</i>	YES
<i>Officer Comment:</i>	<p>The application has not incorporated any proposed biodiversity enhancement measures and the extension will result in the loss of a small portion of grassed area to the side of the property. Whilst there is scope to compensate for such loss and to further improve the biodiversity value of the site, the lack of any compensatory or enhancement measures in this instance would not warrant reason for refusal noting there is still ample garden remaining.</p>

Meeting the Needs of Homeowners

<i>Are all proposed rooms well-lit by daylight and naturally vented through opening windows?</i>	YES
<i>Are the sizes of all proposed rooms appropriate in size for the purpose they are designed for?</i>	YES
<i>Officer Comment:</i>	The proposed extension is intended to rationalise and expand the layout of the existing dwelling through the provision of appropriately sized and lit home extensions.

Other Material Considerations

None.

CONCLUSION

The proposed development of a single storey side extension would respect the character and appearance of the area without having any unacceptable impact on the living conditions of neighbouring properties. The proposal is therefore considered to accord with the Development Plan policies and guidance specified above, and it is recommended that planning permission be granted.

LBBB Reference: 20/01358/HSE

Dilnashin Nawab
169 South Park Drive
ILFORD
IG3 9AD

**TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND) ORDER 2015 (AS
AMENDED)**

Dear Sir / Madam,

Application Number: 20/01358/HSE
Address: 16 Fourth Avenue, Rush Green, Romford, Barking And Dagenham, RM7 0UB
Development Description: ERECTION OF SINGLE STOREY SIDE EXTENSION.

Thank you for your recent application at the above address on which a decision has now been made. The decision on your application is attached. Please carefully read all of the information contained in these documents.

Please quote your application reference number in any correspondence with the Council.

Yours sincerely,

Graeme Cooke

Graeme Cooke
Director of Inclusive Growth
London Borough of Barking and Dagenham

PLANNING DECISION NOTICE

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED) TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND) ORDER 2015 (AS AMENDED)

Agent: Dilnashin Nawab
169 South Park Drive
ILFORD IG3 9AD

Applicant: Bahaa Al-Titi
16, Fourth Avenue
Romford IG3 9AD

PART 1 - PARTICULARS OF THE APPLICATION

Application Number: 20/01358/HSE
Application Type: Householder Planning Permission
Development Description: ERECTION OF SINGLE STOREY SIDE EXTENSION.
Site Address: 16 Fourth Avenue, Rush Green, Romford, Barking And Dagenham, RM7 0UB
Date Received: 03 July 2020
Date Validated: 03 July 2020

PART 2 - PARTICULARS OF THE DECISION

The London Borough of Barking and Dagenham, as Local Planning Authority, in pursuance of its powers under the above mentioned Act, Rules, Orders and Regulations made thereunder, hereby gives notice that PLANNING PERMISSION has been **GRANTED** for the carrying out of the development referred to in PART 1 hereof and as described and shown on the plan(s) and document(s) submitted with the application, subject to the conditions and reasons listed below.

Conditions:

1. The development hereby permitted shall be commenced before the expiration of three years from the date of this permission.

Reason: To comply with the requirements of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The development hereby approved shall only be carried out in accordance with the following approved plans and documents:

- DRAWING: EXISTING AND PROPOSED GROUND FLOOR PLANS - DRAWING NUMBER: J27-1 - REVISION: A - DATED: 14/08/2020
- DRAWING: EXISTING AND PROPOSED FIRST FLOOR PLANS - DRAWING NUMBER: J27-2 - REVISION: A - DATED: 14/08/2020
- DRAWING: EXISTING AND PROPOSED FRONT AND REAR ELEVATIONS - DRAWING NUMBER: J27-3 - REVISION: A - DATED: 14/08/2020
- DRAWING: R.H SIDE ELEVATIONS - DRAWING NUMBER: J27-5 - REVISION: A - DATED: 14/08/2020
- DRAWING: EXISTING AND PROPOSED SITE PLANS - DRAWING NUMBER: J27-1 - REVISION: A - DATED: 14/08/2020
- DRAWING: SITE LOCATION PLAN - DATED: 10/06/2020

No other drawings or documents apply.

Reason: To ensure that the development is undertaken in accordance with the approved drawing(s) and document(s), to ensure that the finished appearance of the development will enhance the character and visual amenities of the area and to satisfactorily protect the residential amenities of nearby occupiers.

3. The materials to be used in the construction of the external surfaces of the development hereby permitted shall match those used in the existing dwellinghouse.

Reason: To ensure that the finished appearance of the development will respect the character and visual amenities of the local area.

Summary of Policies and Reasons:

In deciding to grant planning permission in this instance, Be First, working in partnership the London Borough of Barking and Dagenham, found the proposal to be acceptable following careful consideration of the relevant provisions of the National Planning Policy Framework, the Development Plan and all other relevant material considerations. Upon review, the London Borough of Barking and Dagenham is satisfied that any potential material harm resulting from the proposal's impact on the surrounding area would be reasonably mitigated through compliance with the conditions listed above.

The following policies are of particular relevance to this decision and for the imposition of the abovementioned conditions:

National Planning Policy Framework (NPPF) (MHCLG, February 2019)

The London Plan: Spatial Development Strategy for London (GLA, consolidated with alterations since 2011, published March 2016)

Policy 7.4 - Local Character

Policy 7.5 - Public Realm

Policy 7.6 - Architecture

Draft London Plan (Intend to Publish version, December 2019)

The Mayor of London's Draft London Plan (Intend to Publish version, December 2019) is under Examination. Having regard to NPPF paragraph 48, the emerging document is a material consideration and appropriate weight will be given to its policies and suggested changes in decision-making, unless other material considerations indicate that it would not be reasonable to do so.

Policy D1 - London's Form, Character and Capacity for Growth

Policy D4 - Delivering Good Design

Policy D8 - Public Realm

Local Development Framework (LDF) Core Strategy (July 2010)

Policy CR2 - Preserving and Enhancing the Natural Environment

Policy CP3 - High Quality Built Environment

Local Development Framework (LDF) Borough Wide Development Plan Document (DPD) (March 2011)

Policy BP8 - Protecting Residential Amenity

Policy BP11 - Urban Design

The London Borough of Barking and Dagenham's Draft Local Plan: (Regulation 18 Consultation Version, November 2019)

The London Borough of Barking and Dagenham's Draft Local Plan: (Regulation 18 Consultation Version, November 2019) is at an "early" stage of preparation. Having regard to NPPF paragraph 216 the emerging document is now a material consideration and limited weight will be given to the emerging document in decision-making, unless other material considerations indicate that it would not be reasonable to do so.

Policy SP4 - Delivering High Quality Design in the Borough

Policy DM16 - Householder Extensions and Alterations

Policy DM20 - Nature Conservation and Biodiversity

Supplementary Planning Documents

Residential Extensions and Alterations (SPD) (February 2012)

The above policies can be viewed on the Council's website: www.lbbd.gov.uk/planning.

Working with the applicant:

In dealing with this application, Be First, working in partnership with the London Borough of Barking and Dagenham, has implemented the requirements of the National Planning Policy Framework and of the Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended) to work with the Applicant in a positive and proactive manner. As with all applicants, Be First has made available detailed advice in the form of statutory policies and all other relevant guidance, as well as offering a full pre-application advice service, so as to ensure the applicant has been given every opportunity to submit an application which is likely to be considered favourably.

This development is potentially liable for payment of both the Mayor of London and London Borough of Barking and Dagenham's Community Infrastructure Levies (CIL). Further information about CIL, including the process that must be followed and forms that will be required, can be found on the Council's website: <https://www.lbbd.gov.uk/developer-contributions-cil-and-s106>. CIL forms can be submitted to: S106CIL@befirst.london

DATE OF DECISION: 26/08/2020

Yours sincerely,

Graeme Cooke

Graeme Cooke

Director of Inclusive Growth

London Borough of Barking and Dagenham

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)
Applicant's Rights following the Grant or Refusal of permission

1. Appeals to the Secretary of State

Should you (an applicant/agent) feel aggrieved by the decision of the council to either refuse permission or to grant permission subject to conditions, you can appeal to the Secretary of State for the Department of Communities and Local Government – Section 78 of the Town and Country Planning Act 1990 / Sections 20 and 21 of the Planning (Listed Building and Conservation Areas) Act 1990. Any such appeal must be made within the relevant timescale for the application types noted below, beginning from the date of the decision notice (unless an extended period has been agreed in writing with the council):

- **Six (6) months:** Full application (excluding Householder and Minor Commercial applications), listed building, conservation area consent, Section 73 'variation/removal', Section 73 'minor-material amendment', extension of time and prior approval applications.
- **Twelve (12) weeks:** Householder planning, Householder prior approval and Minor Commercial applications.
- **Eight (8) weeks:** Advertisement consent applications.
- **No timescale:** Certificate of lawful development (existing/proposed) applications.

Where an enforcement notice has been issued the appeal period may be significantly reduced, subject to the following criteria:

- The development proposed by your application is the same or substantially the same as development that is currently the subject of an enforcement notice: **28 days of the date of the application decision.**
- An enforcement notice is served **after the decision on your application** relating to the same or substantially the same land and development as in your application and if you want to appeal against the council's decision you are advised to appeal against the Enforcement Notice and to do so before the Effective Date stated on the Enforcement Notice.

Appeals must be made using the prescribed form(s) of The Planning Inspectorate (PINS) obtained from www.planning-inspectorate.gov.uk or by contacting 03034445000. A copy of any appeal should be sent both to PINS and the council (attn: Planning Appeals Officer).

The Secretary of State can allow a longer period for giving notice of an appeal but will not normally be prepared to use this power unless there are exceptional/special circumstances.

The Secretary of State can refuse to consider an appeal if the council could not have granted planning permission for the proposed development or could not have granted it without the conditions it imposed, having regard to the statutory requirements and provisions of the Development Order and to any direction given under the Order. In practice, it is uncommon for the Secretary of State to refuse to consider appeals solely because the council based its decision on a 'direction given by the Secretary of State'.

2. Subsequent Application Fees

No planning fee would be payable should a revised planning application be submitted within 12 months of the decision. This 'fee waiver' is permitted only where the new application meets the following criteria:

- the applicant is the same as the applicant of the original application
- site boundary is the same as the site boundary of the original application
- the nature of development remains the same.

3. Purchase Notices

Should either the council or the Secretary of State refuse permission or to grant permission subject to conditions, the owner may claim that the land cannot be put to a reasonably beneficial use in its existing state nor through carrying out of any development which has been or could be permitted. In such a case, the owner may serve a purchase notice on the council.

This notice will require the council to purchase the owner's interest in the land in accordance with the provisions of Part IV of the Town and Country Planning Act 1990 and Section 32 of the Planning (Listed Buildings Conservation Areas) Act 1990.

4. Compensation

In certain circumstances compensation may be claimed from the council if permission is refused or granted subject to condition(s) by the Secretary of State on appeal or on reference to the Secretary of State. These circumstances are set out in Section 114 and related provisions of the Town and Country Planning Act 1990 and Section 27 of the Planning (Listed Buildings and Conservation Areas) Act 1990.



Performance Review Sub-Committee

16th February 2021

Sample Selection Number:

500

Application Reference:

20/01483/PRIEXT

Application Description:

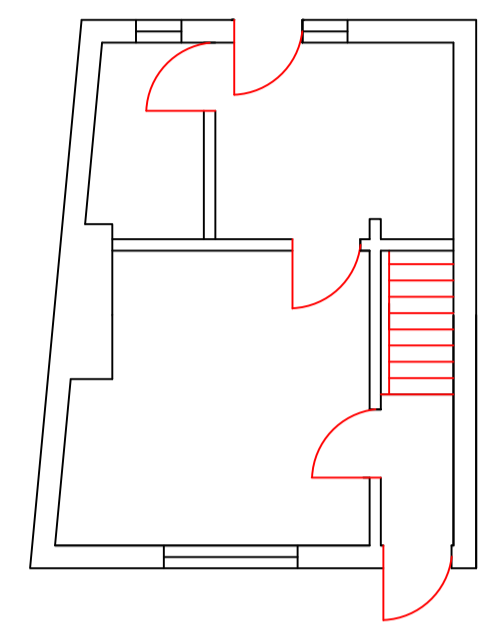
Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 2.65 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.50 metres.

Decision:

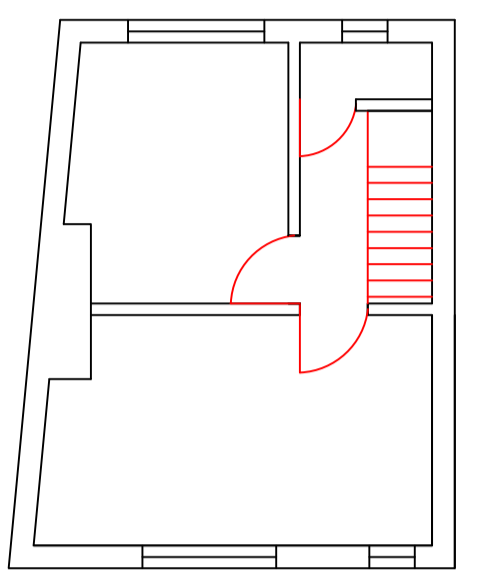
Approved

SCALE BAR 1:100 0 1M 2 3 4 5 6 7 8 9 10M

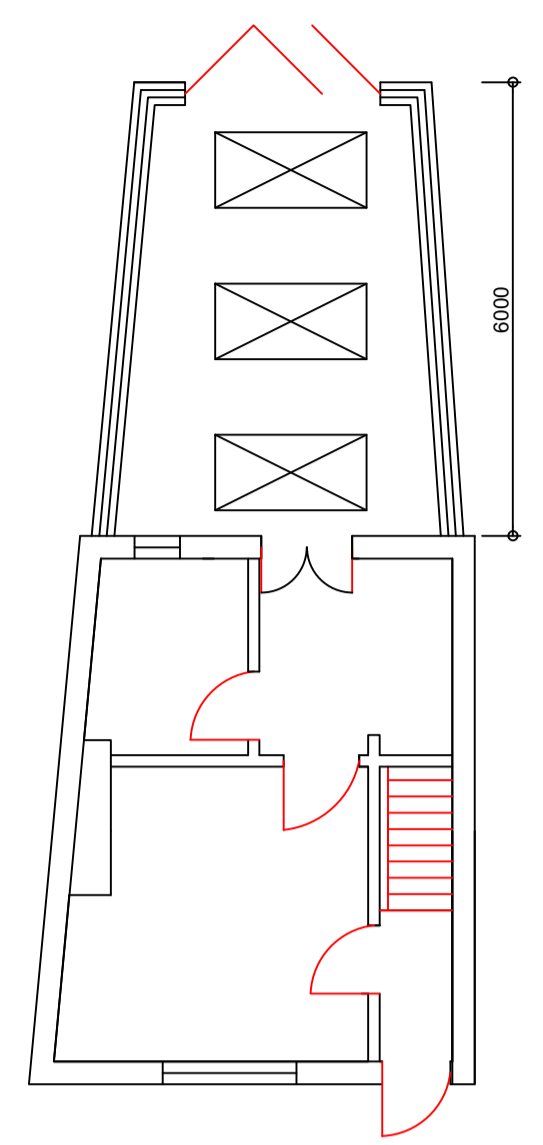
SCALE BAR 1:200 0 2M 4 6 8 10 12 14 16 18 20M



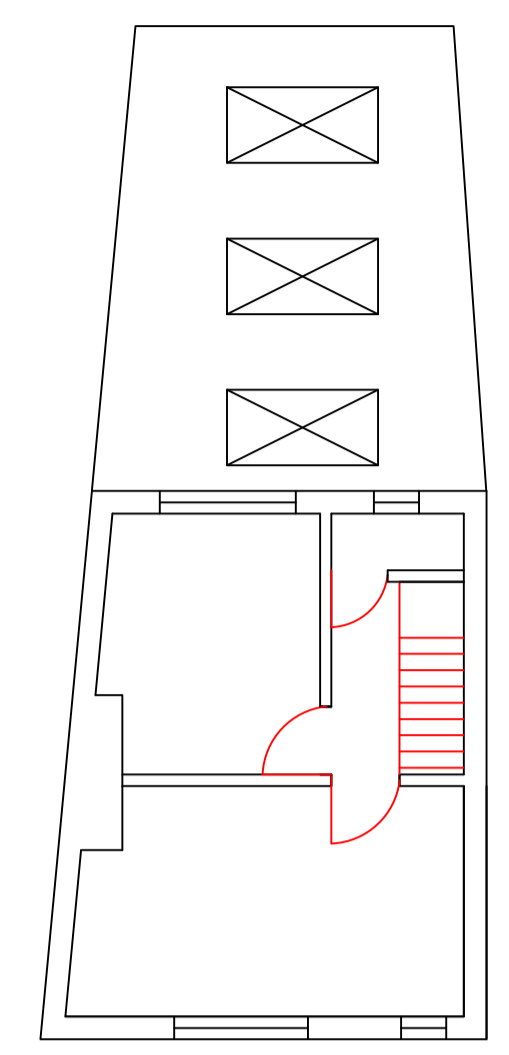
EXISTING GROUND FLOOR PLAN 1:100



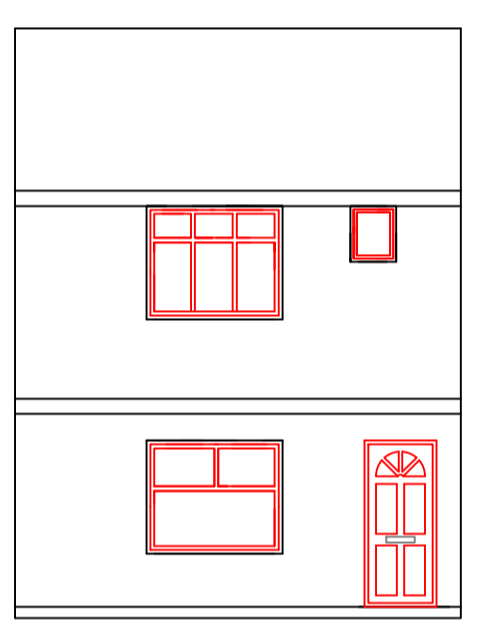
EXISTING FIRST FLOOR PLAN 1:100



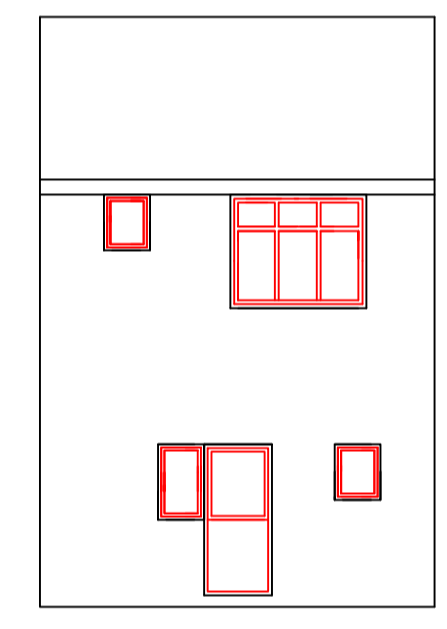
PROPOSED GROUND FLOOR PLAN 1:100



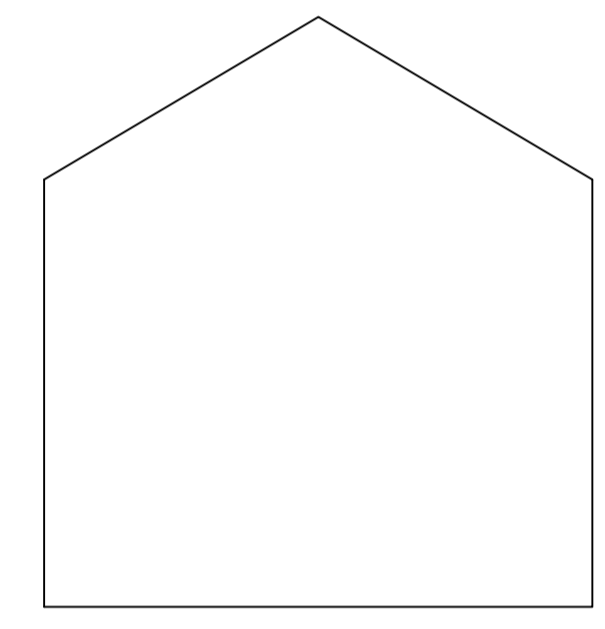
PROPOSED FIRST FLOOR PLAN 1:100



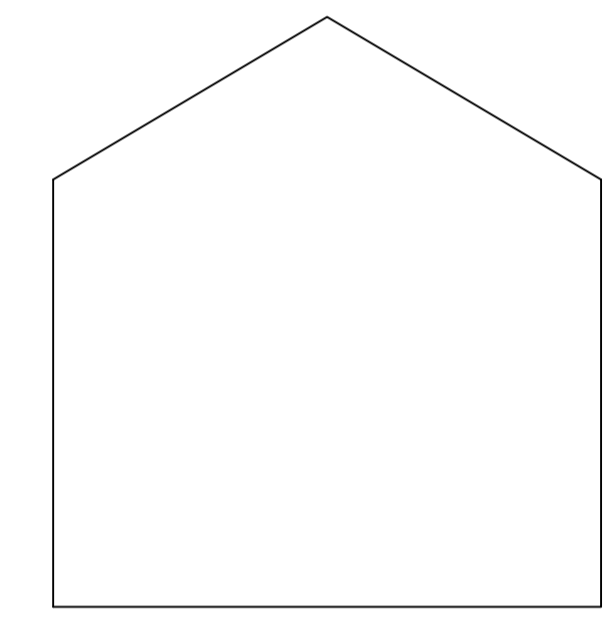
EXISTING FRONT ELEVATION 1:100



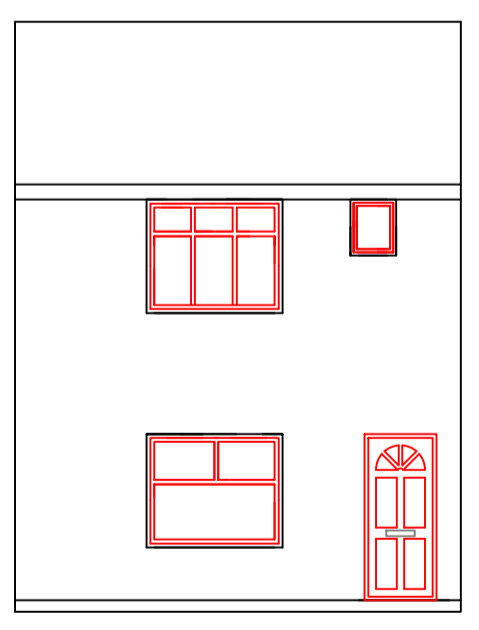
EXISTING REAR ELEVATION 1:100



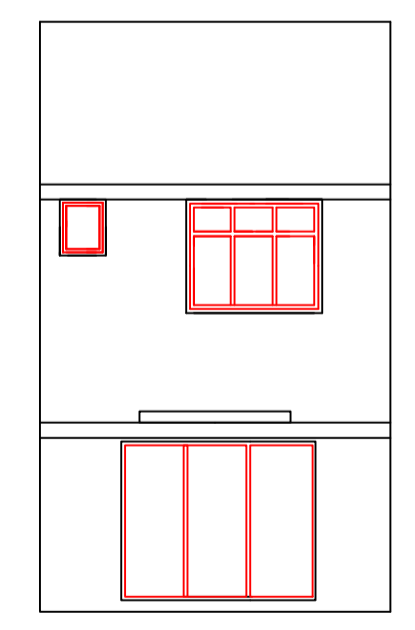
EXISTING SIDE ELEVATION 1:100



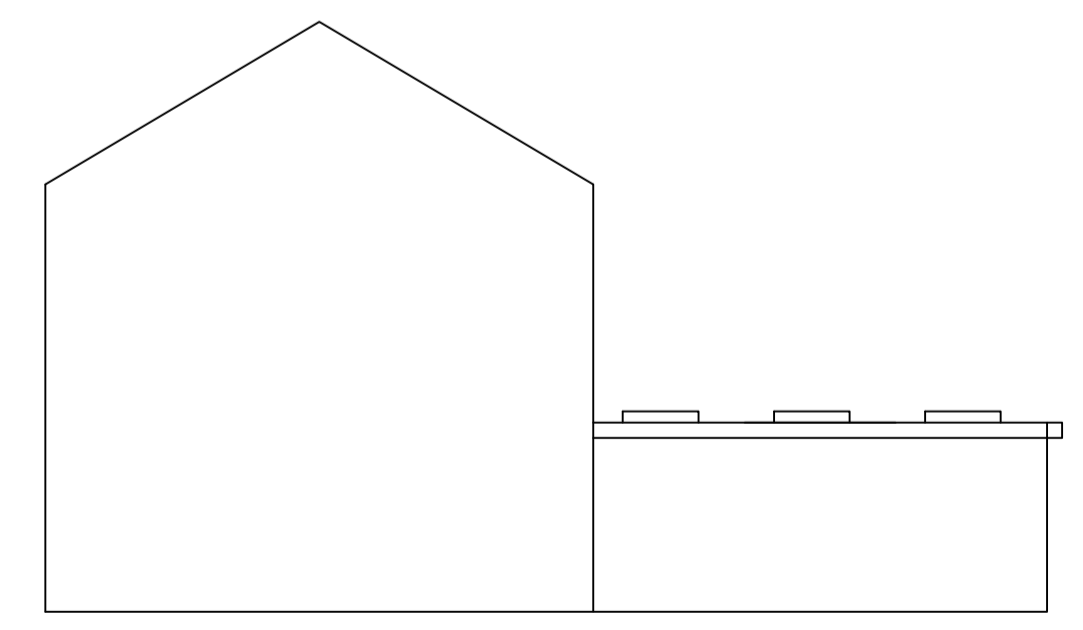
EXISTING SIDE ELEVATION 1:100



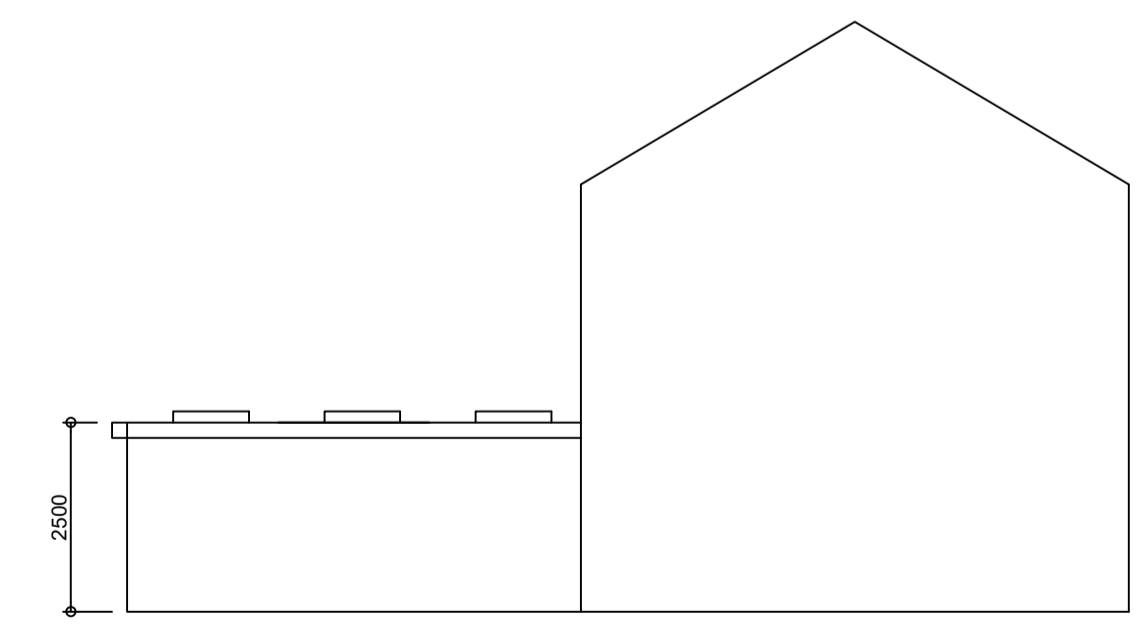
PROPOSED FRONT ELEVATION 1:100



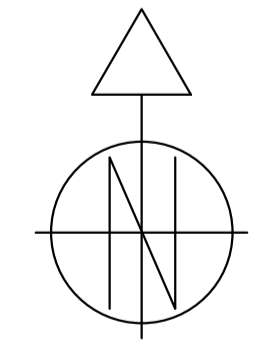
PROPOSED REAR ELEVATION 1:100



PROPOSED SIDE ELEVATION 1:100



PROPOSED SIDE ELEVATION 1:100



SCALE BAR 1:500 0 5M 10 15 20 25 30 35 40 45 50M

SCALE BAR 1:1250 0 10M 20 30 40 50 60 70 80 90 100 110 120M

IOAN-DANIEL TARAN-FANEA 12 NUTBROWNE ROAD DAGENHAM RM9 6BQ	
DRAWING TITLE / DESCRIPTION SINGLE STORY REAR EXTENSION	
DRAWING NO. NR/PL/01A	SCALE : 1:100 ON A1 DATE : 20/07/2020
NOTE : All measurements to be checked on site and not scaled from this drawing.	

Delegated Report

Notification for Prior Approval for a Proposed Larger Home Extension

Case Officer:	Orla Bermingham	Valid Date:	20 July 2020
Officer Recommendation:	Prior Approval Not Required	Expiry Date:	31 August 2020
Application Number:	20/01483/PRIEXT	Recommended Date:	21 July 2020
Address:	12 Nutbrowne Road, Dagenham, Barking And Dagenham, RM9 6BQ		
Proposal:	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 2.65 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.50 metres.		

Neighbour Notification

Address:	Summary of response:
10 Nutbrowne Road, Dagenham, Barking And Dagenham, RM9 6BQ	No response.
14 Nutbrowne Road, Dagenham, Barking And Dagenham, RM9 6BQ	No response.
37 Heathway, Dagenham, Barking And Dagenham, RM9 6AZ	No response.

Relevant Legislation

- The Town and Country Planning Act 1990 (as amended)
- The Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) Schedule 2, Part 1, Class A

ASSESSMENT

A. Dwellinghouse

Is the application site a Dwellinghouse?	YES
--	------------

B. Pre-Commencement & Planning Enforcement

Have works commenced on site (all or in part) in relation to that proposed?	NO
Is the application site the subject of a related enforcement case?	NO

C. Conservation Area (Article 2(3) land)

Is the application site located within a Conservation Area (Article 2(3) land)?	NO
---	-----------

D. Permitted Development Rights

Have the provisions of Schedule 2, Part 1, Class A of The Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) been removed from YES/NO the application site?	NO
--	-----------

E. Application Clarity

Has the developer provided sufficient information to enable the authority to establish whether the proposed development complies with the conditions, limitations or restrictions applicable to development permitted by Class A	YES
--	------------

F. The Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) Schedule 2, Part 1, Class A Criteria

Does the proposed development comply with the conditions, limitations or restrictions of The Town and	
---	--

Country Planning (General Permitted Development) (England) Order 2015 (as amended) Schedule 2, Part 1, Class A?

YES

CONCLUSION

Prior Approval Not Required

Having regard to the proposed development and further to the assessment above, Prior Approval for a 'Proposed Larger Home Extension' is not required.

LBBB Reference: 20/01483/PRIEXT

Taran-Fanea
12 NUTBROWNE ROAD
DAGENHAM
RM9 6BQ

**TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND) ORDER 2015 (AS AMENDED)**

Dear Sir / Madam,

Application Number: 20/01483/PRIEXT
Address: 12 Nutbrowne Road, Dagenham, Barking And Dagenham, RM9 6BQ
Development Description: Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 2.65 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.50 metres.

Thank you for your recent application at the above address on which a decision has now been made. The decision on your application is attached. Please carefully read all of the information contained in these documents.

Please quote your application reference number in any correspondence with the Council.

Yours sincerely,

[Graeme Cooke](#)

Graeme Cooke
Director of Inclusive Growth
London Borough of Barking and Dagenham

PLANNING DECISION NOTICE

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED) TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND) ORDER 2015 (AS AMENDED)

Agent: **Applicant:** Taran-Fanea
12 Nutbrowne Road, Dagenham, Barking
And Dagenham, RM9 6BQ

PART 1 - PARTICULARS OF THE APPLICATION

Application Number: 20/01483/PRIEXT
Application Type: Prior Approval: Larger Home Extension
Development Description: Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 2.65 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.50 metres.
Site Address: 12 Nutbrowne Road, Dagenham, Barking And Dagenham, RM9 6BQ
Date Received: 20 July 2020
Date Validated: 20 July 2020

PART 2 - PARTICULARS OF THE DECISION

The London Borough of Barking and Dagenham, as Local Planning Authority, in pursuance of its powers under the above mentioned Act, Rules, Orders and Regulations made thereunder, hereby gives notice that **PRIOR APPROVAL** is **NOT REQUIRED** for the carrying out of the proposal referred to in PART 1 hereof and as described and shown on the plan(s) and document(s) submitted with the application, subject to the conditions and reasons listed below.

Conditions:

1. The development hereby permitted shall be commenced before the expiration of three years from the date of this permission.

Reason: To comply with the requirements of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The development hereby approved shall only be carried out in accordance with the following approved plans and documents:

- NR/PL/01A - Single Storey Rear Extension - 20/07/2020
- NR/PL/02A - Single Storey Rear Extension - 20/07/2020

No other drawings or documents apply.

Reason: To ensure that the development is undertaken in accordance with the approved drawing(s) and document(s), to ensure that the finished appearance of the development will enhance the character and visual amenities of the area and to satisfactorily protect the residential amenities of nearby occupiers.

3. The materials to be used in the construction of the external surfaces of the development hereby permitted shall match those used in the existing dwellinghouse.

Reason: To ensure that the finished appearance of the development will respect the character and visual amenities of the local area.

Working with the applicant:

In dealing with this application, Be First, working in partnership with the London Borough of Barking and Dagenham, has implemented the requirements of the National Planning Policy Framework and of the Town and Country Planning

(Development Management Procedure) (England) Order 2015 (as amended) to work with the Applicant in a positive and proactive manner. As with all applicants, Be First has made available detailed advice in the form of statutory policies and all other relevant guidance, as well as offering a full pre-application advice service, so as to ensure the applicant has been given every opportunity to submit an application which is likely to be considered favourably.

DATE OF DECISION: 18/08/2020

Yours sincerely,

[Graeme Cooke](#)

Graeme Cooke

Director of Inclusive Growth

London Borough of Barking and Dagenham

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)
Applicant's Rights following the Grant or Refusal of permission

1. Appeals to the Secretary of State

Should you (an applicant/agent) feel aggrieved by the decision of the council to either refuse permission or to grant permission subject to conditions, you can appeal to the Secretary of State for the Department of Communities and Local Government – Section 78 of the Town and Country Planning Act 1990 / Sections 20 and 21 of the Planning (Listed Building and Conservation Areas) Act 1990. Any such appeal must be made within the relevant timescale for the application types noted below, beginning from the date of the decision notice (unless an extended period has been agreed in writing with the council):

- **Six (6) months:** Full application (excluding Householder and Minor Commercial applications), listed building, conservation area consent, Section 73 'variation/removal', Section 73 'minor-material amendment', extension of time and prior approval applications.
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- The development proposed by your application is the same or substantially the same as development that is currently the subject of an enforcement notice: **28 days of the date of the application decision.**
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No planning fee would be payable should a revised planning application be submitted within 12 months of the decision. This 'fee waiver' is permitted only where the new application meets the following criteria:

- the applicant is the same as the applicant of the original application
- site boundary is the same as the site boundary of the original application
- the nature of development remains the same.

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This notice will require the council to purchase the owner's interest in the land in accordance with the provisions of Part IV of the Town and Country Planning Act 1990 and Section 32 of the Planning (Listed Buildings Conservation Areas) Act 1990.

4. Compensation

In certain circumstances compensation may be claimed from the council if permission is refused or granted subject to condition(s) by the Secretary of State on appeal or on reference to the Secretary of State. These circumstances are set out in Section 114 and related provisions of the Town and Country Planning Act 1990 and Section 27 of the Planning (Listed Buildings and Conservation Areas) Act 1990.



Performance Review Sub-Committee

16th February 2021

Sample Selection Number:

600

Application Reference:

20/01586/PRICOM

Application Description:

Application for prior approval telecommunication:
Proposed 18m Phase 8 Monopole C/W wrapround
Cabinet at base and associated ancillary works.

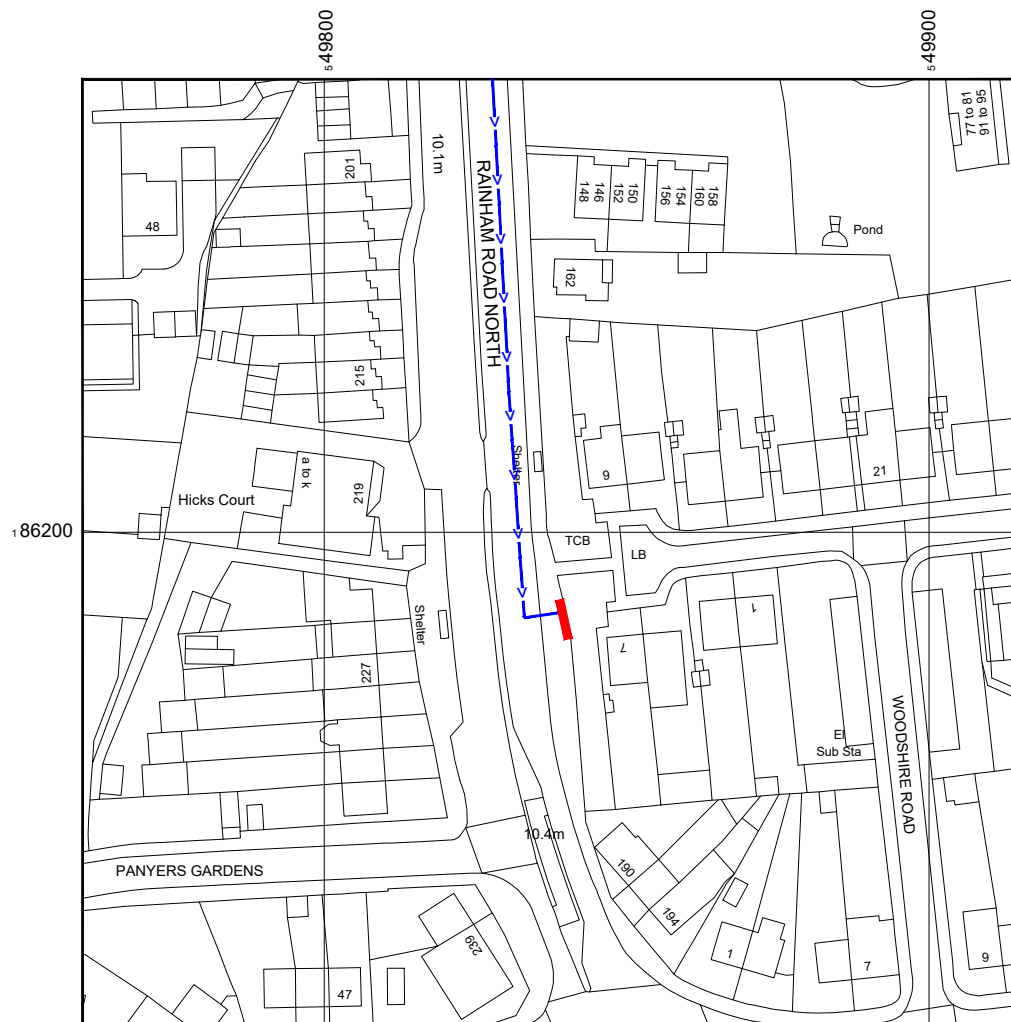
Decision:

Refused

SITE LOCATION



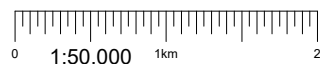
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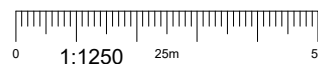
NGR E: 549842 N: 186188

SITE AREA PLAN



SITE PHOTOGRAPH

SITE LOCATION PLAN



GOOGLE MAPS QR CODE

GOOGLE MAPS - <https://goo.gl/maps/JSWMTpu6RAY5jLC87>

GOOGLE STREETVIEW - <https://goo.gl/maps/XayxfniGZVRRYwVB6>

NOTES:

1. ALL DIMENSIONS IN MM UNLESS OTHERWISE NOTED.

DIRECTIONS TO SITE:

Head southwest on M11. At junction 4, Use the left lane to take the A406(S) exit to N Circular/A12/A13. Use the left lane to merge onto N Circular Rd/A406. Use the left 2 lanes to take the A12 ramp to Central London/Stratford/Chelmsford/Romford. At Redbridge Roundabout, take the 2nd exit onto Eastern Ave/A12. At Gants Hill, take the 3rd exit and stay on Eastern Ave/A12. Slight right toward Whalebone Ln N/A1112. Turn right onto Whalebone Ln N/A1112. Turn left onto Wood Ln/A1112/A124. At the roundabout, take the 2nd exit onto Rainham Rd N/A1112. Follow Rainham Rd N and site location is on the left hand side.

Site Provider's Property Boundary:



Access Route To Site:



Access Route:



Master:	MBNL / EE / H3G:	Project:	Purpose of Issue:	Issue:
M001	MBNL	H3G 5G UNILATERAL	Planning	A
Date:	24/07/2020	Revision / Upgrade Description:		
Drawn:	CDN	First Issue - Site nomination dated: TBC		
Checked:	DH			
Approved:	SD			



Hutchison 3G UK Limited
Star House, 20 Grenfell Road
Maidenhead, SL6 1EH
Tel: 01628 765 000
Fax: 01628 765 001

H3G Base Station Information line:
0845 6043000
Available 8am-8pm Monday to Friday

Design Consultant & Principal Contractor:



WHP Telecoms
Unit 1 Maple Park,
Low Fields Avenue, Leeds
LS12 6HH

Tel: 01133023550
e-mail: info@whptelecoms.com

Site Name: SW'S AT RAINHAM ROAD NORTH

Site ID: BAD13317

Address: RAINHAM ROAD NORTH,
BECONTREE HEATH,
LONDON BOROUGH OF BARKING AND
DAGENHAM,
LONDON, RM10 7EJ

Title: 002 SITE LOCATION PLAN

Project: H3G 5G UNILATERAL

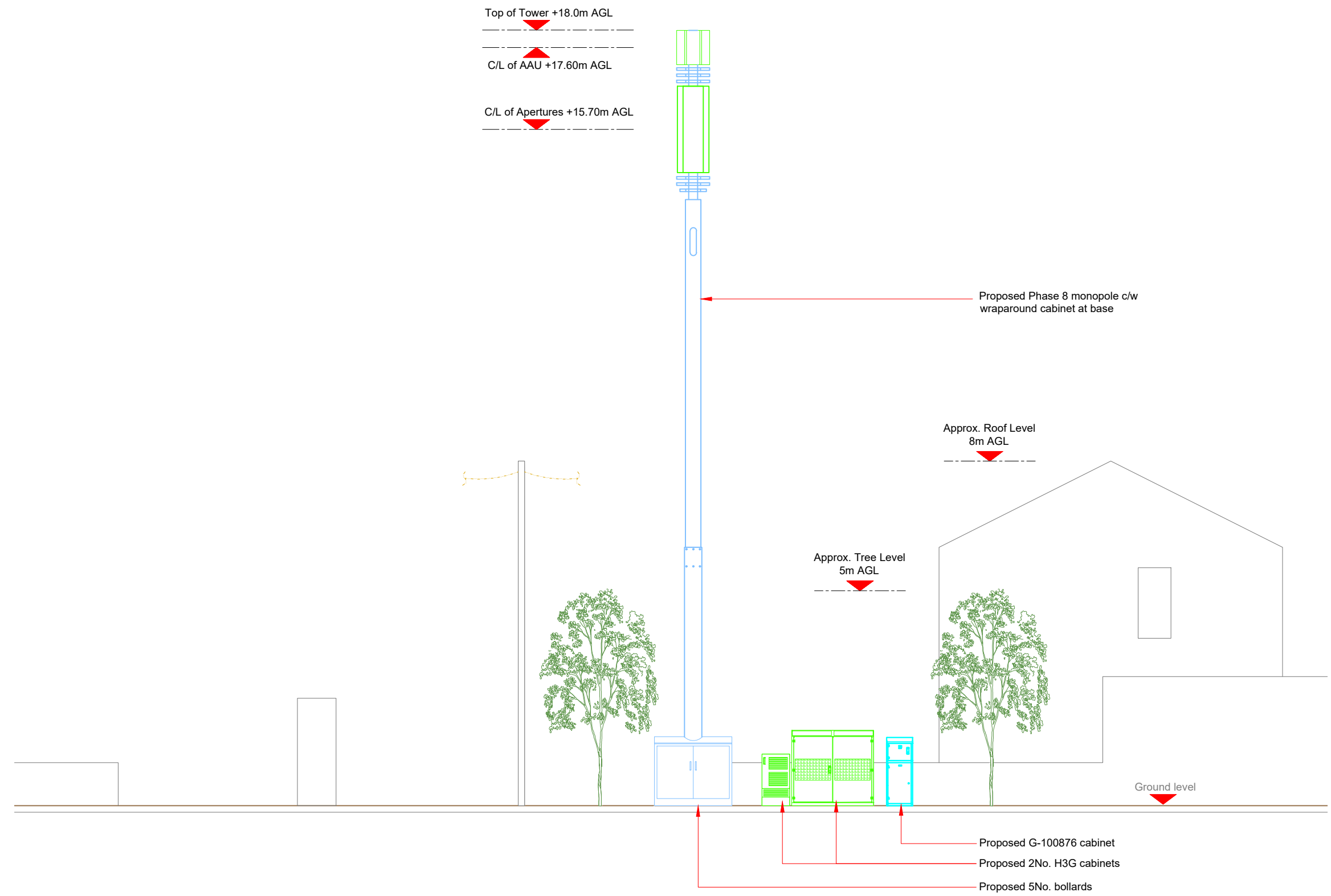
Purpose of Issue: PLANNING

EE Cell ID:	MBNL Cell ID:	3UK Cell ID:
N/A	N/A	N/A

Master Drawing No:	Issue:
BAD13317_M001	A

Antenna Aperture ID	Proposed 4G/5G Bearing	Operator: Shared/EE/H3G
A1	100°	H3G
A2	100°	H3G
B1	220°	H3G
B2	220°	H3G
C1	340°	H3G
C2	340°	H3G

NOTES:
1. ALL DIMENSIONS IN MM UNLESS OTHERWISE NOTED.



Master: M001	MBNL / EE / H3G: MBNL	Project: H3G 5G UNILATERAL	Purpose of Issue: Planning	Issue: A
Date: 24/07/2020	Revision / Upgrade Description: First Issue - Site nomination dated: TBC			
Drawn: CDN	Checked: DH			
Approved: SD				



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 LS12 6HH

Tel: 01133023550
 e-mail: info@whptelecoms.com

Site Name: **SW'S AT RAINHAM ROAD NORTH**

Site ID: **BAD13317**

Address: **RAINHAM ROAD NORTH,
 BECONTREE HEATH,
 LONDON BOROUGH OF BARKING AND
 DAGENHAM,
 LONDON, RM10 7EJ**

Title: **260 PROPOSED H3G ELEVATION**

Project: **H3G 5G UNILATERAL**

Purpose of Issue: **PLANNING**

EE Cell ID: N/A	MBNL Cell ID: N/A	3UK Cell ID: N/A
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Master Drawing No: **BAD13317_M001** Issue: **A**

PROPOSED H3G ELEVATION
 0 1:100 2m 4

Delegated Report

Application for Prior Notification of proposed development by Telecommunications Code System Operators

Case Officer:	Harry Moorhouse	Valid Date:	04 August 2020
Officer Recommendation:	Prior Approval Required and Refused	Expiry Date:	29 September 2020
Application Number:	20/01586/PRICOM	Recommended Date:	16 September 2020
Address:	Rainham Road North, London, RM10 7EJ		
Proposal:	Application for prior approval telecommunication: Proposed 18m Phase 8 Monopole C/W wraparound Cabinet at base and associated ancillary works.		

Planning Constraints

None.

Site, Situation and Relevant Background Information

The application site is located on the outskirts of the Becontree Estate and is proposed along a section of pavement on the eastern side of Rainham Road North. The site is surrounded by residential dwellings to the east and to the west, where the dwellings to the west form part of the Becontree Estate. The site will abut an area of community green space which is rectangular in shape, towards the east, which forms part of the important character and function of the area, providing residents with views of green space and a sense of openness within the local area. The site will be located approximately 7 metres away from the closest residential dwelling, along Woodshire Road.

The proposed development is for a 18 metre high Phase 8 Monopole with a wraparound cabinet at the base and associated ancillary works. In addition to the wraparound cabinet at the base of the mast, the development proposes 2 No. H3G cabinets and 1 No. G-100876 cabinet.

The proposed development is said to be required for H3G Ltd business development to meet its specific technical and operational requirements within the area, to provide improved coverage and capacity, most notably in regards to proposed 5G (fifth generation) services.

Consultations

<i>Consultee:</i>	<i>Date Consulted:</i>	<i>Summary of response:</i>
Be First Transport Development Management	05/08/2020	<p>Introduction The application seeks planning permission for prior approval telecommunication: Proposed 18m Phase 8 Monopole C/W wraparound Cabinet at base and associated ancillary works.</p> <p>Location The equipment that is being installed is located at the back of the footway and does not impede pedestrians passing or causes a hindrance of visibility to vehicle drivers. Therefore, we have no objections.</p> <p>RECOMMENDATION Based on the information provided it is our considered view that there is no apparent adverse highway safety issue or any substantial reason to object.</p>
LBB Environmental Health	05/08/2020	<p>If there will be significant excavation of soil to facilitate this proposal, the following condition is recommended:</p> <p>Prior to the commencement of the development, a scheme shall be submitted to, and approved in writing by, the Local Planning Authority for how material arising from the excavations required as part of this development shall be dealt with (i.e. spoil from the holes dug). The scheme shall be constructed and completed in accordance with the approved specification. All soil disposed of off-site will be carried out in accordance with the developer's duty of care.</p>

Neighbour Notification	
Date Consultation Letter Sent:	05/08/2020 and 13/08/2020
Number of Neighbours Consulted:	81
Address:	Summary of response:
Jon Cruddas MP	- Other locations of the proposed mast would be more appropriate such as Central Park, adjacent to the Fire Station
Councillor Tony Ramsay	- The location of the mast is in a inappropriate place - Thr location is an small piece of green in a residential area and should not be sited outside our residents dwellings as they are quite overwhelming masts and associated equipment. - More appropriate places to locate the installation, towards the corner of Central Park adjacent to the fire station or the corner of the car park. In all cases, we should avoid sall peices of green or land adjacent to residents properties.
5 Woodshire Road	- Visual impact of the mast - Questions surrounding health and safety concerns of the mast
227 Rainham Road North	- Significant height of the mast in relation to the surrounding properties - Devaluing properties. - Health concerns due to proximity to residential dwellings.
217 Rainham Road North	- Visual impact of the mast due to proximity to residential dwelings. - Health concerns
187 Rainham Road North	- Appearance of the mast and visual impact. - Mast would be better located near to the local refuse centre. - Public health concerns
173 Rainham Road North	- Poor choice of location within a built up residential area - Better location towards Central Park within a less residential area - Concerns of anti-social behaviour
161 Rainham Road North	- Concerns over the visual impact of the mast - Poor design of surrounding areas
Address Not Provided	- Health concerns of 5G and concerns due to the presence of this next to residential dwellings and the nearby school.
Address Not Provided	- Poor location due to the proximity to residential dwellings - The mast and cabinets will cause visual impacts. - More suitable locations towards the refuse/business centre along Rainham Road where the impacts to residents will be less.
Address Not Provided	- Comment surrounding not wanting the mast within Rainham Road
Address Not Provided	- Health concerns - Data and Information Privacy Concerns
Address Not Provided	- Views of the communal green obstructed by the mast and cabinets - Location is unsuitable as it is a busy but small communal area used by children and surrounded by two bus stops, a phone box and a post box. - Mast would be better located within a less residential area along Rainham Road, towards the university. - Concerns of anti-social behaviour

Other Comments

Whilst Officers note that several objection comments have been received from neighbouring dwellings, Local Councillors and the Local Member of Parliament, only those discussing aspects which relate to material planning considerations will be considered within this report.

Development Plan Context

The Council has carefully considered the relevant provisions of the Council's adopted development plan and of all other relevant policies and guidance. Of particular relevance to this decision were the following Framework and Development Plan policies and guidance:

National Planning Policy Framework (NPPF) (MHCLG, Feb 2019)	Paragraphs 112-116: Supporting High Quality Communications
The London Plan: Spatial Development Strategy for London (GLA, consolidated with alterations since 2011, published March 2016)	Policy 4.11 - Encouraging a Connected Economy Policy 7.4 - Local Character Policy 7.5 - Public Realm Policy 7.6 - Architecture

The Mayor of London's Draft London Plan - Intend to Publish version December 2019 is under Examination. Having regard to NPPF paragraph 48 the emerging document is a material consideration and appropriate weight will be given to its policies and

suggested changes in decision-making, unless other material considerations indicate that it would not be reasonable to do so.

Draft London Plan (Intend to Publish version December 2019)	Policy D1 - London's Form, Character and Capacity for Growth Policy D4 - Delivering Good Design Policy SI6 - Digital Connectivity Infrastructure
Local Development Framework (LDF) Core Strategy (July 2010)	Policy CP3 - High Quality Built Environment
Local Development Framework (LDF) Borough Wide Development Plan Document (DPD) (March 2011)	Policy BC12 - Telecommunications Policy BP8 - Protecting Residential Amenity Policy BP11 - Urban Design
<i>The London Borough of Barking and Dagenham's Draft Local Plan: (Regulation 18 Consultation Version, November 2019) is at an "early" stage of preparation. Having regard to NPPF paragraph 216 the emerging document is now a material consideration and limited weight will be given to the emerging document in decision-making, unless other material considerations indicate that it would not be reasonable to do so.</i>	
The London Borough of Barking and Dagenham's Draft Local Plan (Regulation 18 Consultation Version, November 2019)	Policy SP4 - Delivering High Quality Design in the Borough Policy DM11 - Responding to Place Policy DM30 - Smart Utilities

Relevant Legislation

- The Town and Country Planning Act 1990 (as amended)
- The Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) Schedule 2, Part 16

ASSESSMENT

The applicant has submitted evidence that they are a registered electronic code operator for the purposes of Schedule 2, Part 16, Class A of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended). This is accepted by the Council.

The Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) Schedule 2, Part 16 Criteria

<i>Does the proposed development comply with the relevant conditions, limitations or restrictions of Part 1, Class A of Schedule 2 to The Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended)?</i>	YES
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Siting of the proposed development

<i>Does the siting of the proposed development interfere with highway or pedestrian safety?</i>	NO
<i>Is the siting of the proposed development considered acceptable?</i>	NO

<i>Officer Comment:</i>	<p>The application site is located on the outskirts of the Becontree Estate and is proposed along a section of pavement on the eastern side of Rainham Road North. The site is surrounded by residential dwellings to the east and to the west, where the dwellings to the west form part of the Becontree Estate. The site will abut an area of community green space which is rectangular in shape, towards the east.</p> <p>The proposed development is for a 18 metre high Phase 8 Monopole with a wraparound cabinet at the base and associated ancillary works. In addition to the wraparound cabinet at the base of the mast, the development proposes 2 No. H3G cabinets and 1 No. G-100876 cabinet. The installation will be located to the rear of the pavement, where the existing pavement width is approximately 4.1 metres, which, following the installation, will reduce to approximately 3.1 metres. The area covered with equipment will extend approximately 6 metres along the length of the footway with a depth of approximately 0.8 metres.</p> <p>Following a consultation with Be First Transport Development Management, Officers do not consider the proposal to implicate the free flow of pedestrians along the pavement nor would it cause any other obstructions for pedestrians, cyclists and motorists along Rainham Road North and based on the information provided, they do not consider any apparent adverse highway safety issue or any substantial reason to object. Following the public consultation, comments have been received concerning the presence of a public telephone box and a post box within close proximity to the proposed installation site which, when combined with the installation will cause problems as the area gets busy. Officers understand that the development will introduce a number of additions which will reduce the width of the available footway. However, due to the width of the pavement remaining, being over 3 metres, Officers do not consider it to interfere with public or highway safety. Despite this, Officers do not consider the siting to be acceptable due to its location within a residential area and that it will introduce several large pieces of equipment within this area, increasing the amount of street clutter to an unacceptable level. The importance of appropriate siting is emphasised by Policy BC12 of the Borough Wide</p>
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Development Plan Document (2011) which states telecommunications are only allowed where the siting does not adversely affect the character or appearance of the surrounding area, does not result in an unacceptable level of clutter and is not visually intrusive in the street scene. Officers note that the installation will be clearly visible and prominent within the street scene and will be viewed by road users and pedestrians along Rainham Road North, the introduction of several new cabinets and a mast of this height will be visually intrusive and as such the siting is considered unacceptable.

Officers consider the proposed siting to be unacceptable due to the location of the site and introduction of an unacceptable amount of street clutter. As such the installation is contrary to The National Planning Policy Framework (NPPF) (MHCLG, February 2019); Policies 4.11, 7.4, and 7.5 of The London Plan: Spatial Development Strategy for London (GLA, consolidated with alterations since 2011, published March 2016); Policies D1 and SI 6 of the Draft London Plan - Intend to Publish version December 2019; Policy CP3 of the Local Development Framework (LDF) Core Strategy (July 2010); Policies BP8, BP11 and BC12 of the Local Development Framework (LDF) Borough Wide Development Plan Document (DPD) (March 2011) and Policies SP4, DM11 and DM30 of the London Borough of Barking and Dagenham's Draft Local Plan: (Regulation 18 Consultation Version, November 2019).

Appearance of the proposed development

<i>Does the appearance of the proposed development respect existing local character?</i>	NO
<i>Is the appearance of the proposed development considered acceptable?</i>	NO

The application site is located on the outskirts of the Becontree Estate and is proposed along a section of pavement on the eastern side of Rainham Road North. The site is surrounded by residential dwellings to the east and to the west, where the dwellings to the west form part of the Becontree Estate. The site will abut an area of community green space which is rectangular in shape, towards the east, which forms part of the important character and function of the area, providing residents with views of green space and a sense of openness within the local area.

The importance of well designed and located developments is outlined within The London Plan (2016), Policies 7.4, 7.5 and 7.6 which highlight the importance of developments having regard to the form and structure of an area, that London's public spaces should be accessible and incorporate the highest quality design and street furniture and that buildings and structures should make a positive contribution to a coherent public realm. The Draft London Plan (2019), Policy D1, D4 and SI6 concerns the importance in identifying areas of value and the consideration of the urban form and structure, open space networks and the local character and that the public realm should be used effectively to accommodate well designed and suitably located mobile digital infrastructure.

Barking and Dagenham's Local Development Framework (LDF) Core Strategy (July 2010), Policy CP3 highlights that all development should respect the local character and consider the impact on the public realm. The Local Development Framework (LDF) Borough Wide Development Plan Document (DPD) (March 2011), Policy BP8 outlines that development should have regard to the local character of the area and BP11 sets out that development should protect or enhance the character and amenity of the area and provide public spaces which are attractive, uncluttered and respect the local context and urban and landscape character of the area. Finally, the London Borough of Barking and Dagenham's Draft Local Plan (Regulation 18 Consultation Version, November 2019) Policy SP4, supports delivering high quality design and Policy DM11, responding to place, states all new development should make a positive contribution to the surrounding character of an area.

Based on a consideration of the policies outlined above, the proposed development does not seek to respect, protect nor enhance the character of the area. The proposed addition will include an 18 metre monopole with a wraparound cabinet at the base, three other cabinets and associated ancillary works. An addition of this size, which will exceed the height of the buildings within this area by approximately 10 meters and in a location which is overlooked by a number of residential dwellings along Rainham Road North would not be acceptable or a respectful addition to the streetscene or the local area. The importance of a well designed public realm, which protects the character and amenity of an area is emphasised by the development plan policies outlined above, which this proposal does not seek to uphold. Officers consider the proposed development acceptable due to the stark appearance of the installation, something highlighted by several of the neighbouring comments which Officers empathise with, due to both the size of the mast and the number and sizes of the associated cabinets which will be constructed increasing the amount of street clutter to an unacceptable level. Further, as emphasised by the development plan, all development should contribute to the character and amenity of the local area and provide public spaces which are attractive, uncluttered and respect the local context and character of the area. Officers do not consider the development to maintain an attractive and functioning piece of green space, instead the development is considered to detract from the appearance and function of this piece of community green space which is essential for the local residents.

Officer Comment:

The proposed wraparound cabinet itself will have a height of 1.6 metres and a width of 1.8 metres, the proposed G-100876 cabinet will measure 1.6 metres high and 0.6 metres wide. The largest of the two H3G cabinets will have a height of 1.75 metres and a width of 1.9 metres. The monopole itself, above the wraparound cabinet will have a width of around 0.4 metres up to a height of approximately 14 metres where the width increases to 0.8 metres due to the presence of the antennas. These several new additions is considered unacceptable within this location. Officers consider the proposed additions to further compromise the nature and openness of the grassed area, being detrimental to the character and appearance of the area.

As outlined by several of the comments received by local residents, local Councillors and a local MP, and from the view of Officers, the location of this development is inappropriate for an installation of this type within such close proximity to local residential dwellings and next to an area of community open space which should be protected and its accessibility and attractiveness maintained. As highlighted within many of the comments received in regards to this application, the location of the development is considered to be more appropriate further towards the north of the site within areas which are less residential.

As such, the proposed development is considered unacceptable based on its appearance and will be a visually discordant and obtrusive feature in the streetscene that will harm the character and appearance of the area. Officers consider the appearance of the proposal is to be contrary to The National Planning Policy Framework (NPPF) (MHCLG, February 2019); Policies 4.11, 7.4, 7.5 and 7.6 of The London Plan: Spatial Development Strategy for London (GLA, consolidated with alterations since 2011, published March 2016); Policies D1, D4 and SI 6 of the Draft London Plan - Intend to Publish Version December 2019; Policy CP3 of the Local Development Framework (LDF) Core Strategy (July 2010); Policies BP8, BP11 and BC12 of the Local Development Framework (LDF) Borough Wide Development Plan Document (DPD) (March 2011) and Policies SP4, DM11 and DM30 of the London Borough of Barking and Dagenham's Draft Local Plan: (Regulation 18 Consultation Version, November 2019).

CONCLUSION

Prior Approval Required and Refused

The proposed development is for the installation of a 18 metre high phase 8 monopole c/w a wraparound cabinet at the base alongside 2 No. H3G cabinets and 1 No. G-100876 cabinet is unacceptable in regards to both its siting and appearance. The location of the installation along a section of public footpath next to an area of public green space and in close proximity to residential dwellings is considered unacceptable and will be a visually discordant and obtrusive feature in the street scene, that will harm the character and appearance of the area and the area of open space. Further it will introduce an unacceptable amount of street clutter within the immediate surrounding area. As such the installation is contrary to:

- The National Planning Policy Framework (NPPF) (MHCLG, February 2019);
- Policies 4.11, 7.4, 7.5 and 7.6 of The London Plan: Spatial Development Strategy for London (GLA, consolidated with alterations since 2011, published March 2016);
- Policies D1, D4 and SI 6 of the Draft London Plan - Intend to Publish version December 2019;
- Policy CP3 of the Local Development Framework (LDF) Core Strategy (July 2010);
- Policies BP8, BP11 and BC12 of the Local Development Framework (LDF) Borough Wide Development Plan Document (DPD) (March 2011) and
- Policies SP4, DM11 and DM30 of the London Borough of Barking and Dagenham's Draft Local Plan: (Regulation 18 Consultation Version, November 2019).

LBBB Reference: 20/01586/PRICOM

Sam Wismayer
Troy Mills, Helena House
Leeds
LS18 5GN

**TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND) ORDER 2015 (AS
AMENDED)**

Dear Sir / Madam,

Application Number: 20/01586/PRICOM
Address: Rainham Road North, London , RM10 7EJ
Development Description: Application for prior approval telecommunication: Proposed 18m Phase 8 Monopole C/W wrapround Cabinet at base and associated ancillary works.

Thank you for your recent application at the above address on which a decision has now been made. The decision on your application is attached. Please carefully read all of the information contained in these documents.

Please quote your application reference number in any correspondence with the Council.

Yours sincerely,

[Graeme Cooke](#)

Graeme Cooke
Director of Inclusive Growth
London Borough of Barking and Dagenham

PLANNING DECISION NOTICE

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED) TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND) ORDER 2015 (AS AMENDED)

Agent: Sam Wismayer
Troy Mills, Helena House
Leeds LS18 5GN

Applicant: HUTCHISON 3G UK LTD
Star House
Maidenhead LS18 5GN

PART 1 - PARTICULARS OF THE APPLICATION

Application Number: 20/01586/PRICOM
Application Type: Prior Approval: Development for electronic communications network
Development Description: Application for prior approval telecommunication: Proposed 18m Phase 8 Monopole C/W wraparound Cabinet at base and associated ancillary works.
Site Address: Rainham Road North, London , RM10 7EJ
Date Received: 04 August 2020
Date Validated: 04 August 2020

PART 2 - PARTICULARS OF THE DECISION

The London Borough of Barking and Dagenham, as Local Planning Authority, in pursuance of its powers under the above mentioned Act, Rules, Orders and Regulations made thereunder, hereby gives notice that PRIOR APPROVAL is **REQUIRED AND REFUSED** for the carrying out of the proposal referred to in PART 1 hereof and as described and shown on the plan(s) and document(s) submitted with the application, for the reason(s) listed below.

Reason(s):

1. The proposed development the installation of a 18 metre high phase 8 monopole c/w a wraparound cabinet at the base alongside 2 No. H3G cabinets and 1 No. G-100876 cabinet is unacceptable in regards to both its siting and appearance. The location of the installation along a section of public footpath next to an area of public green space and in close proximity to residential dwellings is unacceptable and will be a visually discordant and obtrusive feature in the street scene, that will harm the character and appearance of the area and the area of open space. Further it will introduce an unacceptable amount of street clutter within the immediate surrounding area. As such the installation is contrary to:

- The National Planning Policy Framework (NPPF) (MHCLG, February 2019);
- Policies 4.11, 7.4, 7.5 and 7.6 of The London Plan: Spatial Development Strategy for London (GLA, consolidated with alterations since 2011, published March 2016);
- Policies D1, D4 and SI 6 of the Draft London Plan - Intend to Publish version December 2019;
- Policy CP3 of the Local Development Framework (LDF) Core Strategy (July 2010);
- Policies BP8, BP11 and BC12 of the Local Development Framework (LDF) Borough Wide Development Plan Document (DPD) (March 2011) and
- Policies SP4, DM11 and DM30 of the London Borough of Barking and Dagenham's Draft Local Plan: (Regulation 18 Consultation Version, November 2019).

Informative(s):

1. The application hereby refused has been considered against the following plan(s) and/or document(s) submitted with the application:

- DRAWING: 002 SITE LOCATION PLAN - REVISION A - DATED: 24/07/2020
- DRAWING: 210 PROPOSED H3G SITE PLAN - REVISION A - DATED: 24/07/2020
- DRAWING: 260 PROPOSED H3G ELEVATION - REVISION A - DATED: 24/07/2020
- DRAWING: 303 PROPOSED H3G ANTENNA SCHEDULE & LINE CONFIGURATION - REVISION A - DATED: 24/07/2020
- DRAWING: 305 EQUIPMENT SCHEDULE & SUPPORT STRUCTURE DETAILS - REVISION A - DATED: 24/07/2020

Working with the applicant:

In dealing with this application, Be First, working in partnership with the London Borough of Barking and Dagenham, has implemented the requirements of the National Planning Policy Framework and the Town and Country Planning (Development Management Procedure) (England) Order 2015 to work with the applicant in a positive and proactive manner based on seeking solutions to problems arising in relation to dealing with the planning application. As with all applicants, Be First has made available detailed advice in the form of statutory policies and all other relevant guidance, as well as offering a full pre-application advice service, so as to ensure the applicant has been given every opportunity to submit an application which is likely to be considered favourably. The necessary amendments to make the application acceptable are substantial and would materially change the proposal. They would require further consultations to be undertaken prior to determination, which could not take place within the statutory determination period specified by the Department of Communities and Local Government. You are therefore encouraged to consider submission of a fresh application incorporating material amendments such as to satisfactorily address the reasons for refusal attached.

DATE OF DECISION: 18/09/2020

Yours sincerely,

[Graeme Cooke](#)

Graeme Cooke

Director of Inclusive Growth

London Borough of Barking and Dagenham

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)
Applicant's Rights following the Grant or Refusal of permission

1. Appeals to the Secretary of State

Should you (an applicant/agent) feel aggrieved by the decision of the council to either refuse permission or to grant permission subject to conditions, you can appeal to the Secretary of State for the Department of Communities and Local Government – Section 78 of the Town and Country Planning Act 1990 / Sections 20 and 21 of the Planning (Listed Building and Conservation Areas) Act 1990. Any such appeal must be made within the relevant timescale for the application types noted below, beginning from the date of the decision notice (unless an extended period has been agreed in writing with the council):

- **Six (6) months:** Full application (excluding Householder and Minor Commercial applications), listed building, conservation area consent, Section 73 'variation/removal', Section 73 'minor-material amendment', extension of time and prior approval applications.
- **Twelve (12) weeks:** Householder planning, Householder prior approval and Minor Commercial applications.
- **Eight (8) weeks:** Advertisement consent applications.
- **No timescale:** Certificate of lawful development (existing/proposed) applications.

Where an enforcement notice has been issued the appeal period may be significantly reduced, subject to the following criteria:

- The development proposed by your application is the same or substantially the same as development that is currently the subject of an enforcement notice: **28 days of the date of the application decision.**
- An enforcement notice is served **after the decision on your application** relating to the same or substantially the same land and development as in your application and if you want to appeal against the council's decision you are advised to appeal against the Enforcement Notice and to do so before the Effective Date stated on the Enforcement Notice.

Appeals must be made using the prescribed form(s) of The Planning Inspectorate (PINS) obtained from www.planning-inspectorate.gov.uk or by contacting 03034445000. A copy of any appeal should be sent both to PINS and the council (attn: Planning Appeals Officer).

The Secretary of State can allow a longer period for giving notice of an appeal but will not normally be prepared to use this power unless there are exceptional/special circumstances.

The Secretary of State can refuse to consider an appeal if the council could not have granted planning permission for the proposed development or could not have granted it without the conditions it imposed, having regard to the statutory requirements and provisions of the Development Order and to any direction given under the Order. In practice, it is uncommon for the Secretary of State to refuse to consider appeals solely because the council based its decision on a 'direction given by the Secretary of State'.

2. Subsequent Application Fees

No planning fee would be payable should a revised planning application be submitted within 12 months of the decision. This 'fee waiver' is permitted only where the new application meets the following criteria:

- the applicant is the same as the applicant of the original application
- site boundary is the same as the site boundary of the original application
- the nature of development remains the same.

3. Purchase Notices

Should either the council or the Secretary of State refuse permission or to grant permission subject to conditions, the owner may claim that the land cannot be put to a reasonably beneficial use in its existing state nor through carrying out of any development which has been or could be permitted. In such a case, the owner may serve a purchase notice on the council.

This notice will require the council to purchase the owner's interest in the land in accordance with the provisions of Part IV of the Town and Country Planning Act 1990 and Section 32 of the Planning (Listed Buildings Conservation Areas) Act 1990.

4. Compensation

In certain circumstances compensation may be claimed from the council if permission is refused or granted subject to condition(s) by the Secretary of State on appeal or on reference to the Secretary of State. These circumstances are set out in Section 114 and related provisions of the Town and Country Planning Act 1990 and Section 27 of the Planning (Listed Buildings and Conservation Areas) Act 1990.



Performance Review Sub-Committee

16th February 2021

Sample Selection Number:

651

Application Reference:

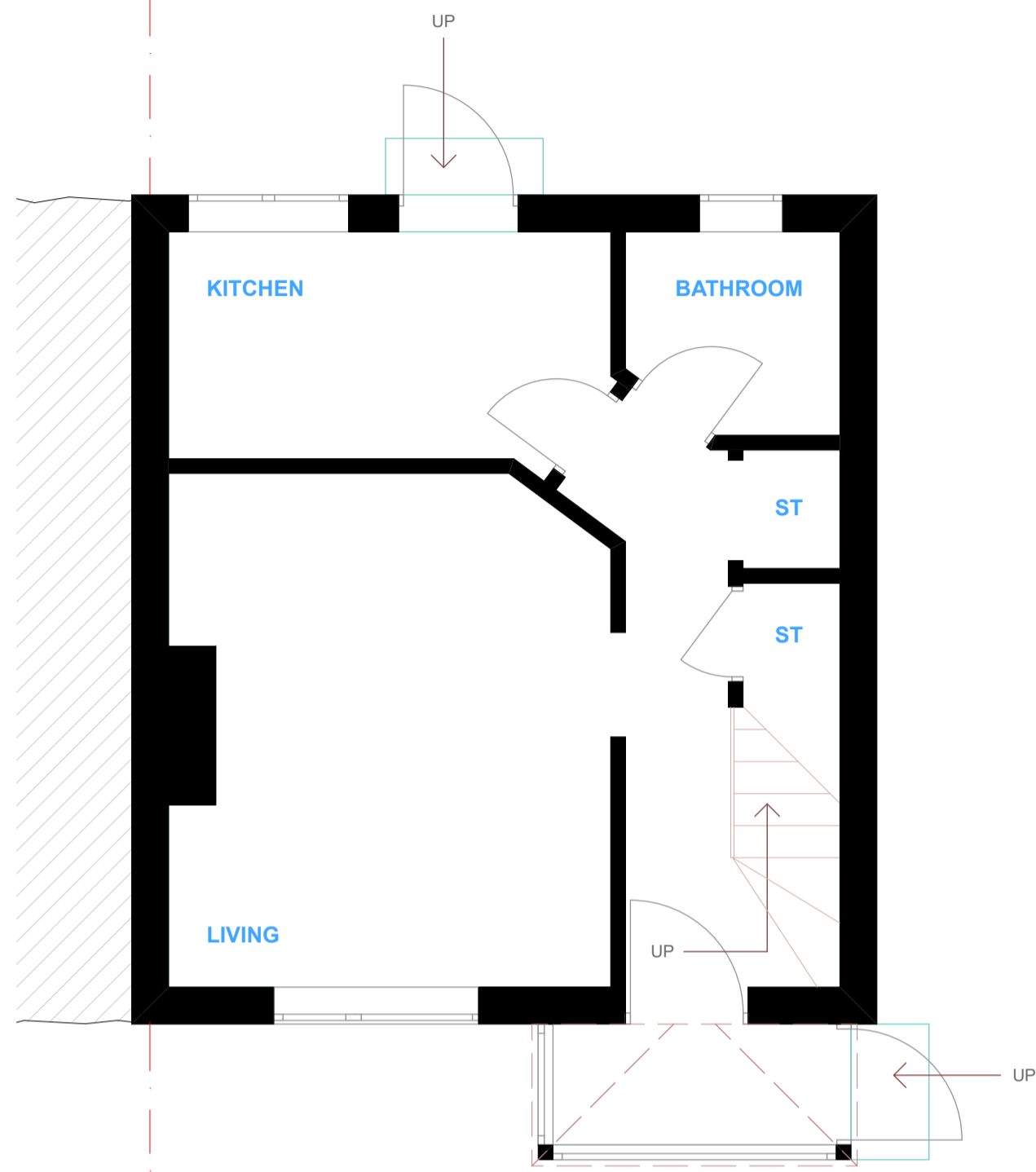
20/01639/HSE

Application Description:

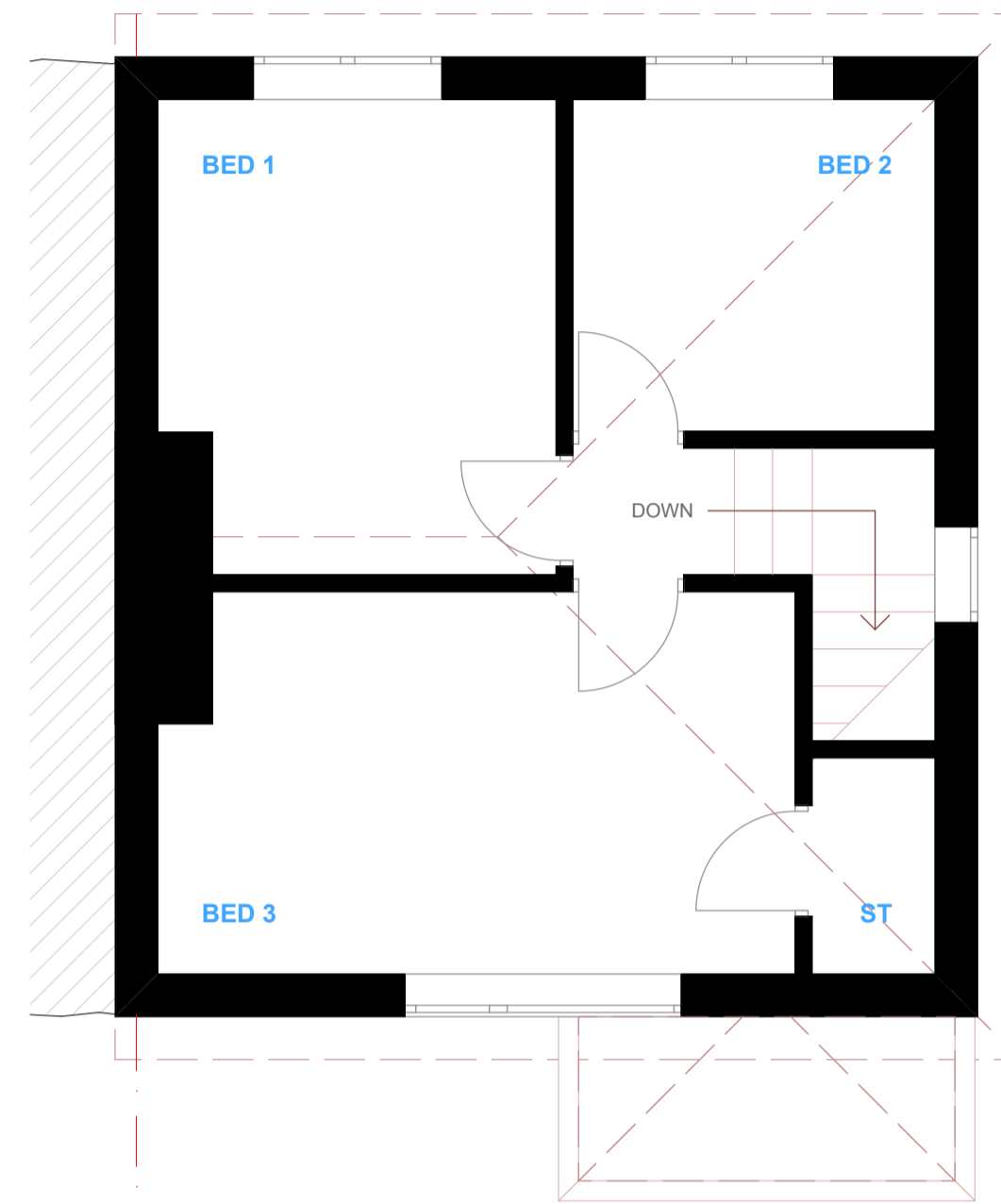
Construction of a single storey rear and front extension and a two storey side extension and the construction of a rear dormer extension including two roof lights to the front to facilitate conversion of roof space into habitable accommodation.

Decision:

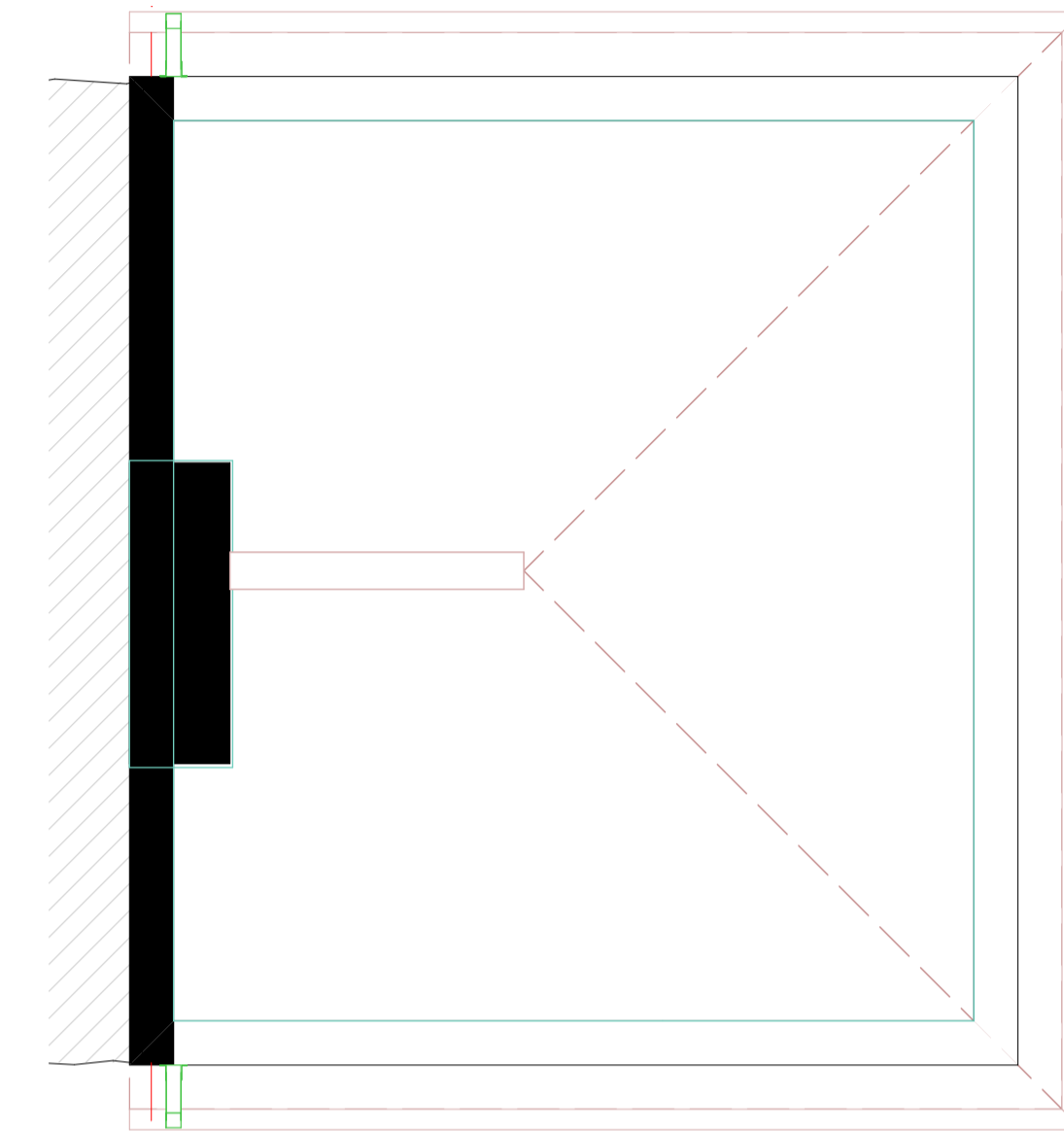
Approved



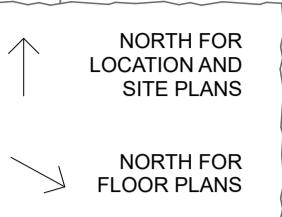
GROUND



FIRST



LOFT

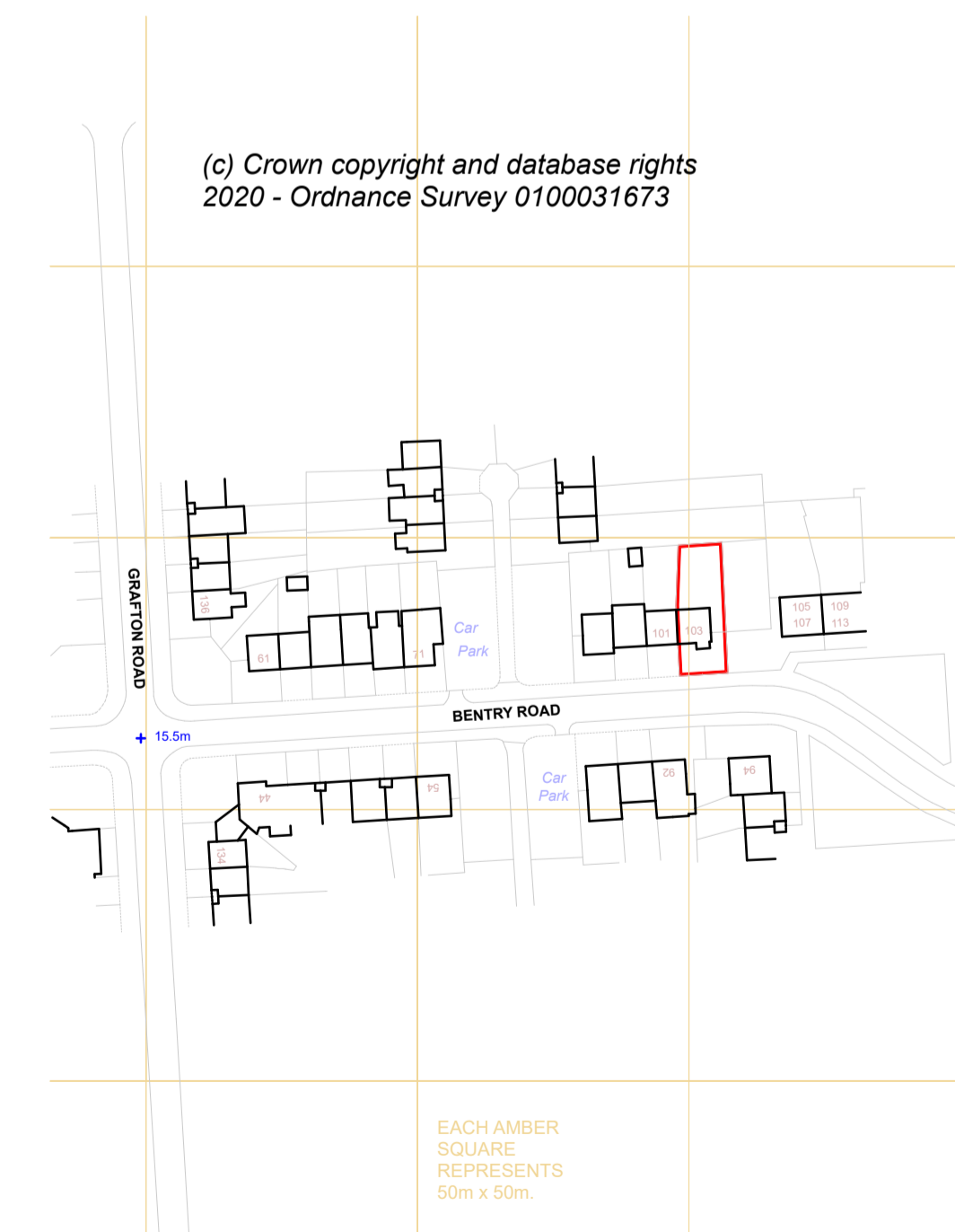


REVISIONS

EXISTING GROUND FLOOR PLAN - SCALE 1:50 @ A1



EXISTING ELEVATIONS - SCALE 1:100 @ A1



EXISTING LOCATION PLAN - SCALE 1:1250 @ A1

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Before commencement of the works the contractor must check and verify all buildings and site conditions and levels, all relevant sewer outlets, level levels and connection points.

This drawing must be read in conjunction with and checked against all structural, specialist and detail, layout and engineering drawings.

The contractor must satisfy himself with the accuracy of the site investigation information and should ensure that adequate foundations appropriate to the ground conditions are used for any part of the works.

This drawing should not be relied upon to give information on ground conditions and foundations.

The Contractor is to carry out the work in compliance with the Building Regulations, relevant current British Standards.

DRAWING INFORMATION

project stage

Planning Application

property address

103 Bentry Road
Dagenham
RM8 3PJ

date:
July 2020

drawing number:
103BR - PA-01/01

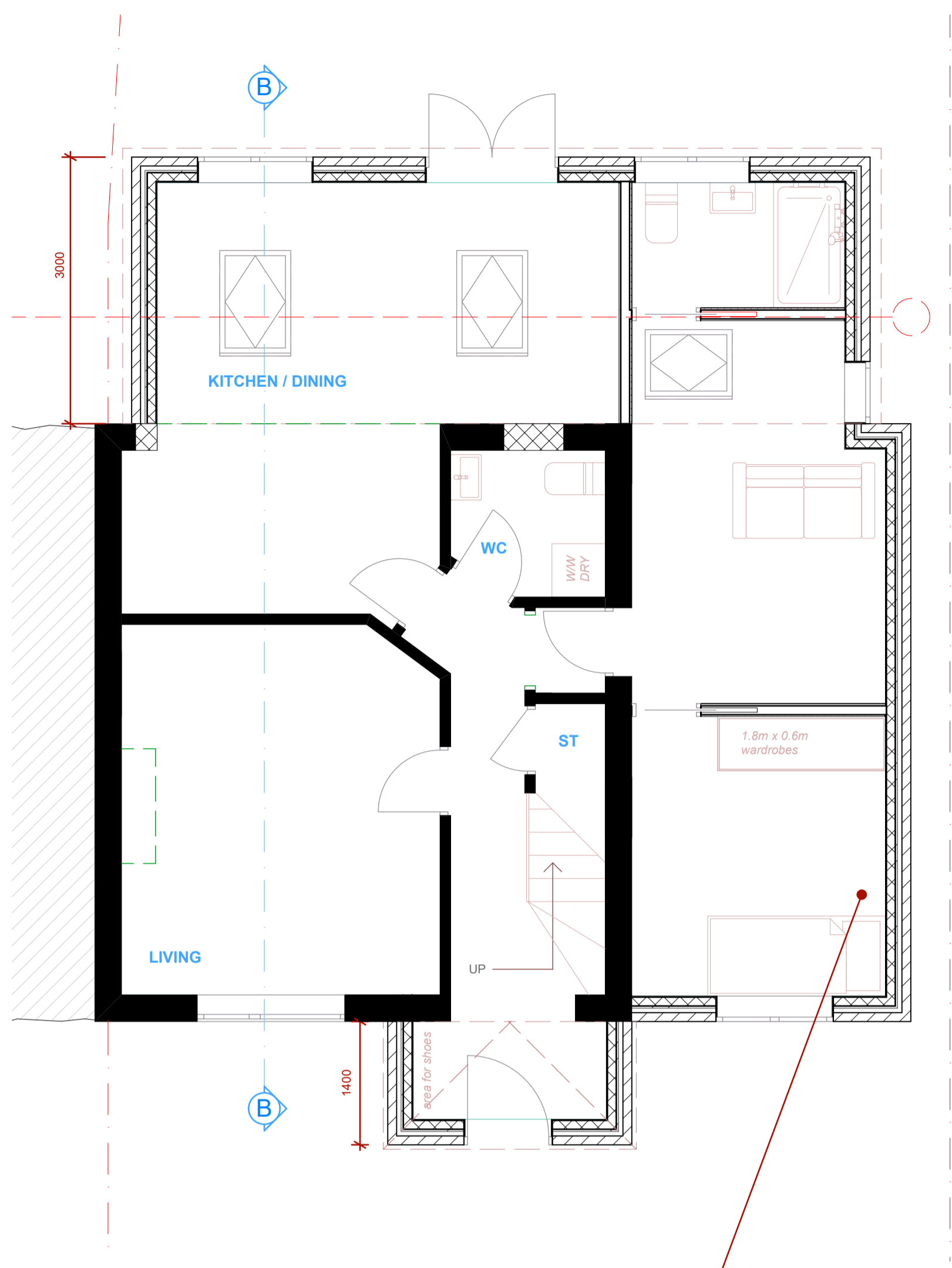
PROVISIONAL



Plan My Property

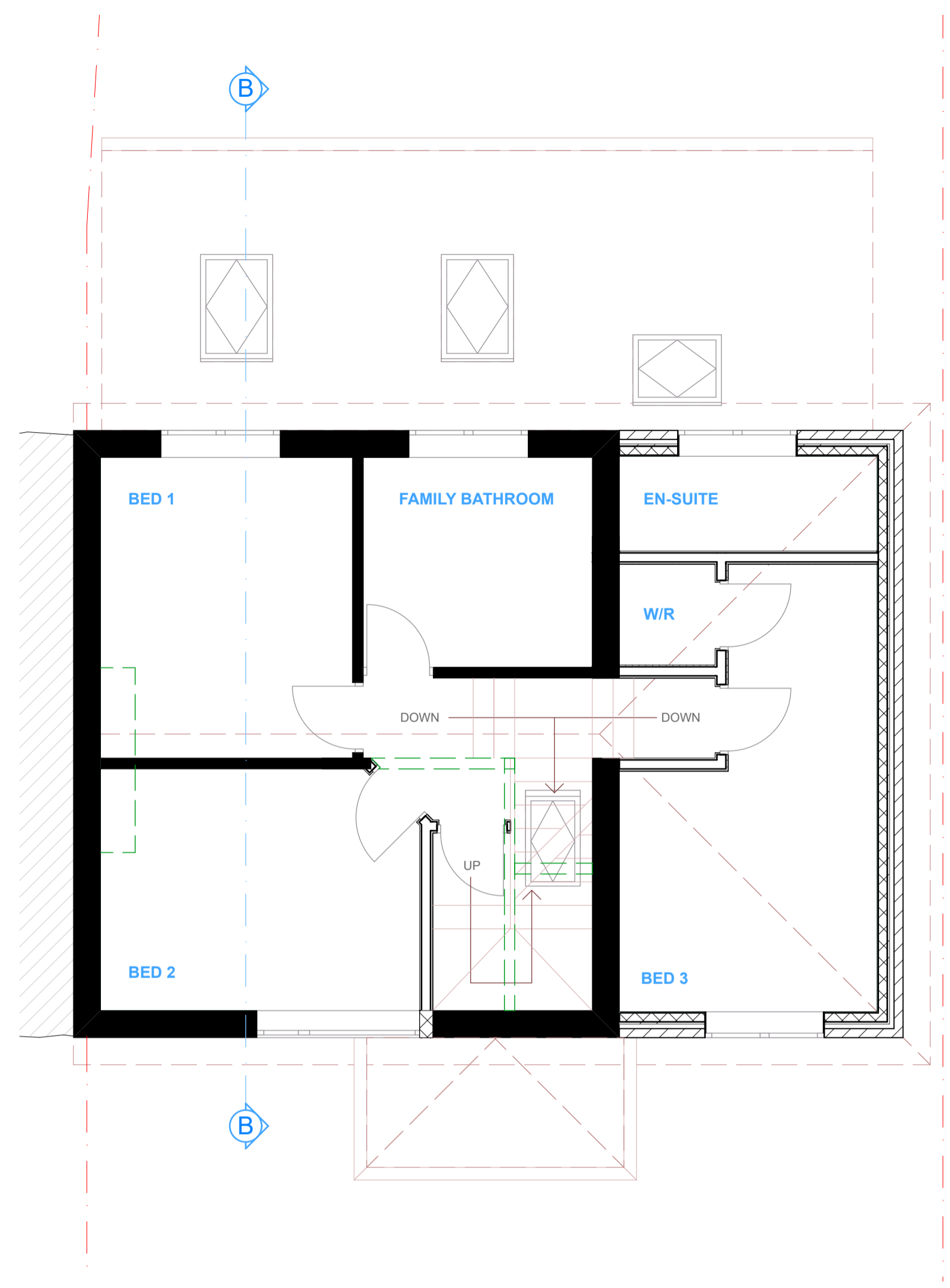
phone
07859 056 819

web
www.planmyproperty.co.uk

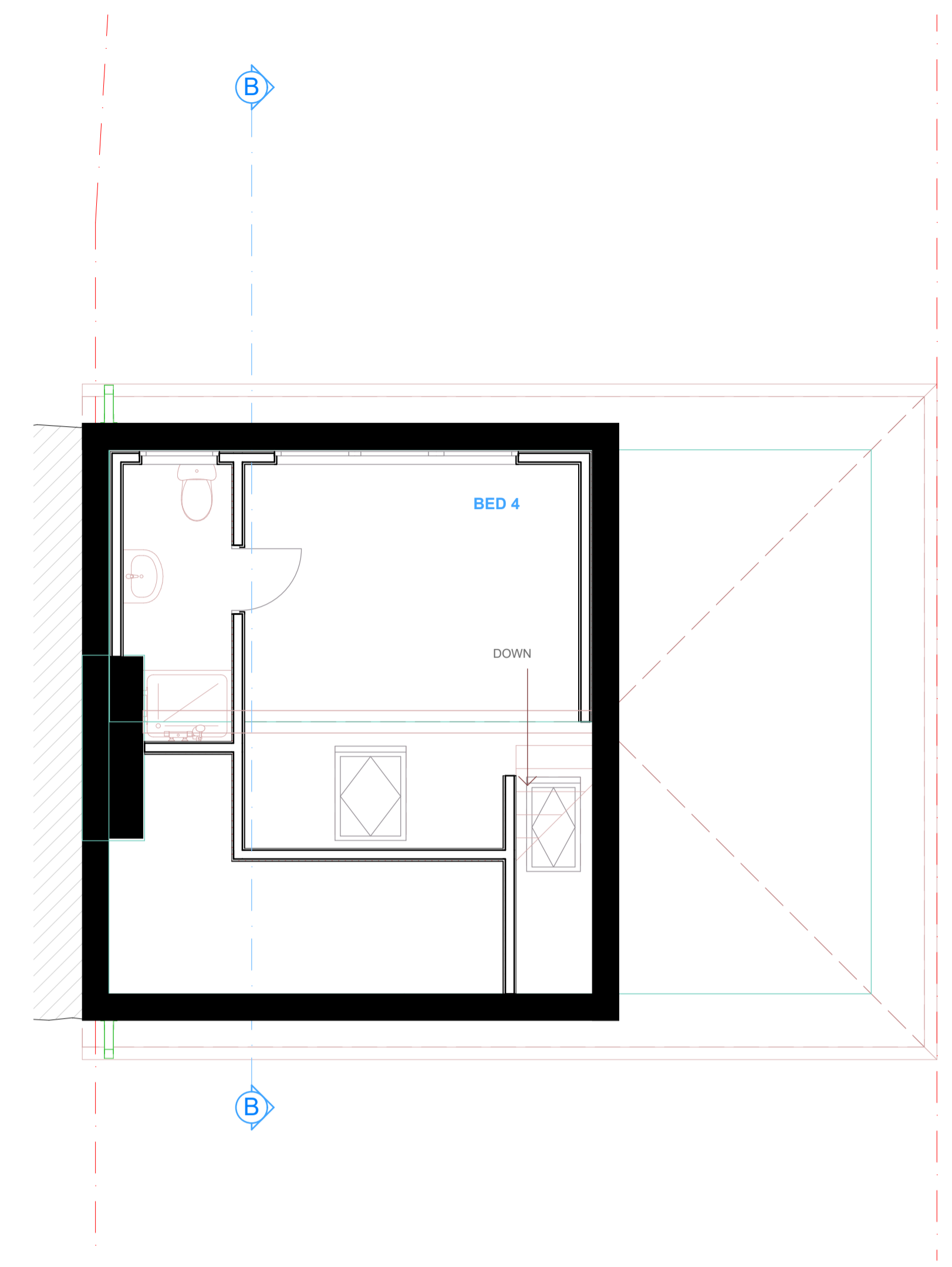


GROUND

Ground floor bedroom required for elderly family member. This allows them to have their private space, whilst still using the existing dwelling for cooking and integrating with the family.

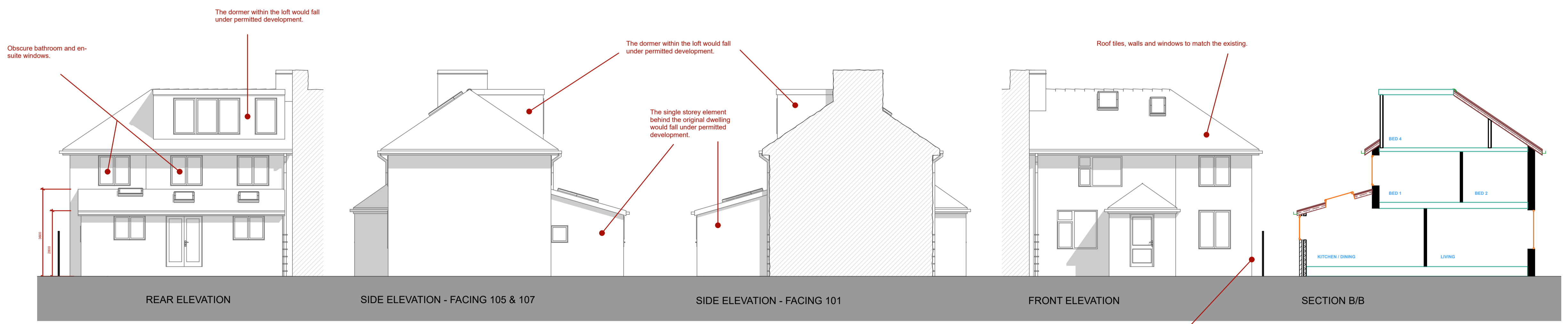


FIRST

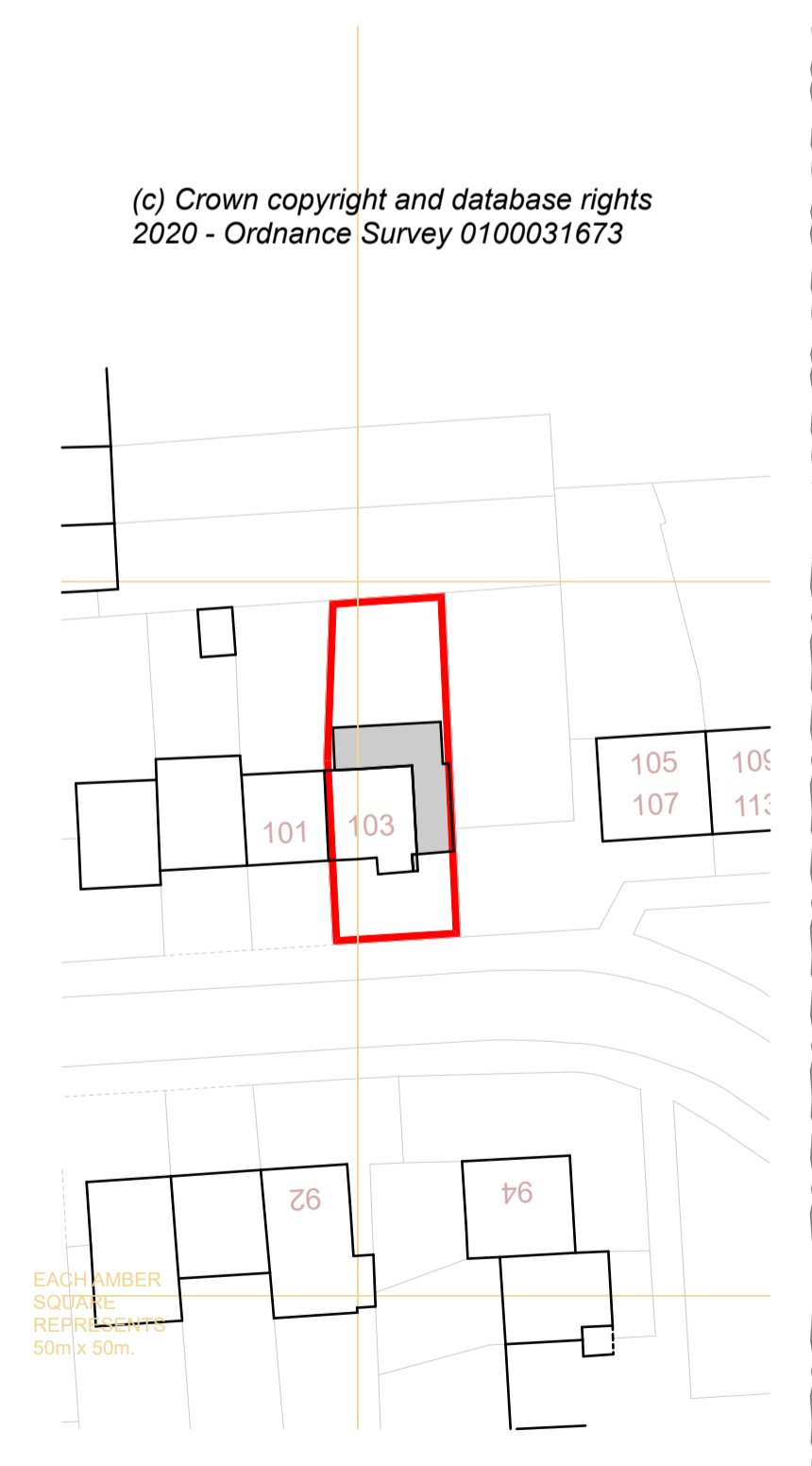


LOFT

PROPOSED GROUND FLOOR PLAN - SCALE 1:50 @ A1



PROPOSED ELEVATIONS - SCALE 1:100 @ A1



PROPOSED SITE PLAN - SCALE 1:500 @ A1

NORTH FOR LOCATION AND SITE PLANS
NORTH FOR FLOOR PLANS

REVISIONS
23/10/2020 - revA
* Reduction in size of the front porch following request from the planning department.

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Before commencement of the works the contractor must check and verify all buildings and site conditions and levels, all relevant sewer outlets, level levels and connection points.
This drawing must be read in conjunction with and checked against all structural, specialist and detail, layout and engineering drawings.
The contractor must satisfy himself with the accuracy of the site investigation information and should ensure that adequate foundations appropriate to the ground conditions are used for any part of the works.
This drawing should not be relied upon to give information on ground conditions and foundations.
The Contractor is to carry out the work in compliance with the Building Regulations, related current British Standards.

DRAWING INFORMATION
project stage
Planning Application (revA)
property address
103 Bentry Road
Dagenham
RM8 3PJ
date:
October 2020
drawing number:
103BR : PA:01revA/02
PROVISIONAL

Plan My Property
phone
07859 056 819
web
www.planmyproperty.co.uk

Delegated Report Householder Application for Planning Permission for Works or Extension to a Dwelling			
Case Officer:	Lauren Carroll	Valid Date:	01 September 2020
Officer Recommendation:	APPROVE	Expiry Date:	27 October 2020
Application Number:	20/01639/HSE	Recommended Date:	23 October 2020
Address:	103 Bentry Road, Dagenham, Barking And Dagenham, RM8 3PJ		
Proposal:	Construction of a single storey rear extension, front porch, two storey side extension and the construction of a rear dormer extension including two roof lights to the front to facilitate conversion of roof space into habitable accommodation.		

Planning Constraints

Please highlight relevant constraints:
The application site is located within the Becontree Estate.

Neighbour Notification

Date Consultation Letter Sent:	01/09/2020
Number of Neighbours Consulted:	9

No response received.

Relevant Planning History

Application Number:	NONE	Status:	
Description:			

Development Plan Context

The Council has carefully considered the relevant provisions of the Council's adopted development plan and of all other relevant policies and guidance. Of particular relevance to this decision were the following Framework and Development Plan policies and guidance:

National Planning Policy Framework (NPPF) (MHCLG, February 2019)

The London Plan: Spatial Development Strategy for London (GLA, consolidated with alterations since 2011, published March 2016)	Policy 7.4 - Local Character Policy 7.5 - Public Realm Policy 7.6 - Architecture Policy 7.8 - Heritage Assets and Archaeology
--	--

The Mayor of London's Draft London Plan - Intend to Publish version December 2019 is under Examination. Having regard to NPPF paragraph 48 the emerging document is a material consideration and appropriate weight will be given to its policies and suggested changes in decision-making, unless other material considerations indicate that it would not be reasonable to do so.

Draft London Plan (Intend to Publish version December 2019)	Policy D1 - London's Form, Character and Capacity for Growth Policy D4 - Delivering Good Design Policy D8 - Public Realm Policy HC1 - Heritage Conservation and Growth
Local Development Framework (LDF) Core Strategy (July 2010)	Policy CR2 - Preserving and Enhancing the Natural Environment Policy CP2 - Protecting and Promoting our Historic Environment Policy CP3 - High Quality Built Environment
Local Development Framework (LDF) Borough Wide Development Plan Document (DPD) (March 2011)	Policy BP2 - Conservation Areas and Listed Buildings Policy BP8 - Protecting Residential Amenity Policy BP11 - Urban Design

The London Borough of Barking and Dagenham's Draft Local Plan: (Regulation 18 Consultation Version, November 2019) is at an "early" stage of preparation. Having regard to NPPF paragraph 216 the emerging document is now a material consideration and limited weight will be given to the emerging document in decision-making, unless other material considerations indicate that it would not be reasonable to do so.

The London Borough of Barking and Dagenham's Draft Local	Policy SP4 - Delivering High Quality Design in the Borough Policy DM11 - Responding to Place Policy DM14 - Conserving and Enhancing Heritage Assets and
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Plan (Regulation 18 Consultation Version, November 2019)	Archaeology Policy DM16 - Householder Extensions and Alterations Policy DM20 - Nature Conservation and Biodiversity
Supplementary Planning Documents	Residential Extensions and Alterations (SPD) (February 2012)

ASSESSMENT

Principle of the Development

Is the proposed development acceptable 'in principle'? **YES**

Officer Comment: The overriding objective of the local policies is to deliver high quality development which improves the quality and distinctive identity of places and meets the housing needs of existing and future residents. As such, it is acknowledged that extensions to existing family dwelling houses can facilitate additional and enhanced living space for improved living conditions for occupants. They are therefore considered acceptable in principle subject to ensuring a high-quality, neighbourly design. Such matters are addressed below.

Achieving High Quality of Urban Design

Does the proposed development respect the character and appearance of the existing dwelling? **YES**

Does the proposed development respect and accord to the established local character? **YES**

Is the proposed development acceptable within the street scene or when viewed from public vantage points **YES**

Is the proposed development acceptable and policy compliant? **YES**

Officer Comment:

The application site is a South Facing end of Terraced Dwellinghouse on Bentry Street. The application site is located within the Becontree Estate. Neighbouring property No 101 Bentry Street is located West of the Application site. There is a 10.0m distance between the application site and Neighbouring property No 105/107 Bentry Road.

The aended application is seeking permission for Construction of a single storey rear extension, front porch, two storey side extension and the construction of a rear dormer extension including two roof lights to the front to facilitate conversion of roof space into habitable accommodation.

The SPD states that 'Extensions to the front of your house will invariably have an impact upon the street scene. In some cases, the impact of an extension at the front of the property may not be acceptable'. 'To avoid any impact upon the street scene, extensions should not have a depth of more than 1 metre. In some exceptional circumstances, for example where the property is set back a long distance from the highway, slightly larger extensions may be allowed'.

The proposed front porch would have a depth of 1.4m and a width of 2.85m. The proposed front porch would have the same depth as the existing front porch. The proposed front extension would be situated outside the existing hallway entrance. The extension would have a pitched roof with an eaves height of 2.5m and an overall height of 3.8m. The proposed porch would be for an area outside the doorway to store coats and shoes. Officer's note that the SPD states that front extensions should not exceed 1.0m. However, as the porch is the same as the existing porch, Officer's deem it acceptable.

In regards to side extensions, the SPD states that 'The design of your side extension should reflect the type of house and the type of plot. Side extensions have the potential to cause significant impact upon the character of an area. It is essential that you pay particular attention to the manner in which your proposal is designed'. 'If you live in a house which is end-of-terrace and you extend your house to the side, the gap separating your property from your neighbours may become closed and have a detrimental effect on the street scene.'

The proposed double storey side extension would have a width of 3.16m and a depth of 6.7m. The proposed side extension is to make way for a single bedroom and living room on the ground floor and a double bedroom and ensuite on the 1st floor. The proposed side extension would have a hipped roof with an eaves height of 2.45m and an overall height of 7.2m. As there is a 10.0m gap between the application site and Neighbouring Properties No. 105/107 Bentry Road, the proposed side extension will not have a detrimental affect on the street scene.

In regards to rear extensions, the SPD states that 'If the house is terraced or semi-detached, the depth of the extension should not normally exceed 3.65 metres as measured from the original rear wall of the house to ensure that there is no material loss of daylight and outlook to neighbouring properties'.

The proposed rear extension would have a depth of 3.0m and a width of 8.42m. The rear extension

would run along the width of the existing dwellinghouse and proposed side extension. The rear extension would have a hipped roof with an eaves height of 2.8m and an overall height of 3.6m. The applicant is proposing three rooflight's on the rear extension. Whilst none of the neighbouring properties have rear extension's, due to the small depth of the proposed rear extension, Officer's consider the rear extension to comply with the aforementioned policies and acceptable in this regard.

In regards to the proposed Loft Conversion and Rear Dormer, this would be acceptable

The proposed extensions would be built from Rendered Bricks, White UPVC windows and Roof tiles to match the existing dwelling.

Due to the bulk and massing of the proposed extension, it will remain subservient to the main dwellinghouse. Officer's consider the proposed development's acceptable and policy compliant.

Delivering Neighbourly Development

	101	105/107	N/A			101	105/107	N/A
Outlook:				Overshadowing:				
Loss from habitable rooms?	NO	NO		Shadow cast into rooms?	NO	NO		
<i>Is it unacceptable?</i>				<i>Is it unacceptable?</i>				
				Shadow into garden?	NO	NO		
Loss of Privacy:				<i>Is it unacceptable?</i>				
Overlooking the garden?	NO	NO						
<i>Is it unacceptable?</i>				Overbearing:				
Overlooking into rooms?	NO	NO		Impact on habitable rooms?	NO	NO		
<i>Is it unacceptable?</i>				<i>Is it unacceptable?</i>				
				Impact on gardens?	NO	NO		
Loss of Daylight:				<i>Is it unacceptable?</i>				
Loss into habitable rooms?	NO	NO						
<i>Is it unacceptable?</i>								

Officer Comment: No's 105/105 Bentry Road, Located to the East of the application site, will not experience any directly harmful impacts upon their amenity as a result of the proposed extension, by reason of their distance from the extension.

No 101 Bentry Road is located West of the application site. As the proposed extension's is located on the opposite site of the dwellinghouse, this neighbouring property would not experience any directly harmful impacts upon their amenity.

Given the above, the impacts on neighbouring amenity are considered acceptable.

Delivering Sustainability

<i>Does the proposed development promote or enhance biodiversity?</i>	NO
<i>Has established vegetation been preserved or appropriately relocated/mitigated against?</i>	NO
Officer Comment:	Although the application has not incorporated any biodiversity enhancement measures, the proposed development would not impinge on the garden space of the property and would therefore have no overall impact on the biodiversity value of the site.

Meeting the Needs of Homeowners

<i>Are all proposed rooms well-lit by daylight and naturally vented through opening windows?</i>	YES
<i>Are the sizes of all proposed rooms appropriate in size for the purpose they are designed for?</i>	YES

<i>Officer Comment:</i>	The proposed extension is intended to rationalise and expand the layout of the existing dwelling through the provision of appropriately sized and lit home extensions.
-------------------------	--

Other Material Considerations
NONE

CONCLUSION
The proposed development would respect the character and appearance of the area without having any unacceptable impact on the living conditions of neighbouring properties. The proposal is therefore considered to accord with the Development Plan policies and guidance specified above, and it is recommended that planning permission be granted.

LBBB Reference: 20/01639/HSE

Dipesh Surti

**TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND) ORDER 2015 (AS
AMENDED)**

Dear Sir / Madam,

Application Number: 20/01639/HSE
Address: 103 Bentry Road, Dagenham, Barking And Dagenham, RM8 3PJ
Development Description: Construction of a single storey rear extension, two storey side extension and the construction of a rear dormer extension including two roof lights to the front to facilitate conversion of roof space into habitable accommodation.

Thank you for your recent application at the above address on which a decision has now been made. The decision on your application is attached. Please carefully read all of the information contained in these documents.

Please quote your application reference number in any correspondence with the Council.

Yours sincerely,

Graeme Cooke

Graeme Cooke
Director of Inclusive Growth
London Borough of Barking and Dagenham

PLANNING DECISION NOTICE

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED) TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND) ORDER 2015 (AS AMENDED)

Agent: Dipesh Surti
Applicant: Reardon
103 BENTRY ROAD
DAGENHAM

PART 1 - PARTICULARS OF THE APPLICATION

Application Number: 20/01639/HSE
Application Type: Householder Planning Permission
Development Description: Construction of a single storey rear extension, front porch, two storey side extension and the construction of a rear dormer extension including two roof lights to the front to facilitate conversion of roof space into habitable accommodation.
Site Address: 103 Bentry Road, Dagenham, Barking And Dagenham, RM8 3PJ
Date Received: 13 August 2020
Date Validated: 01 September 2020

PART 2 - PARTICULARS OF THE DECISION

The London Borough of Barking and Dagenham, as Local Planning Authority, in pursuance of its powers under the above mentioned Act, Rules, Orders and Regulations made thereunder, hereby gives notice that PLANNING PERMISSION has been **GRANTED** for the carrying out of the development referred to in PART 1 hereof and as described and shown on the plan(s) and document(s) submitted with the application, subject to the conditions and reasons listed below.

Conditions:

1. The development hereby permitted shall be commenced before the expiration of three years from the date of this permission.

Reason: To comply with the requirements of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The development hereby approved shall only be carried out in accordance with the following approved plans and documents: -

- 01revA/02 - Proposed Plans - October 2020

No other drawings or documents apply.

Reason: To ensure that the development is undertaken in accordance with the approved drawing(s) and document(s), to ensure that the finished appearance of the development will enhance the character and visual amenities of the area and to satisfactorily protect the residential amenities of nearby occupiers.

3. The materials to be used in the construction of the external surfaces of the development hereby permitted shall match those used in the existing dwellinghouse.

Reason: To ensure that the finished appearance of the development will respect the character and visual amenities of the local area.

Summary of Policies and Reasons:

In deciding to grant planning permission in this instance, Be First, working in partnership the London Borough of Barking and Dagenham, found the proposal to be acceptable following careful consideration of the relevant provisions of the National Planning Policy Framework, the Development Plan and all other relevant material considerations. Upon review, the London Borough of Barking and Dagenham is satisfied that any potential material harm resulting from the proposal's impact on the surrounding area would be reasonably mitigated through compliance with the conditions listed above.

The following policies are of particular relevance to this decision and for the imposition of the abovementioned condition

National Planning Policy Framework (NPPF) (MHCLG, February 2019)

The London Plan: Spatial Development Strategy for London (GLA, consolidated with alterations since 2011, published March 2016)

Policy 7.4 - Local Character

Policy 7.5 - Public Realm

Policy 7.6 - Architecture

Policy 7.8 - Heritage Assets and Archaeology

Draft London Plan (Intend to Publish version, December 2019)

The Mayor of London's Draft London Plan (Intend to Publish version, December 2019) is under Examination. Having regard to NPPF paragraph 48, the emerging document is a material consideration and appropriate weight will be given to its policies and suggested changes in decision-making, unless other material considerations indicate that it would not be reasonable to do so.

Policy D1 - London's Form, Character and Capacity for Growth

Policy D4 - Delivering Good Design

Policy D8 - Public Realm

Policy HC1 - Heritage Conservation and Growth

Local Development Framework (LDF) Core Strategy (July 2010)

Policy CR2 - Preserving and Enhancing the Natural Environment

Policy CP2 - Protecting and Promoting our Historic Environment

Policy CP3 - High Quality Built Environment

Local Development Framework (LDF) Borough Wide Development Plan Document (DPD) (March 2011)

Policy BP2 - Conservation Areas and Listed Buildings

Policy BP8 - Protecting Residential Amenity

Policy BP11 - Urban Design

The London Borough of Barking and Dagenham's Draft Local Plan: (Regulation 18 Consultation Version, November 2019)

The London Borough of Barking and Dagenham's Draft Local Plan: (Regulation 18 Consultation Version, November 2019) is at an "early" stage of preparation. Having regard to NPPF paragraph 216 the emerging document is now a material consideration and limited weight will be given to the emerging document in decision-making, unless other material considerations indicate that it would not be reasonable to do so.

Policy SP4 - Delivering High Quality Design in the Borough

Policy DM14 - Conserving and Enhancing Heritage Assets and Archaeology

Policy DM16 - Householder Extensions and Alterations

Policy DM20 - Nature Conservation and Biodiversity

Supplementary Planning Documents

Residential Extensions and Alterations (SPD) (February 2012)

The above policies can be viewed on the Council's website: www.lbbd.gov.uk/planning.

Working with the applicant:

In dealing with this application, Be First, working in partnership with the London Borough of Barking and Dagenham, has implemented the requirements of the National Planning Policy Framework and of the Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended) to work with the Applicant in a positive and proactive manner. As with all applicants, Be First has made available detailed advice in the form of statutory policies and all other relevant guidance, as well as offering a full pre-application advice service, so as to ensure the applicant has been given every opportunity to submit an application which is likely to be considered favourably.

This development is potentially liable for payment of both the Mayor of London and London Borough of Barking and Dagenham's Community Infrastructure Levies (CIL). Further information about CIL, including the process that must be followed and forms that will be required, can be found on the Council's website: <https://www.lbbd.gov.uk/developer-contributions-cil-and-s106>. CIL forms can be submitted to: S106CIL@befirst.london

DATE OF DECISION: 26/10/2020

Yours sincerely,

Graeme Cooke

Graeme Cooke

Director of Inclusive Growth

London Borough of Barking and Dagenham

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)
Applicant's Rights following the Grant or Refusal of permission

1. Appeals to the Secretary of State

Should you (an applicant/agent) feel aggrieved by the decision of the council to either refuse permission or to grant permission subject to conditions, you can appeal to the Secretary of State for the Department of Communities and Local Government – Section 78 of the Town and Country Planning Act 1990 / Sections 20 and 21 of the Planning (Listed Building and Conservation Areas) Act 1990. Any such appeal must be made within the relevant timescale for the application types noted below, beginning from the date of the decision notice (unless an extended period has been agreed in writing with the council):

- **Six (6) months:** Full application (excluding Householder and Minor Commercial applications), listed building, conservation area consent, Section 73 'variation/removal', Section 73 'minor-material amendment', extension of time and prior approval applications.
- **Twelve (12) weeks:** Householder planning, Householder prior approval and Minor Commercial applications.
- **Eight (8) weeks:** Advertisement consent applications.
- **No timescale:** Certificate of lawful development (existing/proposed) applications.

Where an enforcement notice has been issued the appeal period may be significantly reduced, subject to the following criteria:

- The development proposed by your application is the same or substantially the same as development that is currently the subject of an enforcement notice: **28 days of the date of the application decision.**
- An enforcement notice is served **after the decision on your application** relating to the same or substantially the same land and development as in your application and if you want to appeal against the council's decision you are advised to appeal against the Enforcement Notice and to do so before the Effective Date stated on the Enforcement Notice.

Appeals must be made using the prescribed form(s) of The Planning Inspectorate (PINS) obtained from www.planning-inspectorate.gov.uk or by contacting 03034445000. A copy of any appeal should be sent both to PINS and the council (attn: Planning Appeals Officer).

The Secretary of State can allow a longer period for giving notice of an appeal but will not normally be prepared to use this power unless there are exceptional/special circumstances.

The Secretary of State can refuse to consider an appeal if the council could not have granted planning permission for the proposed development or could not have granted it without the conditions it imposed, having regard to the statutory requirements and provisions of the Development Order and to any direction given under the Order. In practice, it is uncommon for the Secretary of State to refuse to consider appeals solely because the council based its decision on a 'direction given by the Secretary of State'.

2. Subsequent Application Fees

No planning fee would be payable should a revised planning application be submitted within 12 months of the decision. This 'fee waiver' is permitted only where the new application meets the following criteria:

- the applicant is the same as the applicant of the original application
- site boundary is the same as the site boundary of the original application
- the nature of development remains the same.

3. Purchase Notices

Should either the council or the Secretary of State refuse permission or to grant permission subject to conditions, the owner may claim that the land cannot be put to a reasonably beneficial use in its existing state nor through carrying out of any development which has been or could be permitted. In such a case, the owner may serve a purchase notice on the council.

This notice will require the council to purchase the owner's interest in the land in accordance with the provisions of Part IV of the Town and Country Planning Act 1990 and Section 32 of the Planning (Listed Buildings Conservation Areas) Act 1990.

4. Compensation

In certain circumstances compensation may be claimed from the council if permission is refused or granted subject to condition(s) by the Secretary of State on appeal or on reference to the Secretary of State. These circumstances are set out in Section 114 and related provisions of the Town and Country Planning Act 1990 and Section 27 of the Planning (Listed Buildings and Conservation Areas) Act 1990.



Performance Review Sub-Committee

16th February 2021

Sample Selection Number:

777

Application Reference:

20/01774/AOD

Application Description:

Details pursuant to Condition 8 (Scheme of Acoustic Protection) attached to planning consent 19/01724/FUL dated 29/04/2020.

Decision:

Approved

3 Site Noise Exposure

Detailed environmental noise surveys were carried in support of the planning application, to which PACL report 20191218_4474_ENA01.docx dated 18/12/2019 refers.

Site noise exposure levels for the with-scheme case were subsequently determined using CADNA A software, which implements the procedures contained in a number of pertinent documents including Calculation of Road Traffic Noise (CRTN) and ISO 9613-2: Acoustics - Attenuation of sound during propagation outdoors, Part 2: General method of calculation, etc.. The following resulted:

Figure 1: With scheme $L_{Aeq,16h}$ noise levels
(source: PACL report 20191218_4474_ENA01.docx, Figure 9)

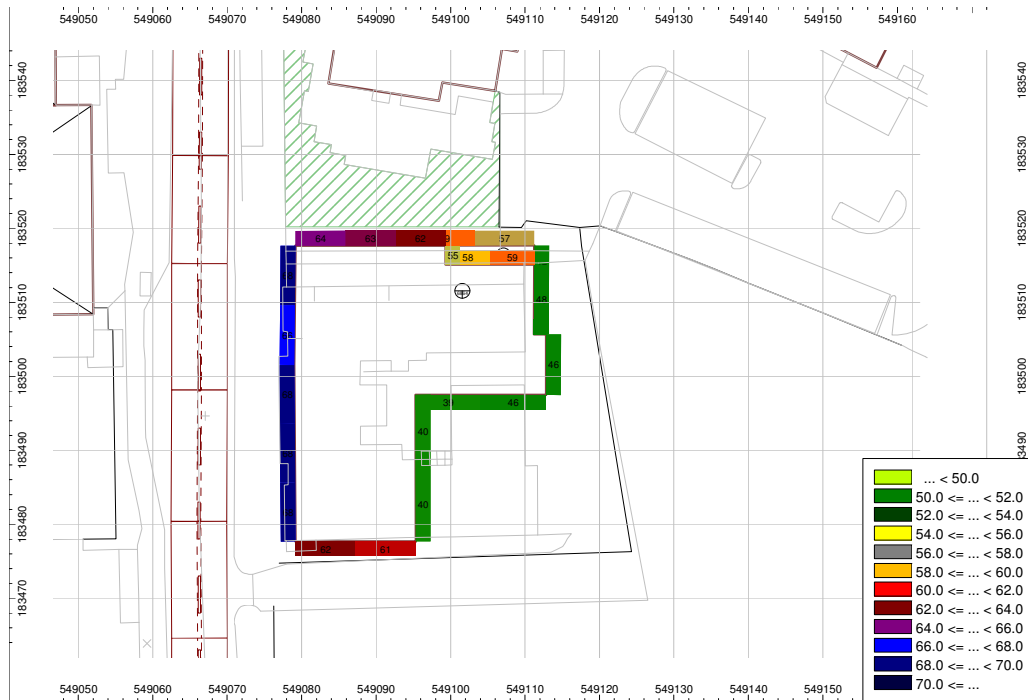
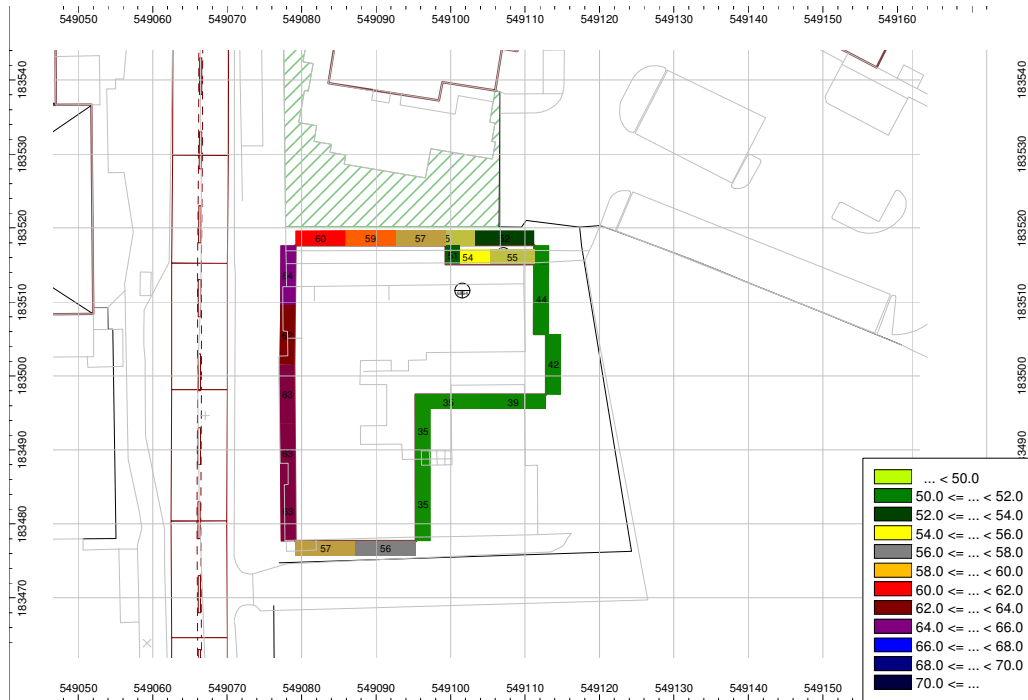


Figure 2: With scheme $L_{Aeq,8h}$ noise levels
(source: PACL report 20191218_4474_ENA01.docx, Figure 10)



Maximum noise levels at each facade may be determined by pro-rata correction based on the difference between the global 10th highest L_{AFmax} and L_{Aeq} values, this approach deemed suitable in the absence of any specified procedures in guidance such as CRTN.

Delegated Report

Application for Approval of Details Reserved by Condition

Case Officer:	Nasser Farooq	Valid Date:	07 September 2020
Application Number:	20/01774/AOD	Recommended Date:	02 October 2020
Deemed Discharge Notice:	N/A		
Address:	Job Centre, Department Of Employment Chequers Lane, Dagenham, Barking And Dagenham, RM9 6PS		
Proposal:	Details pursuant to Condition 8 (Scheme of Acoustic Protection) attached to planning consent 19/01724/FUL dated 29/04/2020.		

ASSESSMENT

Condition 8 - Scheme of Acoustic Protection

Prior to commencement of façade construction of residential units, full details of a scheme of acoustic protection of habitable rooms against ambient noise shall be submitted to and approved in writing by the Local Planning Authority. The scheme of acoustic protection shall be sufficient to secure internal noise levels no greater than:

- 35 dB LAeq in living rooms and bedrooms (07:00 hours to 23:00 hours) with windows closed; and
- 30 dB LAeq in bedrooms (23:00 hours to 07:00 hours) with windows closed.

Additionally, where the internal noise levels will exceed 40 dB LAeq in living rooms and bedrooms (07:00 hours to 23:00 hours) or 35dB LAeq in bedrooms (23:00 hours to 07:00 hours) with windows open the scheme of acoustic protection shall incorporate a ventilator system which is commensurate with the performance specification set out in Schedule 1 (paragraphs 6 and 7) of The Noise Insulation Regulations 1975 (as amended). The approved scheme shall be fully implemented before the first occupation of the residential unit to which it relates and shall be maintained at all times thereafter.

Minor amendments may be agreed from time to time in writing by the Local Planning Authority.

Reason: To ensure that the proposed residential units are adequately protected from noise and in accordance with policy BR13 of the Borough Wide Development Policies Development Plan Document and policy 7.15 of the London Plan.

Details Submitted and APPROVED:	<ul style="list-style-type: none"> Environmental Noise Assessment prepared by Paragon Acoustic Consultants dated 17/10/2019 Building Envelope Sound Insulation Review (RIBA Stage 4)
Details Submitted for information and NOT APPROVED:	N/A
Officer Assessment:	The submitted details have been reviewed by specialist Environmental Health officers who consider the details to be satisfactory. As such, the condition is recommended for approval.
Officer Recommendation:	APPROVE
Conditions and Reasons:	<p>The development shall be implemented in accordance with the Details Submitted and APPROVED listed above only.</p> <p>Reason: To ensure that the proposed residential units are adequately protected from noise and in accordance with policy BR13 of the Borough Wide Development Policies Development Plan Document and policy 7.15 of the London Plan.</p>

APPENDIX 1

Development Plan Context	
The Council's decision in this instance arose following careful consideration of the relevant provisions of the Council's adopted development plan and of all other relevant material considerations. Of particular relevance to this decision were the following Framework and Development Plan policies:	
National Planning Policy Framework (NPPF) (MHCLG, February 2019)	
The London Plan: Spatial Development Strategy for London (GLA, consolidated with alterations since 2011, published March 2016)	7.15
<i>The Mayor of London's Draft London Plan - Intend to Publish version December 2019 is under Examination. Having regard to NPPF paragraph 48 the emerging document is a material consideration and appropriate weight will be given to its policies and suggested changes in decision-making, unless other material considerations indicate that it would not be reasonable to do so.</i>	
Draft London Plan (Intend to Publish version December 2019)	
Local Development Framework (LDF) Core Strategy (July 2010)	
Local Development Framework (LDF) Borough Wide Development Plan Document (DPD) (March 2011)	BR15
<i>The London Borough of Barking and Dagenham's Draft Local Plan: (Regulation 18 Consultation Version, November 2019) is at an "early" stage of preparation. Having regard to NPPF paragraph 216 the emerging document is now a material consideration and limited weight will be given to the emerging document in decision-making, unless other material considerations indicate that it would not be reasonable to do so.</i>	
The London Borough of Barking and Dagenham's Draft Local Plan (Regulation 18 Consultation Version, November 2019)	

APPENDIX 2

Consultations		
<i>Consultee:</i>	<i>Date Consulted:</i>	<i>Summary of response:</i>
Environmental Health	07/09/2020	Condition can be discharged.

INFORMATIVE

In dealing with this application, the London Borough of Barking and Dagenham has implemented the requirements of the National Planning Policy Framework and of the Town and Country Planning (Development Management Procedure) (England) Order 2015 to work with the applicant in a positive and proactive manner. As with all applicants, we have made available detailed advice in the form of our statutory policies in the relevant constituent parts of the Local Plan and London Plan, Supplementary Planning documents, and all other Council guidance, as well as offering a full pre-application advice service, so as to ensure that applicant has been given every opportunity to submit an application which is likely to be considered favourably.

LBBB Reference: 20/01774/AOD

Scott McCallum
Ambrose McCallum Architects Ltd
64 Dovercourt Road
London
SE22 8ST

**TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND) ORDER 2015 (AS AMENDED)**

Dear Sir / Madam,

Application Number: 20/01774/AOD
Address: Job Centre, Department Of Employment Chequers Lane, Dagenham, Barking And Dagenham, RM9 6PS
Development Description: Details pursuant to Condition 8 (Scheme of Acoustic Protection) attached to planning consent 19/01724/FUL dated 29/04/2020.

Thank you for your recent application at the above address on which a decision has now been made. The decision on your application is attached. Please carefully read all of the information contained in these documents.

Please quote your application reference number in any correspondence with the Council.

Yours sincerely,

[Graeme Cooke](#)

Graeme Cooke
Director of Inclusive Growth
London Borough of Barking and Dagenham

PLANNING DECISION NOTICE

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED) TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND) ORDER 2015 (AS AMENDED)

Agent:	Scott McCallum Ambrose McCallum Architects Ltd 64 Dovercourt Road London SE22 8ST	Applicant:	Charles Hearsum Hollybrook Homes Ltd 19 Queen Elizabeth Street London SE1 2LP
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PART 1 - PARTICULARS OF THE APPLICATION

Application Number: 20/01774/AOD
Application Type: Application for Approval of Details Reserved by Condition
Development Description: Details pursuant to Condition 8 (Scheme of Acoustic Protection) attached to planning consent 19/01724/FUL dated 29/04/2020.
Site Address: Job Centre, Department Of Employment Chequers Lane, Dagenham, Barking And Dagenham, RM9 6PS
Date Received: 07 September 2020
Date Validated: 07 September 2020

PART 2 - PARTICULARS OF THE DECISION

The London Borough of Barking and Dagenham, as Local Planning Authority, in pursuance of its powers under the above mentioned Act, Rules, Orders and Regulations made thereunder, hereby gives notice with respect to your submission of details pursuant to planning permission 19/01724/FUL issued on 29th April 2020.

The details submitted in respect of condition(s)8 and identified within the accompanying Officer Report is **APPROVED** subject to the conditions and reasons stated within the said Officer Report.

Working with the applicant:

In dealing with this application, Be First, working in partnership with the London Borough of Barking and Dagenham, has implemented the requirements of the National Planning Policy Framework and of the Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended) to work with the Applicant in a positive and proactive manner. As with all applicants, Be First has made available detailed advice in the form of statutory policies and all other relevant guidance, as well as offering a full pre-application advice service, so as to ensure the applicant has been given every opportunity to submit an application which is likely to be considered favourably.

DATE OF DECISION: 05/10/2020

Yours sincerely,

Graeme Cooke

Graeme Cooke
Director of Inclusive Growth
London Borough of Barking and Dagenham

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)
Applicant's Rights following the Grant or Refusal of permission

1. Appeals to the Secretary of State

Should you (an applicant/agent) feel aggrieved by the decision of the council to either refuse permission or to grant permission subject to conditions, you can appeal to the Secretary of State for the Department of Communities and Local Government – Section 78 of the Town and Country Planning Act 1990 / Sections 20 and 21 of the Planning (Listed Building and Conservation Areas) Act 1990. Any such appeal must be made within the relevant timescale for the application types noted below, beginning from the date of the decision notice (unless an extended period has been agreed in writing with the council):

- **Six (6) months:** Full application (excluding Householder and Minor Commercial applications), listed building, conservation area consent, Section 73 'variation/removal', Section 73 'minor-material amendment', extension of time and prior approval applications.
- **Twelve (12) weeks:** Householder planning, Householder prior approval and Minor Commercial applications.
- **Eight (8) weeks:** Advertisement consent applications.
- **No timescale:** Certificate of lawful development (existing/proposed) applications.

Where an enforcement notice has been issued the appeal period may be significantly reduced, subject to the following criteria:

- The development proposed by your application is the same or substantially the same as development that is currently the subject of an enforcement notice: **28 days of the date of the application decision.**
- An enforcement notice is served **after the decision on your application** relating to the same or substantially the same land and development as in your application and if you want to appeal against the council's decision you are advised to appeal against the Enforcement Notice and to do so before the Effective Date stated on the Enforcement Notice.

Appeals must be made using the prescribed form(s) of The Planning Inspectorate (PINS) obtained from www.planning-inspectorate.gov.uk or by contacting 03034445000. A copy of any appeal should be sent both to PINS and the council (attn: Planning Appeals Officer).

The Secretary of State can allow a longer period for giving notice of an appeal but will not normally be prepared to use this power unless there are exceptional/special circumstances.

The Secretary of State can refuse to consider an appeal if the council could not have granted planning permission for the proposed development or could not have granted it without the conditions it imposed, having regard to the statutory requirements and provisions of the Development Order and to any direction given under the Order. In practice, it is uncommon for the Secretary of State to refuse to consider appeals solely because the council based its decision on a 'direction given by the Secretary of State'.

2. Subsequent Application Fees

No planning fee would be payable should a revised planning application be submitted within 12 months of the decision. This 'fee waiver' is permitted only where the new application meets the following criteria:

- the applicant is the same as the applicant of the original application
- site boundary is the same as the site boundary of the original application
- the nature of development remains the same.

3. Purchase Notices

Should either the council or the Secretary of State refuse permission or to grant permission subject to conditions, the owner may claim that the land cannot be put to a reasonably beneficial use in its existing state nor through carrying out of any development which has been or could be permitted. In such a case, the owner may serve a purchase notice on the council.

This notice will require the council to purchase the owner's interest in the land in accordance with the provisions of Part IV of the Town and Country Planning Act 1990 and Section 32 of the Planning (Listed Buildings Conservation Areas) Act 1990.

4. Compensation

In certain circumstances compensation may be claimed from the council if permission is refused or granted subject to condition(s) by the Secretary of State on appeal or on reference to the Secretary of State. These circumstances are set out in Section 114 and related provisions of the Town and Country Planning Act 1990 and Section 27 of the Planning (Listed Buildings and Conservation Areas) Act 1990.



Performance Review Sub-Committee

16th February 2021

Sample Selection Number:

899

Application Reference:

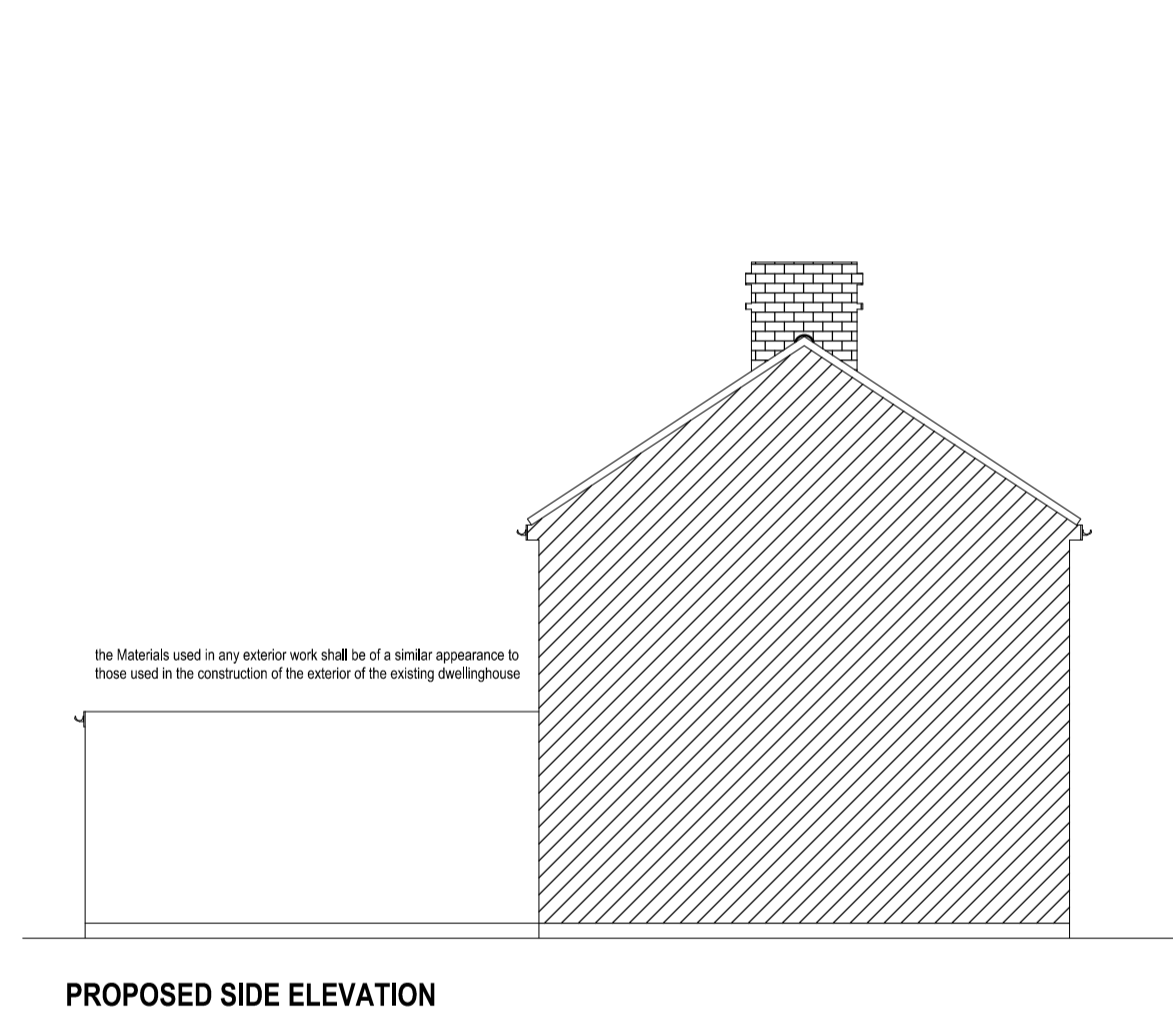
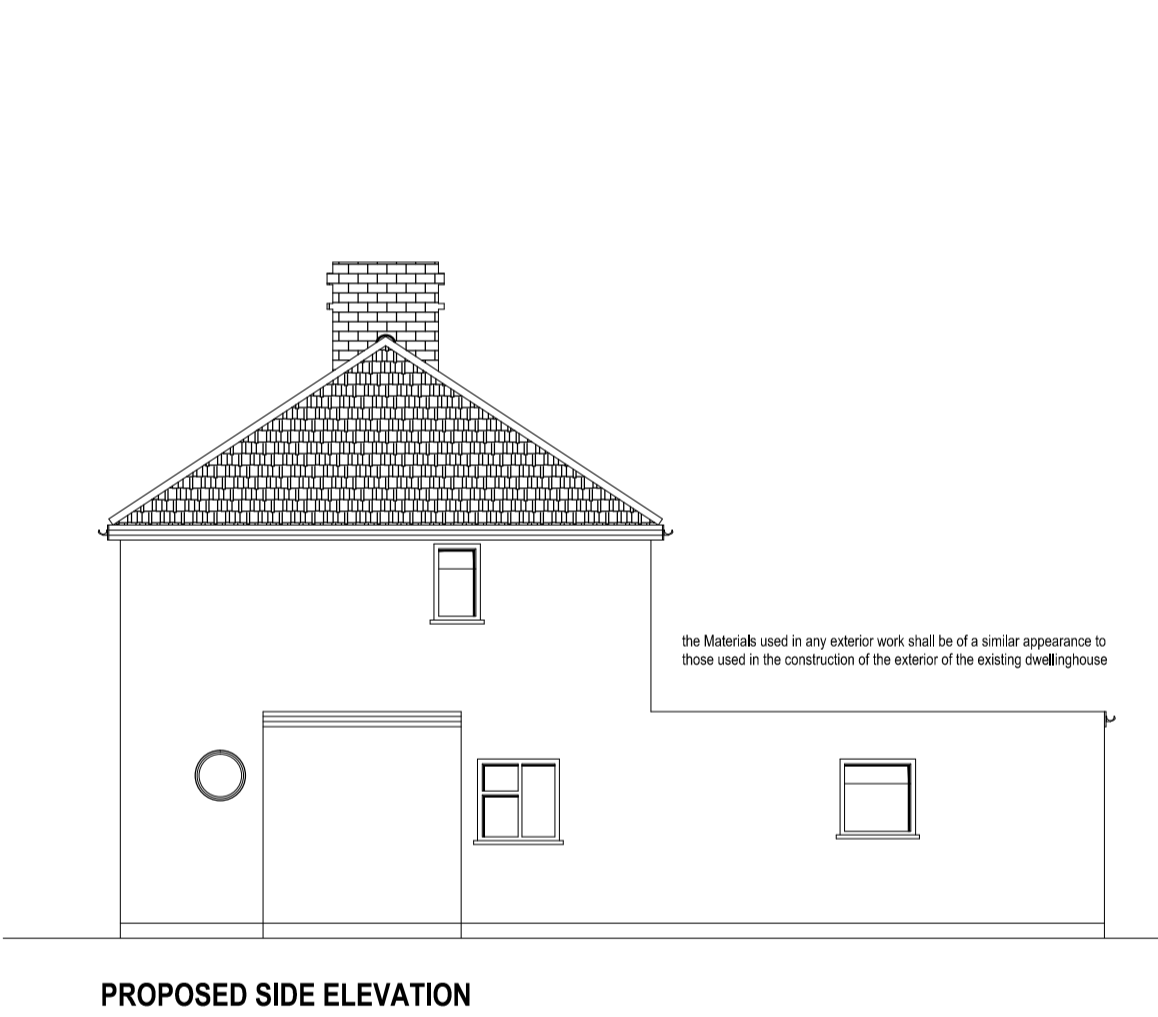
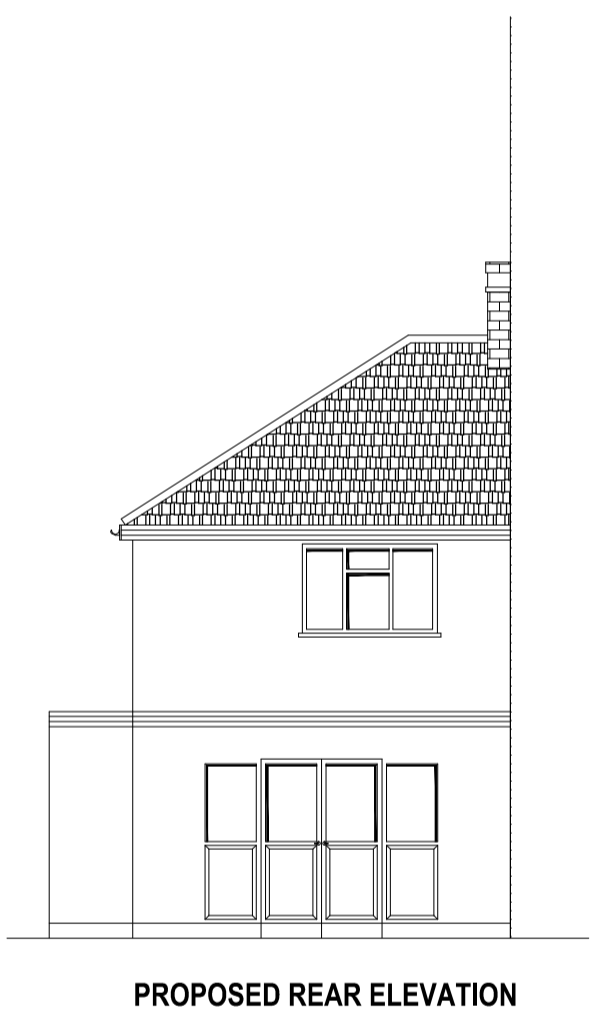
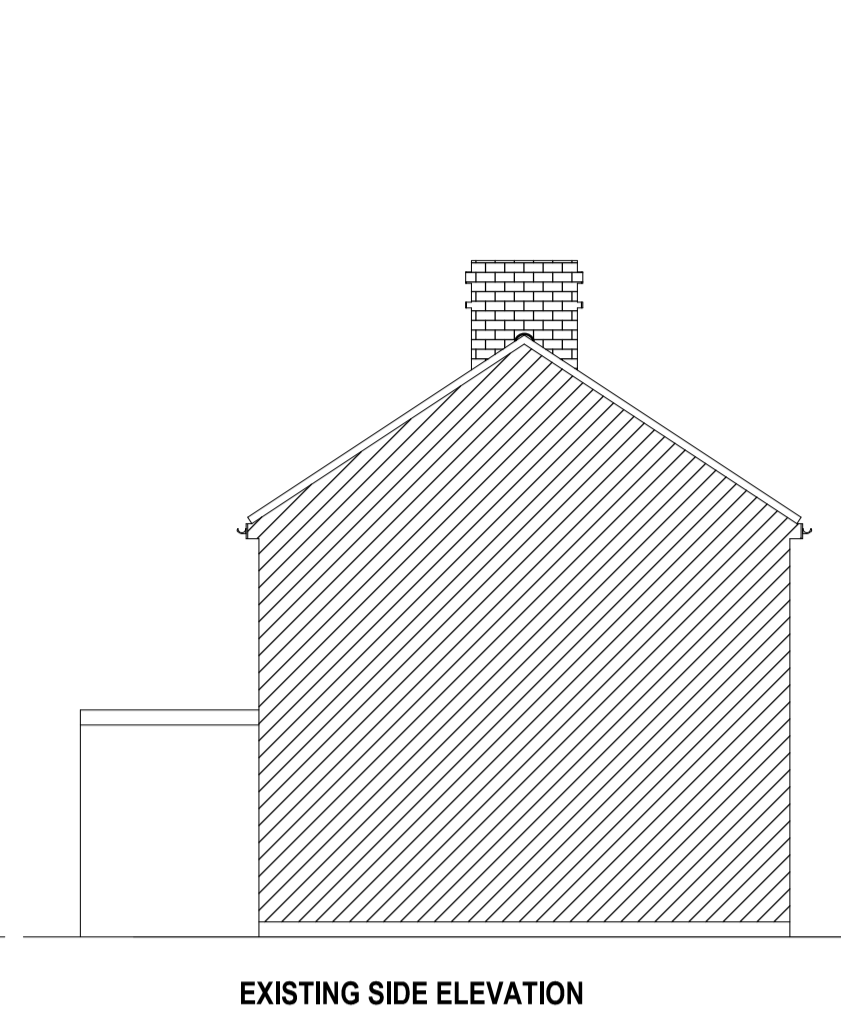
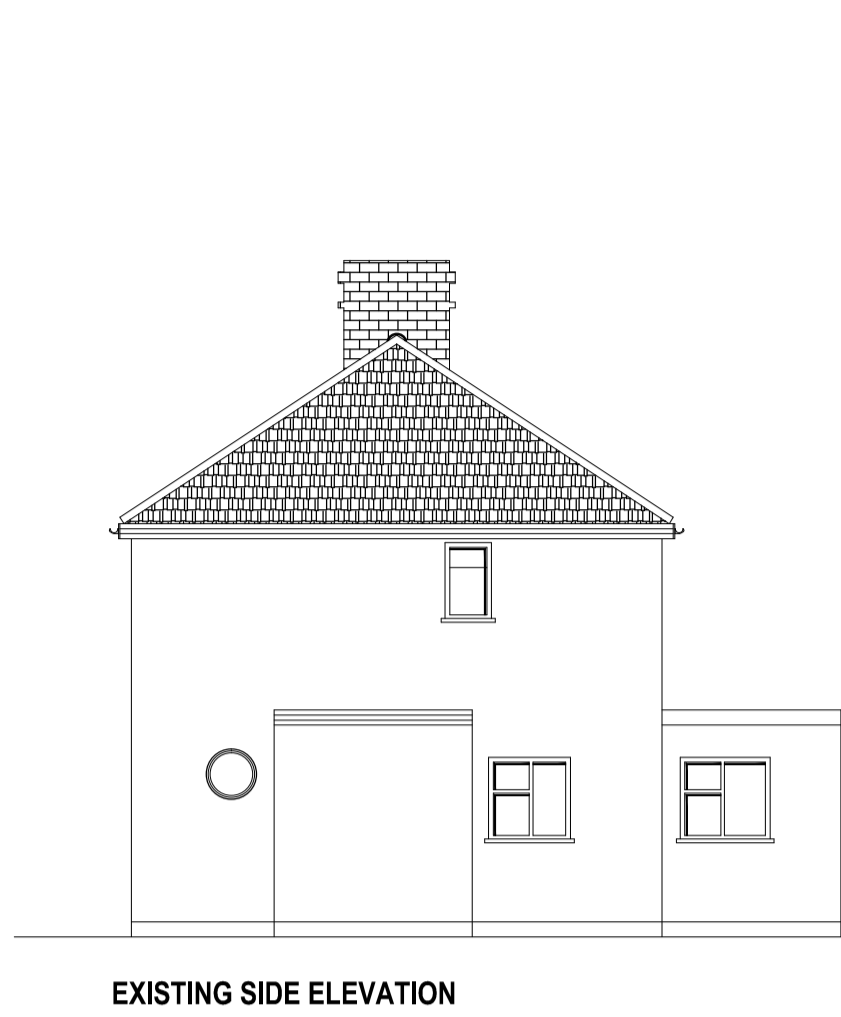
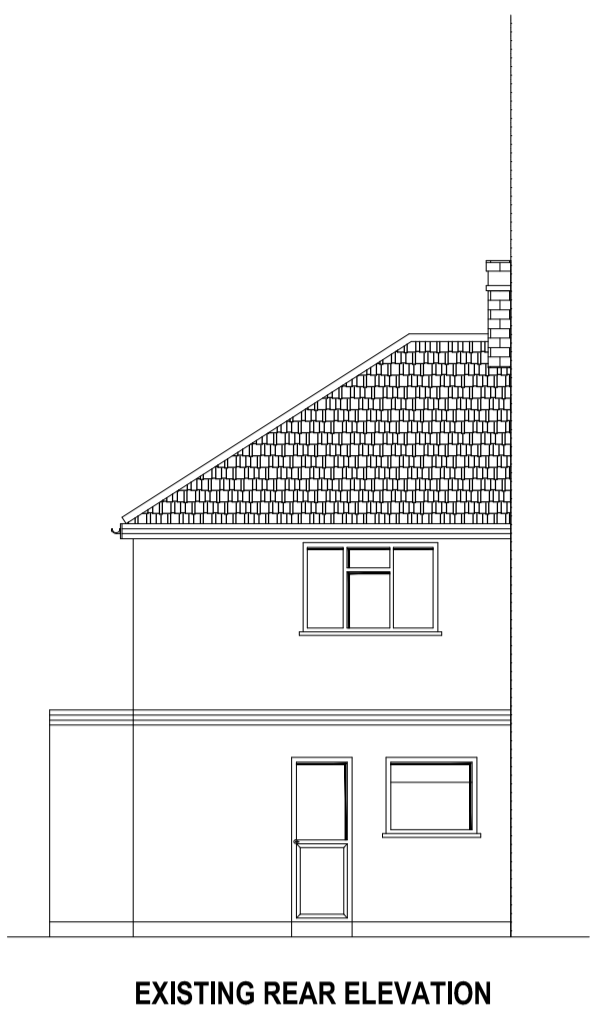
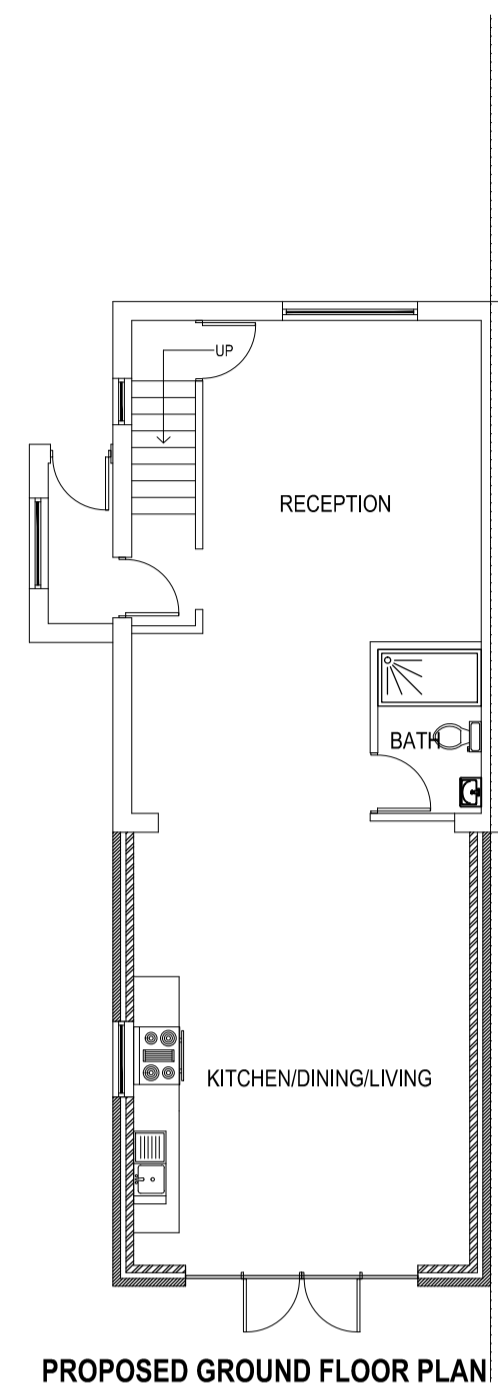
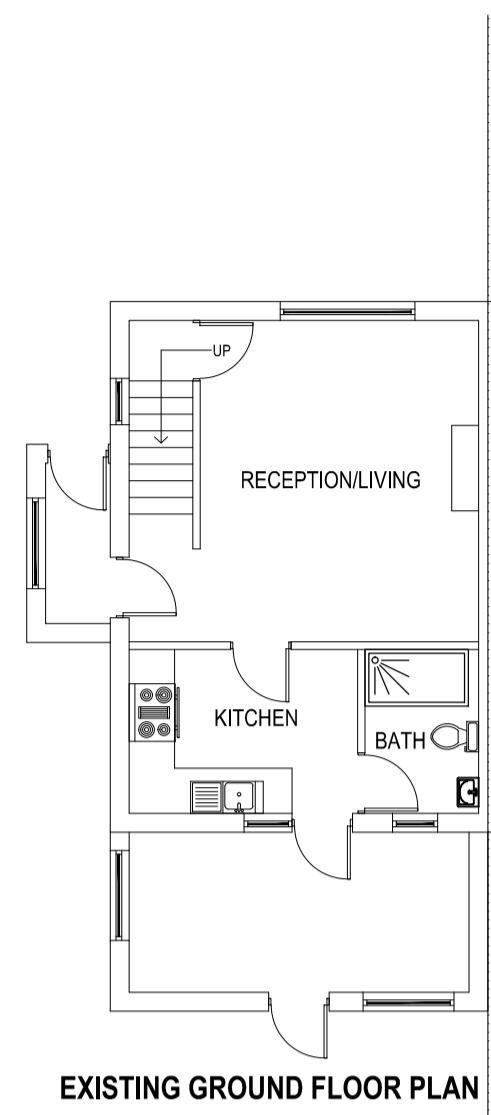
20/01914/PRIEXT

Application Description:

Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.

Decision:

Approved



Please note that before building works commences; it is the responsibility of builders or owner to serve party wall notices to all neighbours.

Dimensions

All dimensions to be checked on site. Contractor to check site thoroughly before work starts and report any discrepancies.

Dimensions stated are for guidance only.

Contractor to verify all boundary positions and dimensions on site prior to commencing any work, making workshop drawings or buying any materials.

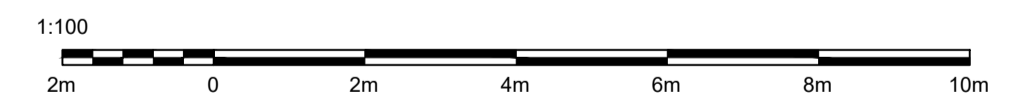
Note: simple dimension check of the site has been conducted in order to prepare this scale drawing. Proposed designs have been provided by the client and final designs on this drawing have been approved by the client.

No site supervision is implied or undertaken unless otherwise separately arranged. The drawing does not indicate the extent of any excavation works and the contractor to determine this prior to submitting a quotation for the works or commencing any works.

The drawing does not indicate or imp the structural condition of the existing property.

The drawings have been prepared for assistance in the preparation of detail for planning and building regulations purposes only. No check dimensions have been taken.

All materials to match with existing finish unless otherwise stated or agreed with the local authority.



Notes:		
Rev:	Date:	Notes:
A	SEPT 2018	PLEASE NOTE THAT BEFORE BUILDING WORKS COMMENCES IT IS THE RESPONSIBILITY OF THE BUILDER OR OWNER TO SERVE PARTY WALL NOTICES TO ALL NEIGHBOURS. NO CONSTRUCTION WORK TO BE STARTED PRIOR TO COUNCIL'S APPROVAL. DRAWINGS TO BE READ IN CONJUNCTION WITH RELEVANT DRAWING AND SPECS. DRAWINGS NOT TO BE SCALED. FIGURED DIMENSIONS ONLY. ANY DISCREPANCIES ARE TO BE POINTED TO THE CONSULTANT. THE CONSULTANT IS NOT LIABLE FOR ANY FAULTS NOT RAISED. DRAWINGS NOT TO BE SCALED FOR LAND TRANSFER PURPOSES.

Drawn by:
HSA
HSA

Client:
Mr L Singh
30 Sterry Gardens Dagenham RM10 8PH

Project:
Single Storey Rear Extension

Drawing Title:
Existing Floor Plans & Elevations
Proposed Floor Plans & Elevations

Date:
August 2020

Scale @ A1:
1:100

Revision:
A

H S Associates

31 Hampton Road Coventry CV6 5GB
hsassociates@consultant.com
02475070015

Delegated Report

Notification for Prior Approval for a Proposed Larger Home Extension

Case Officer:	Cari Jones	Valid Date:	28 September 2020
Officer Recommendation:	Prior Approval Not Required	Expiry Date:	09 November 2020
Application Number:	20/01914/PRIEXT	Recommended Date:	19 October 2020
Address:	30 Sterry Gardens, Dagenham, Barking And Dagenham, RM10 8PH		
Proposal:	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.		

Neighbour Notification

Address:	Summary of response:
10 Sterry Road, Dagenham, Barking And Dagenham, RM10 8PB	No response
14 Sterry Road, Dagenham, Barking And Dagenham, RM10 8PB	No response
12 Sterry Road, Dagenham, Barking And Dagenham, RM10 8PB	No response
29 Sterry Gardens, Dagenham, Barking And Dagenham, RM10 8PH	No response
1 Sterry Gardens, Dagenham, Barking And Dagenham, RM10 8PH	No response

Relevant Legislation

- The Town and Country Planning Act 1990 (as amended)
- The Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) Schedule 2, Part 1, Class A

ASSESSMENT

A. Dwellinghouse

Is the application site a Dwellinghouse?	YES
Officer comment: (if NO)	

B. Pre-Commencement and Planning Enforcement

Had works commenced on the proposed development on the date the application was submitted?	NO
Is the development proposed the subject of a related enforcement case?	NO
Officer comment: (if YES)	

C. Conservation Area (Article 2(3) land)

Is the application site located within a Conservation Area (Article 2(3) land)?	NO
Officer comment: (if YES)	

D. Permitted Development Rights

Have the relevant provisions of Schedule 2, Part 1 of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) been removed from the application site?	NO
Officer comment: (if YES)	

E. Application Clarity	
<i>Has the developer provided sufficient information to enable the authority to establish whether the proposed development complies with the relevant conditions, limitations or restrictions as detailed within the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended)?</i>	YES
<i>Officer comment: (if NO)</i>	

F. The Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) Schedule 2, Part 1, Class A Criteria	
<i>Does the proposed development comply with the relevant conditions, limitations or restrictions of Part 1, Class A of Schedule 2 to The Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended)?</i>	YES

CONCLUSION
Prior Approval Not Required
Having regard to the proposed development and further to the assessment above, Prior Approval for a 'Proposed Larger Home Extension' is not required.

LBBB Reference: 20/01914/PRIEXT

M Shahab
31 Hampton Road
Coventry
CV6 5GB

**TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND) ORDER 2015 (AS AMENDED)**

Dear Sir / Madam,

Application Number: 20/01914/PRIEXT
Address: 30 Sterry Gardens, Dagenham, Barking And Dagenham, RM10 8PH
Development Description: Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.

Thank you for your recent application at the above address on which a decision has now been made. The decision on your application is attached. Please carefully read all of the information contained in these documents.

Please quote your application reference number in any correspondence with the Council.

Yours sincerely,

[Graeme Cooke](#)

Graeme Cooke
Director of Inclusive Growth
London Borough of Barking and Dagenham

PLANNING DECISION NOTICE

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED) TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND) ORDER 2015 (AS AMENDED)

Agent: M Shahab
31 Hampton Road
Coventry CV6 5GB

Applicant: I Cotler
30 STERRY GARDENS
DAGENHAM CV6 5GB

PART 1 - PARTICULARS OF THE APPLICATION

Application Number: 20/01914/PRIEXT
Application Type: Prior Approval: Larger Home Extension
Development Description: Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.
Site Address: 30 Sterry Gardens, Dagenham, Barking And Dagenham, RM10 8PH
Date Received: 28 September 2020
Date Validated: 28 September 2020

PART 2 - PARTICULARS OF THE DECISION

The London Borough of Barking and Dagenham, as Local Planning Authority, in pursuance of its powers under the above mentioned Act, Rules, Orders and Regulations made thereunder, hereby gives notice that **PRIOR APPROVAL** is **NOT REQUIRED** for the carrying out of the proposal referred to in PART 1 hereof and as described and shown on the plan(s) and document(s) submitted with the application, subject to the conditions and reasons listed below.

Conditions:

1. The development hereby permitted shall be commenced before the expiration of three years from the date of this permission.

Reason: To comply with the requirements of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The development hereby approved shall only be carried out in accordance with the following approved plans and documents:

- Site Location Plan - Dated: 28th of September 2020
- Block Plan - Dated: 28th of September 2020
- Existing and Proposed Ground Floor Plan and Front, Rear and Side Elevation - Dated: August 2020

No other drawings or documents apply.

Reason: To ensure that the development is undertaken in accordance with the approved drawing(s) and document(s), to ensure that the finished appearance of the development will enhance the character and visual amenities of the area and to satisfactorily protect the residential amenities of nearby occupiers.

3. The materials to be used in the construction of the external surfaces of the development hereby permitted shall match those used in the existing dwellinghouse.

Reason: To ensure that the finished appearance of the development will respect the character and visual amenities of the local area.

Working with the applicant:

In dealing with this application, Be First, working in partnership with the London Borough of Barking and Dagenham, has

implemented the requirements of the National Planning Policy Framework and of the Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended) to work with the Applicant in a positive and proactive manner. As with all applicants, Be First has made available detailed advice in the form of statutory policies and all other relevant guidance, as well as offering a full pre-application advice service, so as to ensure the applicant has been given every opportunity to submit an application which is likely to be considered favourably.

DATE OF DECISION: 28/10/2020

Yours sincerely,

[Graeme Cooke](#)

Graeme Cooke

Director of Inclusive Growth

London Borough of Barking and Dagenham

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)
Applicant's Rights following the Grant or Refusal of permission

1. Appeals to the Secretary of State

Should you (an applicant/agent) feel aggrieved by the decision of the council to either refuse permission or to grant permission subject to conditions, you can appeal to the Secretary of State for the Department of Communities and Local Government – Section 78 of the Town and Country Planning Act 1990 / Sections 20 and 21 of the Planning (Listed Building and Conservation Areas) Act 1990. Any such appeal must be made within the relevant timescale for the application types noted below, beginning from the date of the decision notice (unless an extended period has been agreed in writing with the council):

- **Six (6) months:** Full application (excluding Householder and Minor Commercial applications), listed building, conservation area consent, Section 73 'variation/removal', Section 73 'minor-material amendment', extension of time and prior approval applications.
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No planning fee would be payable should a revised planning application be submitted within 12 months of the decision. This 'fee waiver' is permitted only where the new application meets the following criteria:

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3. Purchase Notices

Should either the council or the Secretary of State refuse permission or to grant permission subject to conditions, the owner may claim that the land cannot be put to a reasonably beneficial use in its existing state nor through carrying out of any development which has been or could be permitted. In such a case, the owner may serve a purchase notice on the council.

This notice will require the council to purchase the owner's interest in the land in accordance with the provisions of Part IV of the Town and Country Planning Act 1990 and Section 32 of the Planning (Listed Buildings Conservation Areas) Act 1990.

4. Compensation

In certain circumstances compensation may be claimed from the council if permission is refused or granted subject to condition(s) by the Secretary of State on appeal or on reference to the Secretary of State. These circumstances are set out in Section 114 and related provisions of the Town and Country Planning Act 1990 and Section 27 of the Planning (Listed Buildings and Conservation Areas) Act 1990.



Performance Review Sub-Committee

16th February 2021

Sample Selection Number:

998

Application Reference:

20/02023/PRIADC

Application Description:

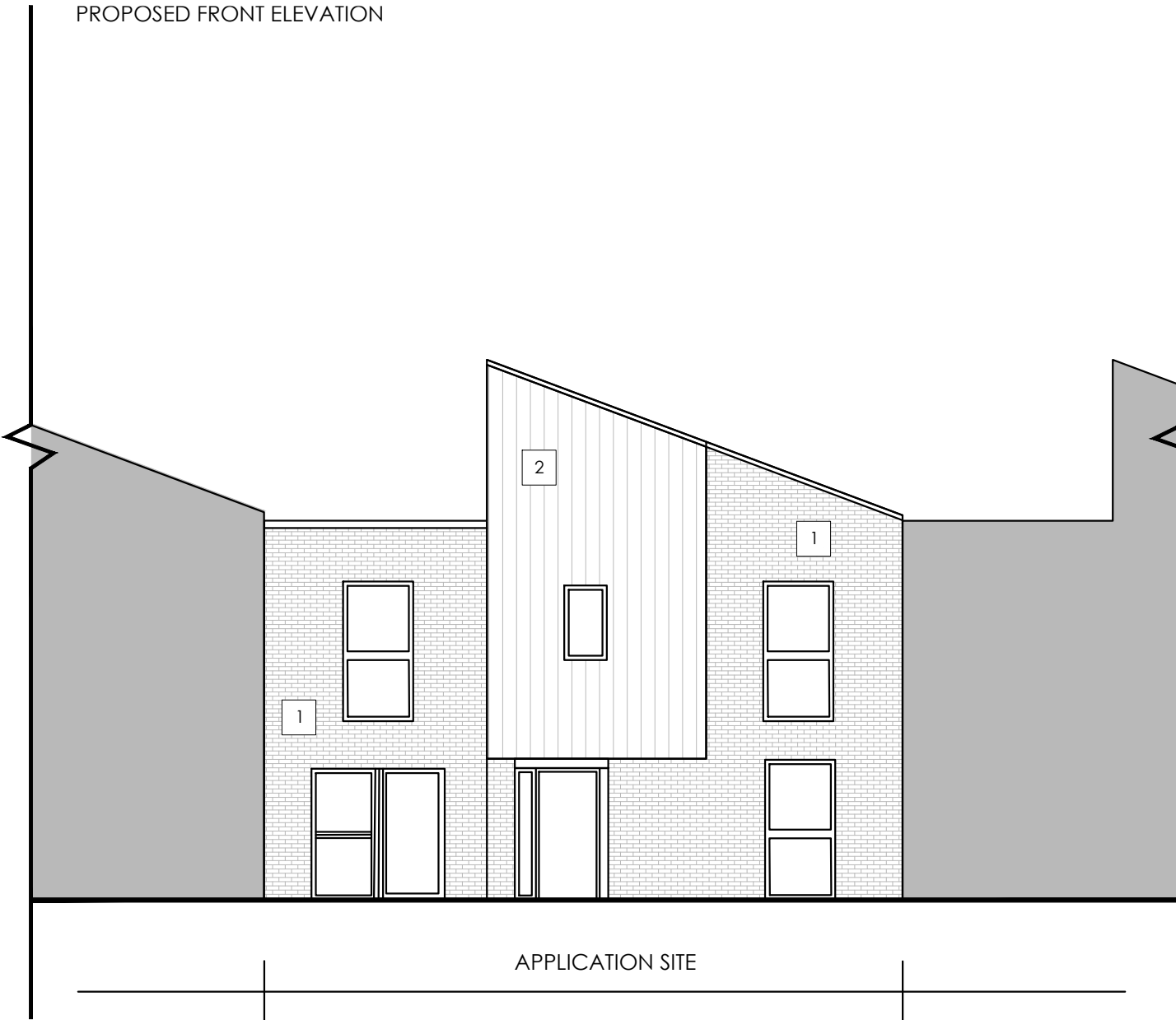
Prior notification application for the construction of new dwellinghouses on terrace buildings in use as dwellinghouses. The proposed development will create 1 new dwellinghouse and the proposed maximum height of the terraced building from the natural ground will be 12.2m.

Decision:

Refused

This drawing and the design are copyrighted. This drawing should not be copied or reproduced without written consent.
 All dimensions are to be checked thoroughly on site prior to setting out and fabrication. For construction purposes, do not scale from this drawing, use only the illustrated dimensions herein. Additional dimensions are to be requested and checked directly.
 Illustrated information from 3rd party consultants/specialists is shown as indicatively only. See other consultant / specialist drawings for full information and detail. Please note that before works commence party wall notices must be served to all neighbours.
 Dimensions stated are for guidance only. Contractor to verify all boundary positions and dimensions on site prior to commencing any works, making construction drawings or obtaining any materials. The drawing does not indicate or imply the structural condition of the existing property and drawings have been prepared for assistance in the preparation of details for planning application only.

PROPOSED FRONT ELEVATION

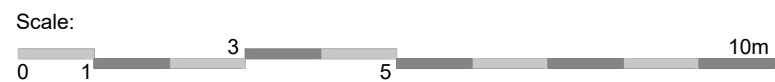


PROPOSED EAST FLANK ELEVATION



KEY

- 1 RED BRICK
- 2 RED TILE CLADDING
- 3 CLAY ROOF TILES



Revision Note & Date	Initial
Rev Date Note	

Project Title
11 Dowlatts Road, RM8 1AE

Clients Details
ACAS Traders Ltd

Drawing Title
Existing Elevations 01

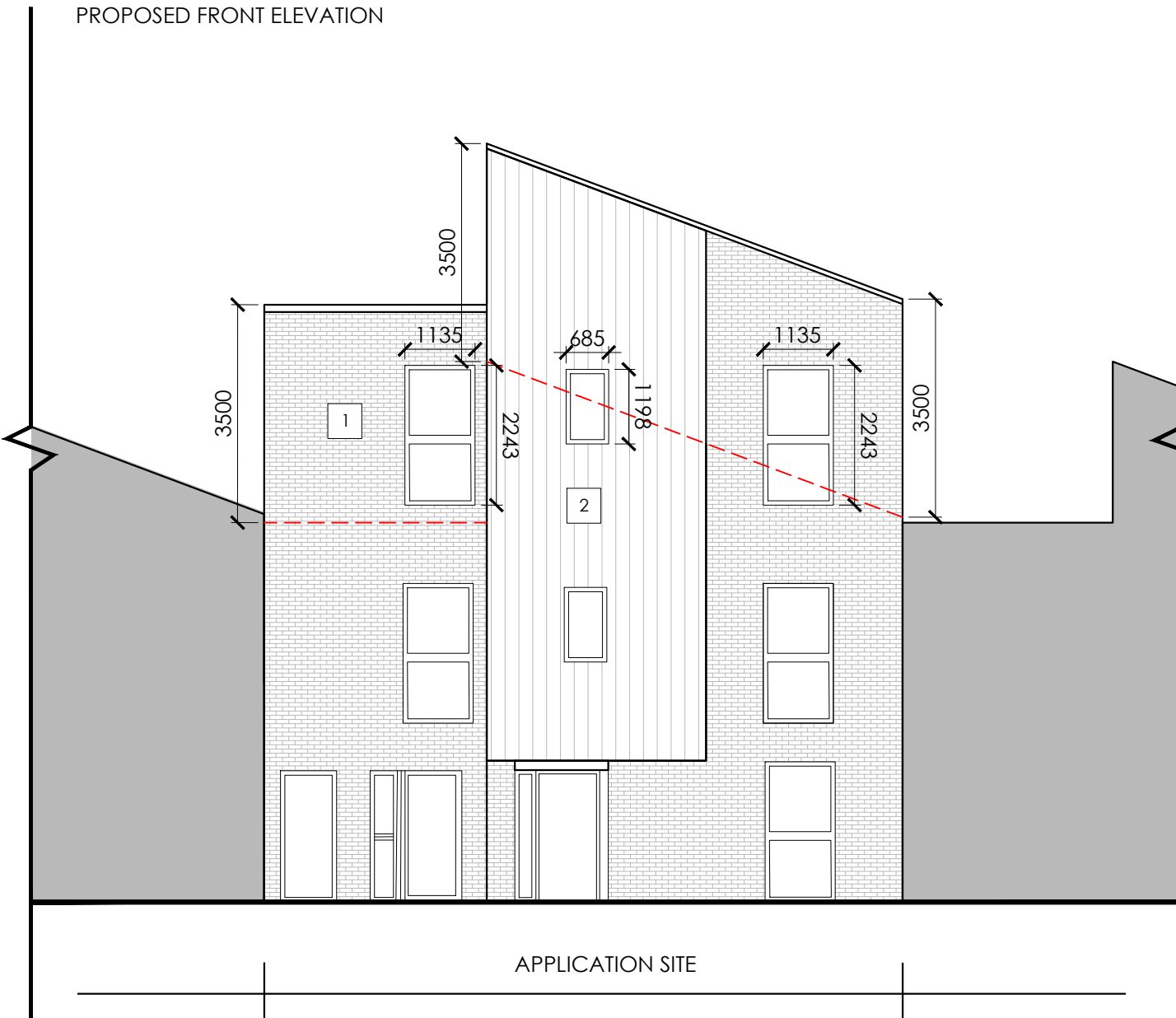
BIM Number	Scale	Date	Drawn	Checked
N/A	1:100	06.10.2020		NL

Drawing Status
PLANNING

Project Number	Drawing Number	Drawing Rev
20.103	0201	P01

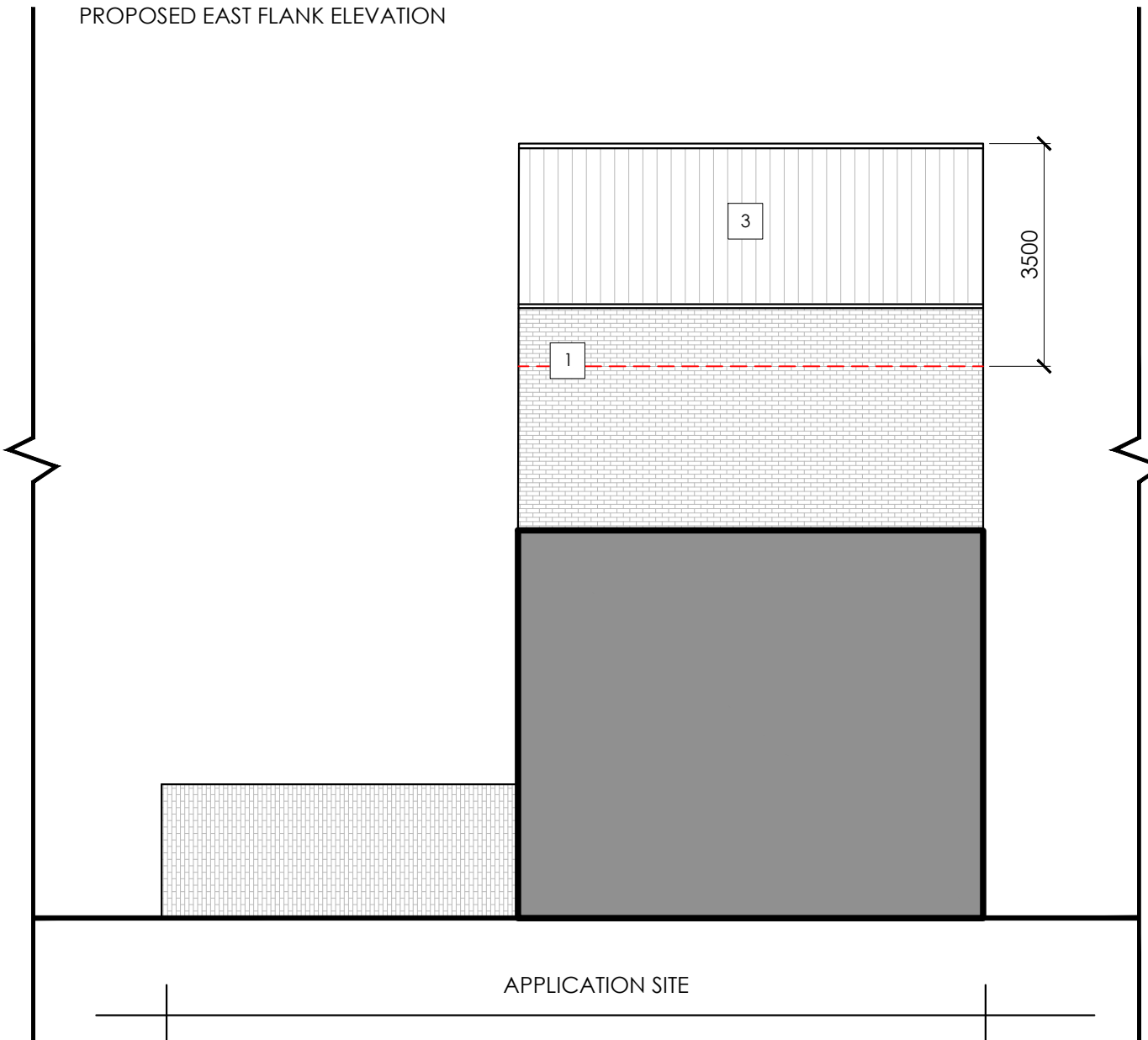
This drawing and the design are copyrighted. This drawing should not be copied or reproduced without written consent.
 All dimensions are to be checked thoroughly on site prior to setting out and fabrication. For construction purposes, do not scale from this drawing, use only the illustrated dimensions herein. Additional dimensions are to be requested and checked directly.
 Illustrated information from 3rd party consultants/specialists is shown as indicative only. See other consultant / specialist drawings for full information and detail. Please note that before works commence party wall notices must be served to all neighbours.
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PROPOSED FRONT ELEVATION



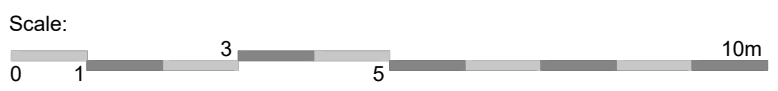
NOTE: ALL PROPOSED MATERIALS TO MATCH EXISTING

PROPOSED EAST FLANK ELEVATION



NOTE: ALL PROPOSED MATERIALS TO MATCH EXISTING

- KEY
- EXISTING ROOFLINE
 - 1 RED BRICK
 - 2 RED TILE CLADDING
 - 3 CLAY ROOF TILES



Rev	Date	Note	Initial

Project Title			
11 Dowllets Road, RM8 1AE			
Clients Details			
ACAS Traders Ltd			
Drawing Title			
Proposed Elevations 01			
BIM Number			
N/A			
Scale	Date	Drawn	Checked
1:100	06.10.2020	NL	NL
Drawing Status			
PLANNING			
Project Number	Drawing Number	Drawing Rev	
20.103	0203	P01	


**Delegated Report
Notification for Prior Approval for the erection of new dwellinghouses on terrace buildings in use as dwellinghouses**

Schedule 2, Part 20, Class AC of The Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended)

Case Officer:	Lauren Carroll	Valid Date:	13/10/2020
Officer Recommendation:	Prior Approval is: • Required and Refused	Expiry Date:	08/12/2020
Application Reference:	20/02023/PRIADC	Recommendation Date:	04/12/2020
Address:	11 Dowletts Road, Dagenham, Barking And Dagenham, RM8 1FJ		
Proposal:	<i>Prior notification application for the construction of new dwellinghouses on terrace buildings in use as dwellinghouses. The proposed development will create 1 new dwellinghouse and the proposed maximum height of the terraced building from the natural ground will be 12.2m.</i>		

Neighbour Notification:

Date Letter Sent:	19/10/2020 (78 Letters Issued)
Address:	Summary of response:
Councillor for Whalebone Lane	<ol style="list-style-type: none"> 1. The property owner intending to extend and add an additional dwelling would be in breach of the covenants which were agreed to as part of the property purchase. Under the Land Registry Transfer document, the Third Schedule entitled (Covenants, Restrictions, Conditions and Stipulations), clearly states the following under point #2: "NOT to erect more than one dwelling on the Property or any part thereof 2. Disruption to neighbouring properties during construction of an additional storey 3. Uniformity of Lymington Mews – detrimental to the street scene and set a precedent for the area 4. Detrimental impact on the parking demand for the Lymington Mews Estate 5. Impact on the amenities to neighbouring properties at the rear of the application site

Assessment

A.	Terraced building in use as a dwellinghouse	
	<i>Is the application site a Terraced building in use as a dwellinghouse?</i>	YES
	<i>Officer comment: (if NO)</i>	
B.	Pre-Commencement & Planning Enforcement	
	<i>Have works commenced on site (all or in part) in relation to that proposed?</i>	NO
	<i>Is the application site the subject of a related enforcement case?</i>	NO
	<i>Officer comment: (if YES)</i>	
C.	Conservation Area (Article 2(3) land) AC.1(n)	
	<i>Is the application site located within a Conservation Area (Article 2(3) land)?</i>	NO
	<i>Officer comment: (if YES)</i>	
D.	Permitted Development Rights	
	<i>Have the provisions of Schedule 2, Part 20, Class AC of The Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) been removed from the application site?</i>	NO
	<i>Officer comment: (if YES)</i>	
E.	Application Clarity	
	<i>Has the developer provided sufficient information to enable the authority to establish whether the proposed development complies with the conditions, limitations or restrictions applicable to development permitted by Class AC?</i>	YES
	<i>Officer comment: (if NO)</i>	
F.	The Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended by The Town and Country Planning (General Permitted Development) (England) (Amendment) (No. 2) Order 2020) Schedule 2, Part 20, Class AC.1 & AC.2 (2) Criteria	
	<i>Does the proposed development comply with the conditions, limitations or restrictions of The Town and Country Planning (General Permitted Development) (England) (Amendment) (No. 2) Order 2020) Schedule 2, Part 20, Class AC.1 & A.C2 (2) Criteria</i>	YES
	<i>(If NO) Which conditions, limitations or restrictions of The Town and Country Planning (General Permitted Development) (England) (Amendment) (No. 2) Order 2020) Schedule 2, Part 20, Class AC.1 & AC.2 (2) Criteria does the proposed development fail to comply with?</i>	
	<i>Conditions, limitations or restrictions</i>	<i>Officer comment:</i>
	e.g Class AC.1(a)	The Becontree estate is a large inter-war housing development which was substantially completed in 1935

G.	The Town and Country Planning (General Permitted Development) (England) (Amendment) (No. 2) Order 2020) Schedule 2, Part 20, Class AC.2 (1) Criteria	
AC.2 (1) (e) Criteria		
Consideration of the external appearance of the building including the design and architectural feature of- (aa) the principle elevation of the building and (bb) any side elevation of the building that fronts a highway		
<i>Does the proposed architectural design and features to the principal elevation of the building respect the character and appearance of the existing building and streetscene?</i>		NO
<i>Does the proposed architectural design and features to any side elevation (that fronts a highway) of the building respect the character and appearance of the existing building and streetscene?</i>		NO
Officer comment:	<p>Paragraphs 127 and 128 of the NPPF (2019) outline that planning policies and decisions should aim to ensure that developments function well and add to the overall quality of an area not just for the short term, but over the lifetime of the development. Paragraph 130 advises that permission should be refused for development of poor design that fails to take the opportunities available for improving the character and quality of an area and the way it functions.</p> <p>The London Plan (2016) Policy 7.1 states that the design of new developments and the spaces they create should help reinforce the character of the neighbourhood. Policy 7.4 requires development to have regard to the form, function and structure of an area, place or street and the scale, mass and orientation of surrounding buildings and other forms of development. It is required that in areas of poor, or ill-defined, character, new development should build on the positive existing elements that can contribute to establishing an enhanced character for the future function of the area. Policy 7.6 seeks the highest quality materials and design appropriate to its context. It is advised that the buildings and structures should be of the highest architectural quality and comprise details and materials that complement the local architectural character. Draft London Plan (2019) Policy D1 has regard to London's form, character and capacity for growth and details that development should reflect the characteristics, qualities and values of different places and consider housing types and tenures, urban form and structure and ultimately follow a design-led approach. Further, Policy D4 of the Draft London Plan (2019) discusses the need for good design to be thoroughly scrutinised at application stage, including elements relating to layout, scale, density, landuses, materials, detailing and landscaping. Policy CP3 of the Core Strategy outlines that development proposals shall achieve high quality standards in relation to the design and layout of new developments. It further notes that developments should respect and strengthen local character and history and provide a sense of place.</p> <p>This is further supported by policy BP11 of the Borough Wide DPD and Policies SP2, DMD1 and DMD6 of the Draft Local Plan (Regulation 19 Consultation version, October 2020) which requires development to recognise and celebrate local character and use local context to inform detail, materials and landscape. Further they support proposed development which makes a positive contribution to the surrounding area with high quality design which is sympathetic to the design of the original dwelling with regards to scale, form, materials and detailing.</p> <p>The application site is built upon the Lymington Fields Development under Planning application 14/00293/FUL. Officer's note that Permitted Development Rights have not been removed from the application site. All the dwellinghouses on Dowlett Road are uniform in architecture & height and have a sloped roof design which is characteristic of the development.</p>	

	<p>Officers acknowledge comments from the Councillor of Whalebone lane regarding the design of the proposed development.</p> <p>The proposed additional two storeys to the dwellinghouse would remove the uniformity of the street and appear incongruent in design. All the homes have a similar look and feel, irrespective of whether the house is owner-occupied, shared-ownership or rented. Whilst officers acknowledge that the proposed additional dwellinghouse would have the same roof design and façade treatment as the existing dwellinghouse, the scale and massing of the proposal fails to respect the suburban nature of the surroundings.</p> <p>Furthermore, by granting this application, it may set a precedence for which other occupiers may seek to take advantage of and could potentially create a negative ripple effect.</p> <p>To Conclude, as the proposal is not sympathetic to the design of the original dwelling with regards to scale, form, materials, and detailing, it is recommended that the application be refused.</p>
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AC.2 (1)(f) Criteria
Consideration of the quality of accommodation the new flats will provide.

<i>Does the proposal provide adequate natural light in all habitable rooms of the new dwellinghouses?</i>	YES
<i>Officer comment:</i>	Insert officer comment here if 'no' to any of the above

AC.2 (1) (g) Criteria
Consideration of the impact on the amenity of any adjoining premises including overlooking, privacy and the loss of light:

<i>Is the proposed development neighbourly with respect to overlooking and privacy issues?</i>	NO
<i>Is the proposed development neighbourly with respect to maintaining adequate levels of light?</i>	NO

	address	address	address		address	address	address
Overlooking and Privacy:				Loss of Light and Overshadowing:			
Harm to habitable rooms?				Harmful loss of light or overshadowing to habitable rooms?			
<i>Is it unacceptable?</i>				<i>Is it unacceptable?</i>			
Harm to private amenity (gardens)?				Harmful loss of light or overshadowing to private amenity (gardens)?			
<i>Is it unacceptable?</i>				<i>Is it unacceptable?</i>			

<i>Officer comment:</i>	Include reference here within your wider assessment to include any comments received from neighbours.
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AC.2 (1) (a), (b), (c), (d) and (h) Criteria	
Consideration of; a. Transport and highway impact on the development; b. air traffic and defence asset impacts of the development; and c. contaminated risks in relation to the building; d. flooding risks in relation to the building h. Protected Vistas	
<i>Does the proposed development raise concerns with respect to the transport and highway impacts of the development?</i>	NO
<i>Does the proposed development raise any concerns with respect to air traffic and defence asset impacts of the development?</i>	NO
<i>Does the proposed development raise concerns with respect to contamination risks in relation to the building?</i>	NO
<i>Does the proposed development raise concerns with respect to the flooding risks in relation to the building?</i>	NO
<i>Does the proposed development raise any concerns with respect to whether, as a result of the siting of the building, the development will impact on a protected view identified in the Directions Relating to Protected Vistas dated 15th March 2012(1) issued by the Secretary of State;</i>	NO
Officer comment:	Insert officer comment here if 'no' to any of the above

Conclusions:

Prior Approval Required and Refused	
G.	Local Character
	and Refused
<p>Having regard to the proposed development and further to the assessment above in relation to architectural design and features of the principal elevation and side elevation side elevation (that fronts a highway), it is considered that the proposed development would have a detrimental impact upon the character of the dwellinghouse and the wider streetscene. As such, having regard to the policies below, Prior Approval for an 'enlargement of a dwellinghouse by construction of additional storeys' is required and refused.</p> <ul style="list-style-type: none"> • National Planning Policy Framework (MHCLG, February 2019) • Policies 7.4 and 7.6 of The London Plan (March 2016) • Policy CP3 of the LDF Core Strategy (July 2010) • Policies BP11 of the LDF Borough Wide Development Plan Policies DPD (March 2011) • The Residential Extensions and Alterations Supplementary Planning Document (February 2012) • Policies SP2, SP4, DMD1 and DMD6 of the Draft Local Plan (Regulation 19 Consultation version, October 2020). 	

Officer Recommendation:	Prior Approval is: <ul style="list-style-type: none"> • Required and Refused
--------------------------------	--

LBBD Reference: 20/02023/PRIADC

Naomi Lee

**TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND) ORDER 2015 (AS AMENDED)**

Dear Sir / Madam,

Application Number: 20/02023/PRIADC
Address: 11 Dowletts Road, Dagenham, Barking And Dagenham, RM8 1FJ
Development Description: Prior notification application for the construction of new dwellinghouses on terrace buildings in use as dwellinghouses. The proposed development will create 1 new dwellinghouse and the proposed maximum height of the terraced building from the natural ground will be 12.2m.

Thank you for your recent application at the above address on which a decision has now been made. The decision on your application is attached. Please carefully read all of the information contained in these documents.

Please quote your application reference number in any correspondence with the Council.

Yours sincerely,

[Graeme Cooke](#)

Graeme Cooke
Director of Inclusive Growth
London Borough of Barking and Dagenham

PLANNING DECISION NOTICE

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED) TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND) ORDER 2015 (AS AMENDED)

Agent: Naomi Lee **Applicant:** Arshad Bhatti

PART 1 - PARTICULARS OF THE APPLICATION

Application Number: 20/02023/PRIADC
Application Type: Prior Approval: new dwellinghouses on terrace buildings in use as dwellinghouses
Development Description: Prior notification application for the construction of new dwellinghouses on terrace buildings in use as dwellinghouses. The proposed development will create 1 new dwellinghouse and the proposed maximum height of the terraced building from the natural ground will be 12.2m.
Site Address: 11 Dowletts Road, Dagenham, Barking And Dagenham, RM8 1FJ
Date Received: 13 October 2020
Date Validated: 13 October 2020

PART 2 - PARTICULARS OF THE DECISION

The London Borough of Barking and Dagenham, as Local Planning Authority, in pursuance of its powers under the above mentioned Act, Rules, Orders and Regulations made thereunder, hereby gives notice that PRIOR APPROVAL is **REQUIRED AND REFUSED** for the carrying out of the proposal referred to in PART 1 hereof and as described and shown on the plan(s) and document(s) submitted with the application, for the reason(s) listed below.

Reason(s):

1. Having regard to the proposed development and further to the assessment above in relation to **architectural design and features of the principal elevation and side elevation side elevation (that fronts a highway)**, it is considered that the proposed development would have a detrimental impact upon the character of the dwellinghouse and the wider streetscene. As such, having regard to the policies below, Prior Approval for an 'enlargement of a dwellinghouse by construction of additional storeys' is required and refused.

- National Planning Policy Framework (MHCLG, February 2019)
- Policies 7.4 and 7.6 of The London Plan (March 2016)
- Policy CP3 of the LDF Core Strategy (July 2010)
- Policies BP11 of the LDF Borough Wide Development Plan Policies DPD (March 2011)
- The Residential Extensions and Alterations Supplementary Planning Document (February 2012)
- Policies SP2, SP4, DMD1 and DMD6 of the Draft Local Plan (Regulation 19 Consultation version, October 2020).

Informative(s):

1. The application hereby refused has been considered against the following plan(s) and/or document(s) submitted with the application:

- 103 - Proposed Ground Floor Plan - 06/10/2020
- 104 - Proposed Second Floor Plan - 06/10/2020
- 203 - Proposed Elevations - 06/10/2020
- 204 - Proposed Elevations - 06/10/2020
- Site Location Plan

Working with the applicant:

In dealing with this application, Be First, working in partnership with the London Borough of Barking and Dagenham, has implemented the requirements of the National Planning Policy Framework and the Town and Country Planning (Development Management Procedure) (England) Order 2015 to work with the applicant in a positive and proactive manner based on seeking solutions to problems arising in relation to dealing with the planning application. As with all applicants, Be First has made available detailed advice in the form of statutory policies and all other relevant guidance, as well as offering a full pre-application advice service, so as to ensure the applicant has been given every opportunity to submit an application which is likely to be considered favourably. The necessary amendments to make the application acceptable are substantial and would materially change the proposal. They would require further consultations to be undertaken prior to determination, which could not take place within the statutory determination period specified by the Department of Communities and Local Government. You are therefore encouraged to consider submission of a fresh application incorporating material amendments such as to satisfactorily address the reasons for refusal attached.

DATE OF DECISION: 07/12/2020

Yours sincerely,

[Graeme Cooke](#)**Graeme Cooke**

Director of Inclusive Growth

London Borough of Barking and Dagenham

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)
Applicant's Rights following the Grant or Refusal of permission

1. Appeals to the Secretary of State

Should you (an applicant/agent) feel aggrieved by the decision of the council to either refuse permission or to grant permission subject to conditions, you can appeal to the Secretary of State for the Department of Communities and Local Government – Section 78 of the Town and Country Planning Act 1990 / Sections 20 and 21 of the Planning (Listed Building and Conservation Areas) Act 1990. Any such appeal must be made within the relevant timescale for the application types noted below, beginning from the date of the decision notice (unless an extended period has been agreed in writing with the council):

- **Six (6) months:** Full application (excluding Householder and Minor Commercial applications), listed building, conservation area consent, Section 73 'variation/removal', Section 73 'minor-material amendment', extension of time and prior approval applications.
- **Twelve (12) weeks:** Householder planning, Householder prior approval and Minor Commercial applications.
- **Eight (8) weeks:** Advertisement consent applications.
- **No timescale:** Certificate of lawful development (existing/proposed) applications.

Where an enforcement notice has been issued the appeal period may be significantly reduced, subject to the following criteria:

- The development proposed by your application is the same or substantially the same as development that is currently the subject of an enforcement notice: **28 days of the date of the application decision.**
- An enforcement notice is served **after the decision on your application** relating to the same or substantially the same land and development as in your application and if you want to appeal against the council's decision you are advised to appeal against the Enforcement Notice and to do so before the Effective Date stated on the Enforcement Notice.

Appeals must be made using the prescribed form(s) of The Planning Inspectorate (PINS) obtained from www.planning-inspectorate.gov.uk or by contacting 03034445000. A copy of any appeal should be sent both to PINS and the council (attn: Planning Appeals Officer).

The Secretary of State can allow a longer period for giving notice of an appeal but will not normally be prepared to use this power unless there are exceptional/special circumstances.

The Secretary of State can refuse to consider an appeal if the council could not have granted planning permission for the proposed development or could not have granted it without the conditions it imposed, having regard to the statutory requirements and provisions of the Development Order and to any direction given under the Order. In practice, it is uncommon for the Secretary of State to refuse to consider appeals solely because the council based its decision on a 'direction given by the Secretary of State'.

2. Subsequent Application Fees

No planning fee would be payable should a revised planning application be submitted within 12 months of the decision. This 'fee waiver' is permitted only where the new application meets the following criteria:

- the applicant is the same as the applicant of the original application
- site boundary is the same as the site boundary of the original application
- the nature of development remains the same.

3. Purchase Notices

Should either the council or the Secretary of State refuse permission or to grant permission subject to conditions, the owner may claim that the land cannot be put to a reasonably beneficial use in its existing state nor through carrying out of any development which has been or could be permitted. In such a case, the owner may serve a purchase notice on the council.

This notice will require the council to purchase the owner's interest in the land in accordance with the provisions of Part IV of the Town and Country Planning Act 1990 and Section 32 of the Planning (Listed Buildings Conservation Areas) Act 1990.

4. Compensation

In certain circumstances compensation may be claimed from the council if permission is refused or granted subject to condition(s) by the Secretary of State on appeal or on reference to the Secretary of State. These circumstances are set out in Section 114 and related provisions of the Town and Country Planning Act 1990 and Section 27 of the Planning (Listed Buildings and Conservation Areas) Act 1990.



Performance Review Sub-Committee

16th February 2021

Sample Selection Number:

1120

Application Reference:

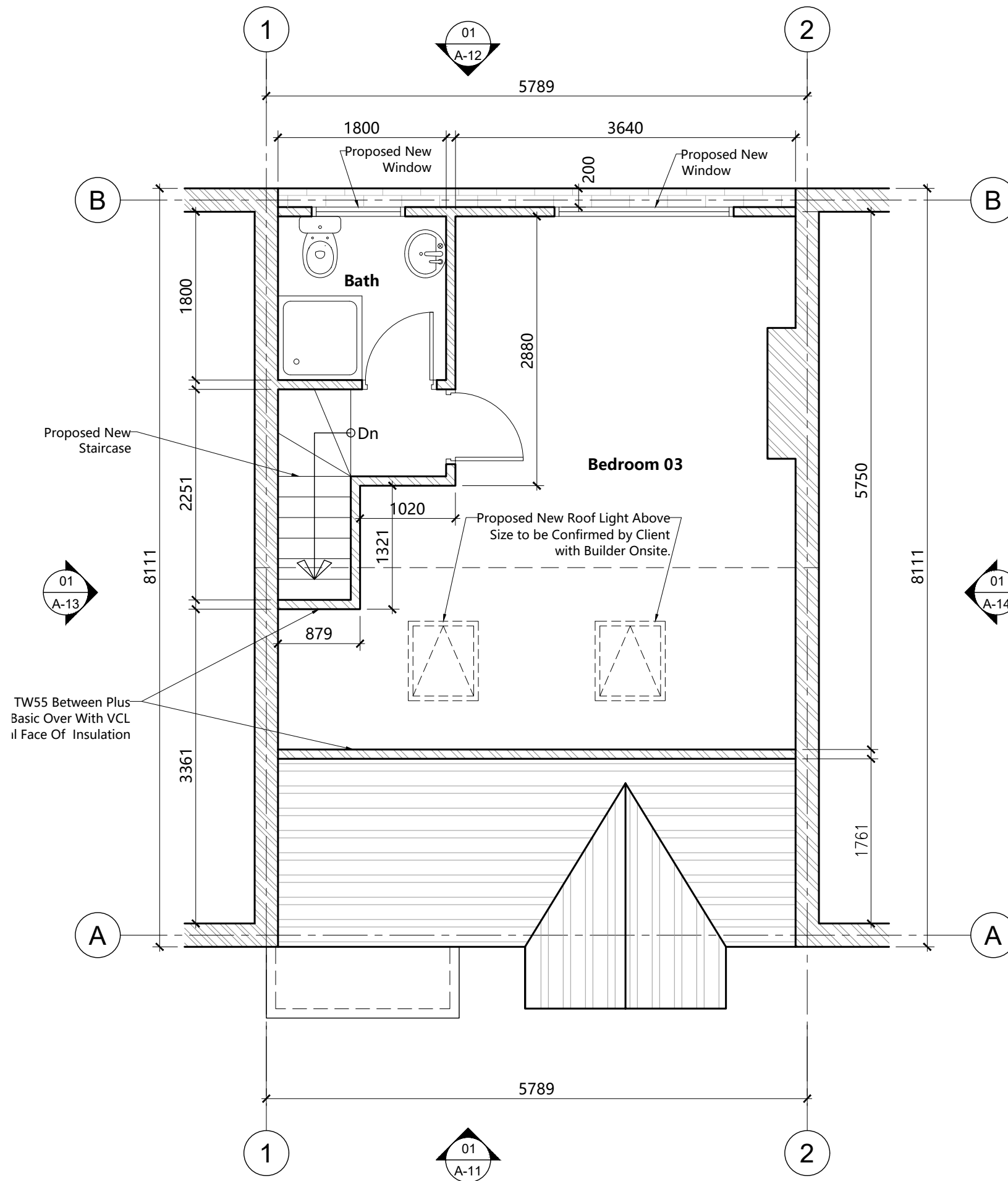
20/02158/CLUP

Application Description:

Application for a lawful development certificate (proposed) for the construction of a rear dormer extension including two roof lights to the front to facilitate conversion of roof space into habitable accommodation.

Decision:

Approved



GENERAL NOTES

- DIMENSIONS**
All dimensions and suitability of existing effected walls, lintels, beams and foundations to be checked on site prior to commencement. Contractor to check site thoroughly & report any discrepancies.
- MATERIALS.**
All materials & workmanship to be carried out in accordance with the relevant British Standards Codes of practice, Specification & Building Regulations.
- PARTYWALL ACT 1996 etc.**
It is owner's / client's responsibility to fullfill thier duty under this act. Under the terms and conditions of the above act It will be necessary fo a PaKywa!! notice to be served on the adjoining neighbouring property. No part of new works i.e. Foundations Walls or Roofs to oversail the boundary.
- CDM REGULATIONS HEALTH & SAFETY**
It is owner's / client's responsibility to fu l fil thier duty under this act. Under the terms and conditions of the above act It will be necessary fo an appointment of CDM coordinator for any works lasting more than 30 days.
- VENTILATION**
Habitable rooms to have minimum th floor area openabl e windows/ doors for ventilation
Windows to habitable rooms to be fitted with trickle vents in frames giving 8000sq mm background ventillation. Bathroom to have mechanical extract fan providing 15 litres per second extract rate.
- WINDOWS / DOORS**
New windows to be double glazed to suit clients requirements. Any glazing to windows below 800mm from floor level to be glazed with glass only to BS 6206.
- RAIN WATER GOODS.**
Half round 100mm diameter P.V.C gutters and 63mm down pipe discharging to lower roof.
- DRAINS / MANHOLES.**
Any drains / manholes discovered on site that are not shown on drawings must immediately be brought to engineer's attention.

FIRE PRECUATION WORKS.
Door to second floor bedroom to be 2 hr Fire Resistant with 'Perko' Closer.
API other doors to stair enclosure to be fitted with Perko Closets (doors marked only).
Ground First and Second floor landing to be fitted with electrically operated smoke detectors linked back to fuse board and together. (optical type).
Velux escape window to front installed as noted.
All steel beams to be painted with intumescent paint giving min. 2 Nr fire resistance. All steel to be in accordance to BS 449. All steel to be painted with 2 coats of Zinc rich primer before erection. All structural wood to be of specified grade. Notches and Notes in structural timber to be in accordance with BS

Proposed Loft Plan
Single Dormer Loft Conversion

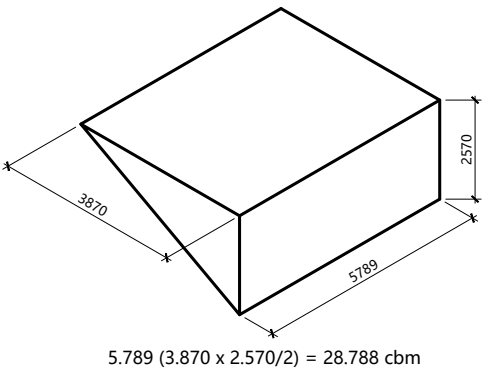
ISSUE DATE	AMMENDMENT	BY
A	08.10.20 DA ISSUE	SA



client : xxxxxx
project : Rear loft Conversion
address : 21 Beresford Gardens, Chadwell Heath RM6 6RX

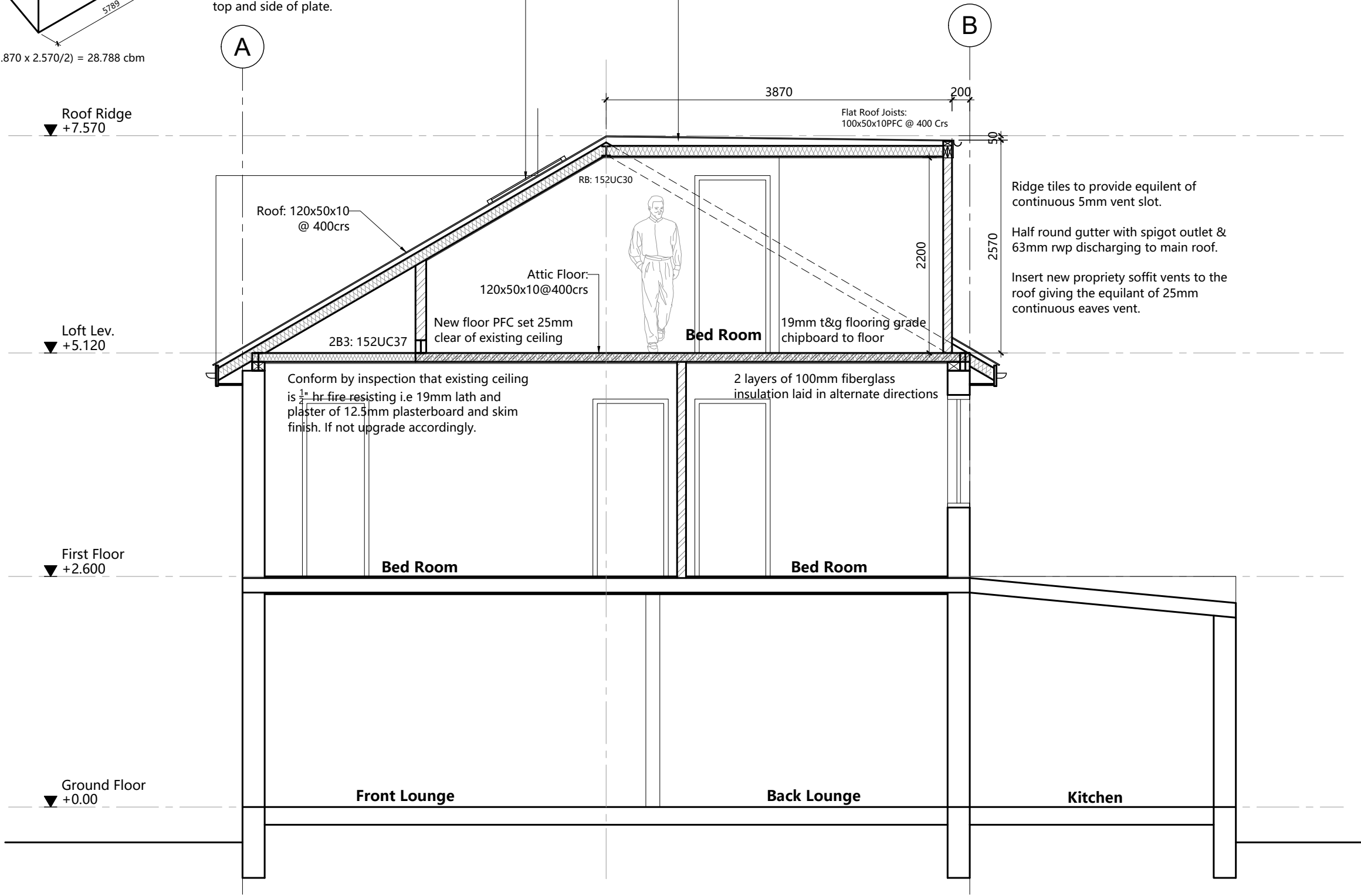
drawing no : 21_BGC_PD_05
issue :
date : 08/10/2020





Insulation to be 100mm Celotex between rafters with 40mm across underside of the rafters with vapour control barrier and 15mm Plasterboard to underside. Double up joist and bolt together rafters each side of new Velux windows to trim new openings. S.W Plates fixed into webb of steel beam above and below proprietary heavy duty joist hangers screwed to top and side of plate.

Roof
12mm mineral chippings bedded in hot bitumen on 3 layer built up roofing fell to BS747 & laid in accordance with CP144:Pt2; 1st layer to be Bituglas perforated underlay; 2nd layer of Hyperbase underlay & top layer of Supaflex all from Permanite Ltd. Allow for 75x75mm SW fillets & min 150mm felt upstand to all abutments with walls, etc. with min 50mm lead flashing cover over. All fixed directly over 120mm thick Celotex EL 3000 or similar approved (**achieves U-value of 0.18W/m2K**) fitted fully in accordance with manufacturers instructions laid on SW furring pieces to min 1:80 fall. 100x50x10 PFC @ 400mm/c. Joists spanning over 2.0m to have herringbone strutting at mid span. Joists twice slew mailed to wall plates and/or fully nailed in galvanized steel joist hangers. 12.5mm plasterboard ceiling with plaster skim finish.



GENERAL NOTES

- DIMENSIONS**
All dimensions and suitability of existing effected walls, lintels, beams and foundations to be checked on site prior to commencement. Contractor to check site thoroughly & report any discrepancies.
- MATERIALS.**
All materials & workmanship to be carried out in accordance with the relevant British Standards Codes of practice, Specification & Building Regulations.
- PARTYWALL ACT 1996 etc.**
It is owner's / client's responsibility to fullfil thier duty under this act. Under the terms and conditions of the above act It will be necessary fo a PaKywa!! notice to be served on the adjoining neighbouring property. No part of new works i.e. Foundations Walls or Roofs to oversail the boundary.
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It is owner's / client's responsibility to fu lfil thier duty under this act. Under the terms and conditions of the above act It will be necessary fo an appointment of CDM coordinator for any works lasting more than 30 days.
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- WINDOWS / DOORS**
New windows to be double glazed to suit clients requirements. Any glazing to windows below 800mm from floor level to be glazed with glass only to BS 6206.
- RAIN WATER GOODS.**
Half round 100mm diameter P.V.C gutters and 63mm down pipe discharging to lower roof.
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Proposed Section
Single Dormer Loft Conversion

ISSUE DATE	AMMENDMENT	BY
A	08.10.20 DA ISSUE	SA



client : xxxxxx
project : Rear Loft Conversion
address : 21 Beresford Gardens, Chadwell Heath RM6 6RX

drawing no : 21_BGC_PD_15
issue :
date : 08/10/2020



Delegated Report

Application for a Lawful Development Certificate for a Proposed Use or Development

Case Officer:	Orla Bermingham	Valid Date:	02 November 2020
Officer Recommendation:	Lawful	Expiry Date:	28 December 2020
Application Number:	20/02158/CLUP	Recommended Date:	03 November 2020
Address:	21 Beresford Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 6RX		
Proposal:	Application for a lawful development certificate (proposed) for the construction of a rear dormer extension including two roof lights to the front to facilitate conversion of roof space into habitable accommodation.		

Relevant Planning History

Application Number:	20/02129/PRIEXT	Status:	Pending
Description:	<i>Prior notification application for the construction of a single storey rear extension: The proposed extension will extend beyond the rear wall by 6.0m, The maximum height of the proposed extension from the natural ground level is 3.0m, The height at eaves level of the proposed extension measured from the natural ground level is 3.0m</i>		

Relevant Legislation

- The Town and Country Planning Act 1990 (as amended)
- The Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) Schedule 2, Part 1, Classes **B and C** Criteria

ASSESSMENT

A. Dwellinghouse

<i>Is the application site a Dwellinghouse?</i>	YES
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B. Pre-Commencement Planning Enforcement

<i>Had works commenced on the proposed development on the date the application was submitted?</i>	NO
<i>Is the development proposed the subject of a related enforcement case?</i>	NO

C. Permitted Development Rights

<i>Have the relevant provisions of Schedule 2, Part 1 of the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) been removed from the application site?</i>	NO
--	-----------

D. Application Clarity

<i>Has the developer provided sufficient information to enable the authority to establish whether the proposed development complies with the relevant conditions, limitations or restrictions as detailed within the Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended)?</i>	NO
---	-----------

Officer Comments: The front rooflights must not protrude more than 0.15 metres beyond the plane of the slope of the original roof when measured from the perpendicular with the external surface of the original roof, to be in accordance with the requirements of Class C.1.b of the Town and Country Planning (General Permitted Development) Order 2015.

E. The Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) Schedule 2, Part 1, Classes B and C Criteria

<i>Does the proposed development comply with the relevant conditions, limitations or restrictions of The Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended)?</i>	YES
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CONCLUSION

Grant a Certificate of Lawful Development

It has been demonstrated to the satisfaction of the Local Planning Authority that the use or operations described in the application would be lawful within the meaning of S192 of the Town and Country Planning Act 1990 (as amended) if instituted or begun at the time of the application.

Bilal Ahmad
63 Castleton Road, Walthamstow, London, E17 4AR

**TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND) ORDER 2015 (AS AMENDED)**

Dear Sir / Madam,

Application Number: 20/02158/CLUP
Address: 21 Beresford Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 6RX
Development Description: Application for a lawful development certificate (proposed) for the construction of a rear dormer extension including two roof lights to the front to facilitate conversion of roof space into habitable accommodation.

Thank you for your recent application at the above address on which a decision has now been made. The decision on your application is attached. Please carefully read all of the information contained in these documents.

Please quote your application reference number in any correspondence with the Council.

Yours sincerely,

[Graeme Cooke](#)

Graeme Cooke
Director of Inclusive Growth
London Borough of Barking and Dagenham

PLANNING DECISION NOTICE

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED) TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND) ORDER 2015 (AS AMENDED)

Agent: Bilal Ahmad
63 Castleton Road, Walthamstow, London,
E17 4AR

Applicant: Yasser Din
21 Beresford Gardens, Chadwell Heath,
Romford, Barking And Dagenham, RM6
6RX

PART 1 - PARTICULARS OF THE APPLICATION

Application Number: 20/02158/CLUP
Application Type: Lawful Development Certificate (Proposed Use)
FIRST SCHEDULE (Use / Development / Matter): Application for a lawful development certificate (proposed) for the construction of a rear dormer extension including two roof lights to the front to facilitate conversion of roof space into habitable accommodation.
SECOND SCHEDULE (Site Address): 21 Beresford Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 6RX
Date Received: 02 November 2020
Date Validated: 02 November 2020

PART 2 - PARTICULARS OF THE DECISION

The London Borough of Barking and Dagenham, as Local Planning Authority, in pursuance of its powers under the above mentioned Act, Rules, Orders and Regulations made thereunder, hereby certifies that the use / development / matter described in the FIRST SCHEDULE to this certificate in respect of the land specified in the SECOND SCHEDULE and as identified on the plans specified below **WAS LAWFUL ON 02 November 2020** within the meaning of Section 191 of the Town and Country Planning Act 1990 for the following reason(s):

Reason(s):

1. The proposed development complies with the requirements of Classes B and C of the Town and Country Planning (General Permitted Development) Order 2015.

Plan(s) and Informative(s):

1. This certificate is granted in respect of development to be carried out in accordance with the following plan(s) and/or document(s) submitted with the application ONLY:

- 21-BGC-PD-11 - Proposed Front Elevation - 08/10/2020
- 21-BGC-PD-12 - Proposed Rear Elevation - 08/10/2020
- 21-BGC-PD-13 - Proposed Left Side Elevation - 08/10/2020
- 21-BGC-PD-14 - Proposed Right Side Elevation - 08/10/2020
- 21-BGC-PD-15 - Proposed Section - 08/10/2020
- 21-BGC-PD-16 - Proposed Loft Plan - 08/10/2020

2. The materials used in any exterior work (other than materials used in the construction of a conservatory) must be of a similar appearance to those used in the construction of the exterior of the existing dwellinghouse. This is in order to comply with the conditions imposed by the Town and Country Planning (General Permitted Development) Order 2015 (as amended).

3. The front rooflights must not protrude more than 0.15 metres beyond the plane of the slope of the original roof when measured from the perpendicular with the external surface of the original roof, to be in accordance with the requirements of Class C.1.b of the Town and Country Planning (General Permitted Development) Order 2015.

NOTES

1. This certificate is issued solely for the purpose of section 192 of the Town and Country Planning Act 1990.
2. It certifies that the use / operations / matter specified in the FIRST SCHEDULE taking place on the land described in the SECOND SCHEDULE was / were / would have been lawful on the specified date, and therefore was not / were not / would not have been liable to enforcement action under section 172 of the Town and Country Planning Act 1990 on that date.
3. This certificate only applies to the extent of the use / operations / matter described in the FIRST SCHEDULE and to the land specified in the SECOND SCHEDULE as identified on the plans specified above. Any use / operations / matter which is / are materially different from that described in the FIRST SCHEDULE, or relating to land other than that specified in the SECOND SCHEDULE, may render the owner or occupier liable to enforcement action.
4. The effect of the certificate is also qualified by the provision in section 192(4) of the Town and Country Planning Act 1990 which states that the lawfulness of a described use or operations is only conclusively presumed where there has been no material change before the use is instituted or the operations are begun in any of the matters relevant to determining such lawfulness.

Working with the applicant:

In dealing with this application, Be First, working in partnership with the London Borough of Barking and Dagenham, has implemented the requirements of the National Planning Policy Framework and of the Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended) to work with the Applicant in a positive and proactive manner. As with all applicants, Be First has made available detailed advice in the form of statutory policies and all other relevant guidance, as well as offering a full pre-application advice service, so as to ensure the applicant has been given every opportunity to submit an application which is likely to be considered favourably.

DATE OF DECISION: 16/11/2020

Yours sincerely,

[Graeme Cooke](#)

Graeme Cooke

Director of Inclusive Growth
London Borough of Barking and Dagenham

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)
Applicant's Rights following the Grant or Refusal of permission

1. Appeals to the Secretary of State

Should you (an applicant/agent) feel aggrieved by the decision of the council to either refuse permission or to grant permission subject to conditions, you can appeal to the Secretary of State for the Department of Communities and Local Government – Section 78 of the Town and Country Planning Act 1990 / Sections 20 and 21 of the Planning (Listed Building and Conservation Areas) Act 1990. Any such appeal must be made within the relevant timescale for the application types noted below, beginning from the date of the decision notice (unless an extended period has been agreed in writing with the council):

- **Six (6) months:** Full application (excluding Householder and Minor Commercial applications), listed building, conservation area consent, Section 73 'variation/removal', Section 73 'minor-material amendment', extension of time and prior approval applications.
- **Twelve (12) weeks:** Householder planning, Householder prior approval and Minor Commercial applications.
- **Eight (8) weeks:** Advertisement consent applications.
- **No timescale:** Certificate of lawful development (existing/proposed) applications.

Where an enforcement notice has been issued the appeal period may be significantly reduced, subject to the following criteria:

- The development proposed by your application is the same or substantially the same as development that is currently the subject of an enforcement notice: **28 days of the date of the application decision.**
- An enforcement notice is served **after the decision on your application** relating to the same or substantially the same land and development as in your application and if you want to appeal against the council's decision you are advised to appeal against the Enforcement Notice and to do so before the Effective Date stated on the Enforcement Notice.

Appeals must be made using the prescribed form(s) of The Planning Inspectorate (PINS) obtained from www.planning-inspectorate.gov.uk or by contacting 03034445000. A copy of any appeal should be sent both to PINS and the council (attn: Planning Appeals Officer).

The Secretary of State can allow a longer period for giving notice of an appeal but will not normally be prepared to use this power unless there are exceptional/special circumstances.

The Secretary of State can refuse to consider an appeal if the council could not have granted planning permission for the proposed development or could not have granted it without the conditions it imposed, having regard to the statutory requirements and provisions of the Development Order and to any direction given under the Order. In practice, it is uncommon for the Secretary of State to refuse to consider appeals solely because the council based its decision on a 'direction given by the Secretary of State'.

2. Subsequent Application Fees

No planning fee would be payable should a revised planning application be submitted within 12 months of the decision. This 'fee waiver' is permitted only where the new application meets the following criteria:

- the applicant is the same as the applicant of the original application
- site boundary is the same as the site boundary of the original application
- the nature of development remains the same.

3. Purchase Notices

Should either the council or the Secretary of State refuse permission or to grant permission subject to conditions, the owner may claim that the land cannot be put to a reasonably beneficial use in its existing state nor through carrying out of any development which has been or could be permitted. In such a case, the owner may serve a purchase notice on the council.

This notice will require the council to purchase the owner's interest in the land in accordance with the provisions of Part IV of the Town and Country Planning Act 1990 and Section 32 of the Planning (Listed Buildings Conservation Areas) Act 1990.

4. Compensation

In certain circumstances compensation may be claimed from the council if permission is refused or granted subject to condition(s) by the Secretary of State on appeal or on reference to the Secretary of State. These circumstances are set out in Section 114 and related provisions of the Town and Country Planning Act 1990 and Section 27 of the Planning (Listed Buildings and Conservation Areas) Act 1990.



Performance Review Sub-Committee

16th February 2021

Sample Selection Number:

1236

Application Reference:

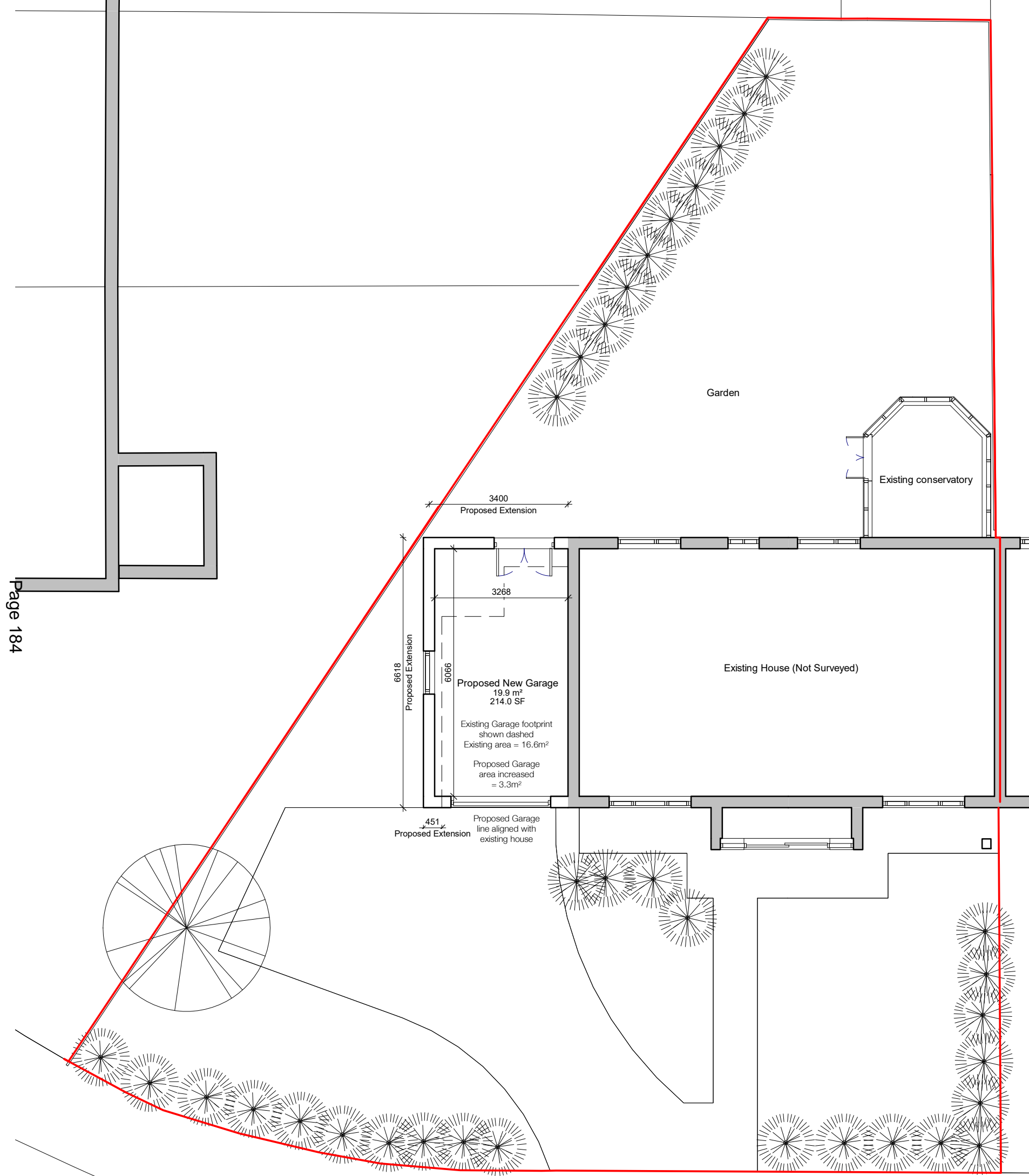
20/02282/NONMAT

Application Description:

Non material amendment to planning permission
20/01165/HSE dated 23/07/2020 comprising of change
of garage footprint to allow side access to garden.

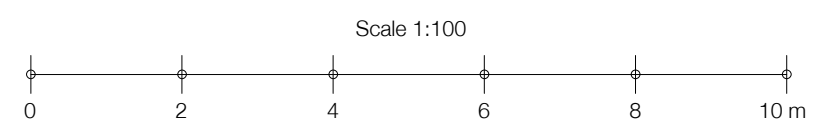
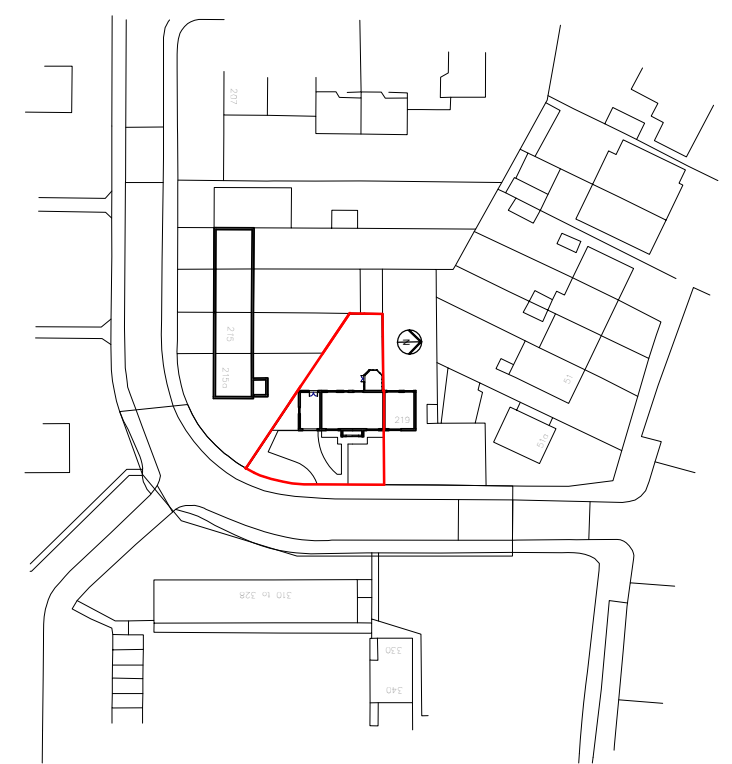
Decision:

Approved



DO NOT SCALE
REPORT ERRORS AND OMISSIONS TO THE ARCHITECTURAL COMPANY
CHECK ALL DIMENSIONS BEFORE FABRICATION

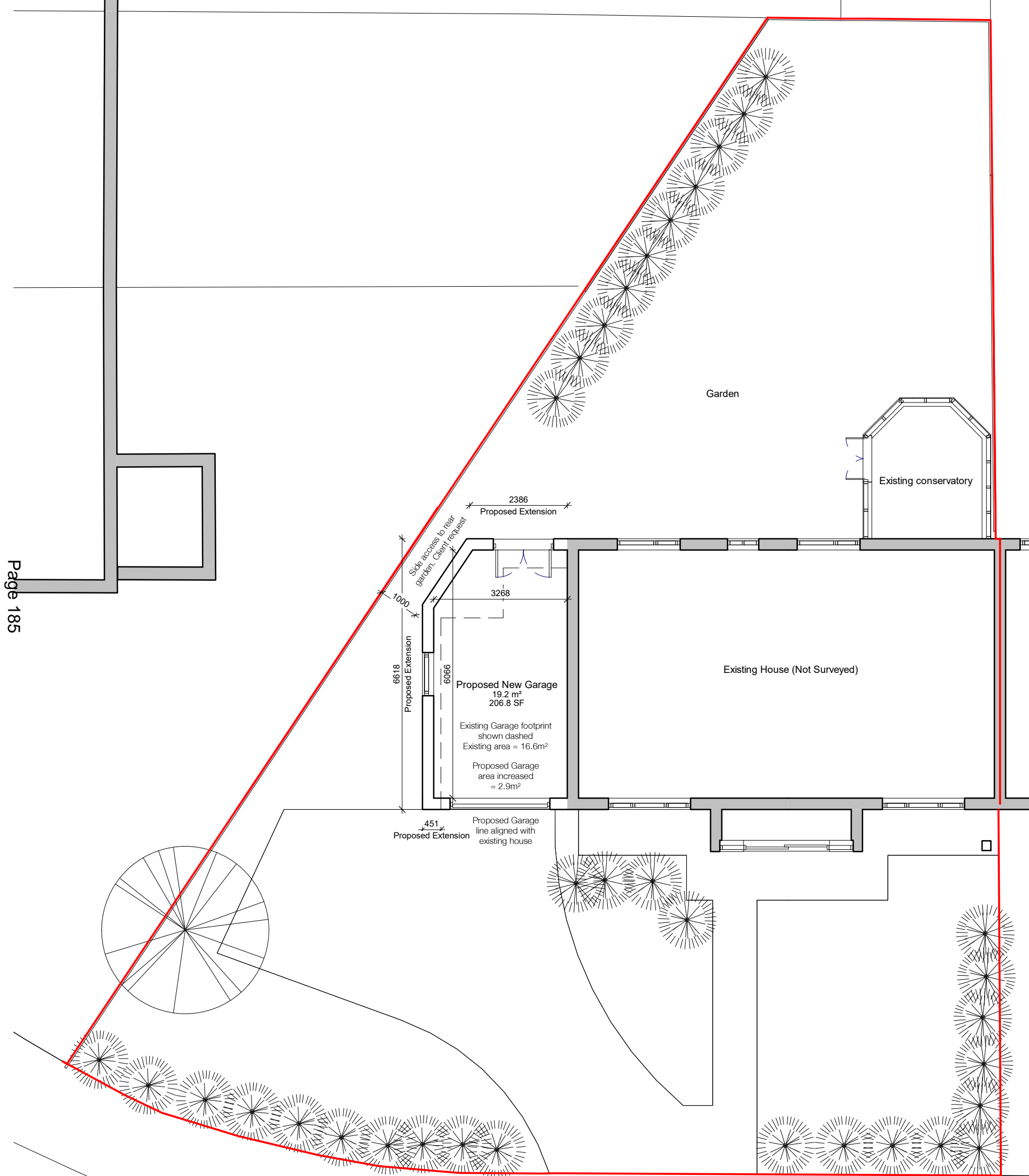
REVISION	CHKD	DRAWN	DATE
A	TP	PS	December 2018
B	TP	TP	May 2020



PLANNING

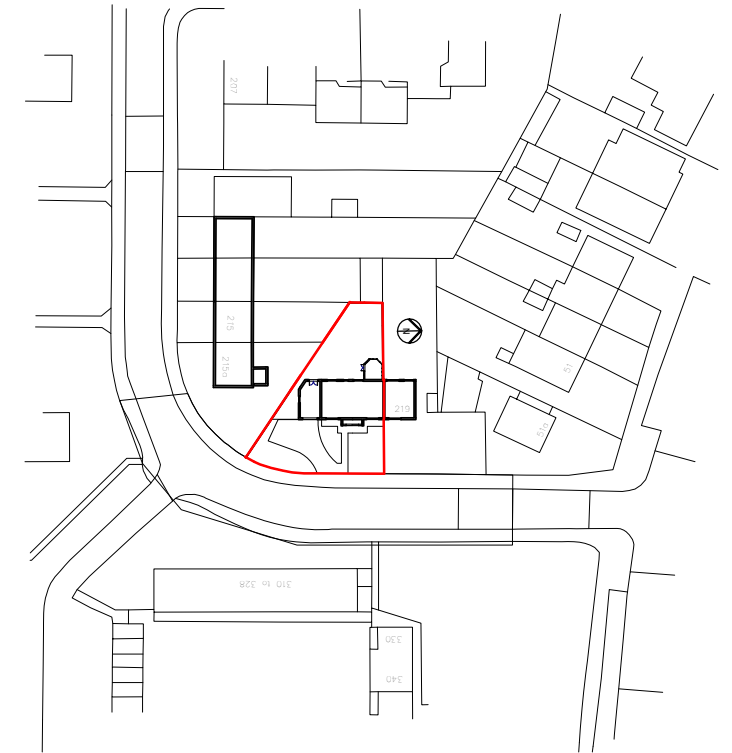
CONTRACT		SCALE	1:100 @ A3
217 Padnall Road		DATE	May 2019
Romford		DRAWN	TP
RM6 5EP		CHECKED	TP
TITLE		DRAWING No	19016_ 101
Proposed Plans		REVISION	B

Architecture Ltd
48 Hawthorn Avenue Rainham Essex RM13 9AT
T 07860 298842 E tonyp@tmparchitectureltd.co.uk

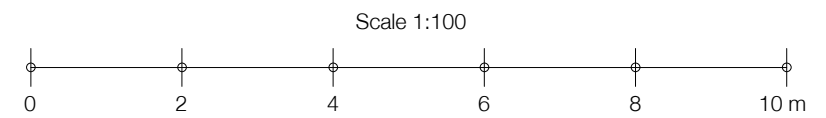


DO NOT SCALE
 REPORT ERRORS AND OMISSIONS TO THE ARCHITECTURAL COMPANY
 CHECK ALL DIMENSIONS BEFORE FABRICATION

REVISION	CHKD	DRAWN	DATE
A	TP	PS	December 2018
B	TP	TP	May 2020
C	TP	TP	November 2020



Site Location Plan 1:1250



PLANNING

CONTRACT
**217 Padnall Road
 Romford
 RM6 5EP**

SCALE	1:100 @ A3
DATE	May 2019
DRAWN	TP
CHECKED	TP

TITLE
Proposed Plans

DRAWING No
19016_ 101

REVISION
 C

TMP Architecture Ltd
 48 Hawthorn Avenue Rainham Essex RM13 9AT
 T 07860 298842 E tonyp@tmparchitectureltd.co.uk

Delegated Report

Application for a non-material amendment following grant of planning permission

Case Officer:	Harry Moorhouse	Valid Date:	18 November 2020
Officer Recommendation:	Approved	Expiry Date:	16 December 2020
Application Number:	20/02282/NONMAT	Recommended Date:	25 November 2020
Address:	217 Padnall Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 5EP		
Proposal:	Non material amendment to planning permission 20/01165/HSE dated 23/07/2020 comprising of change of garage footprint to allow side access to garden.		

Site, Situation and Relevant Background Information

The application site comprises a semi-detached single family dwellinghouse on a triangular shaped plot, on the western side of Padnall Road. The previously approved planning permission, 20/01165/HSE, to which this non material planning consideration relates, was for the demolition of the existing garage and erection of a ne garage with a pitched roof to match existing roof level which was approved on the 23/07/2020.

The applicant now seeks non-material material amendments compromising of a minor alteration to part of the side/rear wall to allow for side access into the rear garden which will involve a change of the garage footprint.

Detailed Proposal

Proposed Amendment:	Reasoning:
<i>Change of the garage footprint, involving the minor alteration to part of the side and rear wall.</i>	<i>To allow residents side access to the rear garden.</i>

ASSESSMENT

In response to the provisions of Section 96A Town and Country Planning Act 1990, the application is to be assessed to ascertain as to whether the proposed changes constitute a non-material amendment to the approved development. Section 96A states:

- (1) A local planning authority in England may make a change to any planning permission relating to land in their area if they are satisfied that the change is not material.
- (2) In deciding whether a change is material, a local planning authority must have regard to the effect of the change, together with any previous changes made under this section, on the planning permission as originally granted.
- (3) The power conferred by subsection (1) includes power—
- (a) to impose new conditions;
- (b) to remove or alter existing conditions.

The National Planning Practice Guidance states: "There is no statutory definition of 'non-material'. This is because it will be dependent on the context of the overall scheme – an amendment that is non-material in one context may be material in another."

In light of the guidance set out above, in determining whether or not the proposed amendments constitute a non-material amendment, consideration shall be given to the context of the overall scheme and the effect of the changes, together with any previous changes made under section 96A.

Effects of Proposed Changes

<i>Is this s96A application the first application made under this part with respect to the original application?</i>	YES
--	------------

Detailed Assessment

The proposed amendment is considered to be non-material and seeks permission to amend the existing planning permission to authorise a change in the garage footprint, through the change in part of the side/rear wall to allow for side access into the rear garden. The proposed amendments are considered to be minor changes which will not significantly alter the external appearance of the dwelling and would not have any detrimental impacts upon neighbouring amenity. Furthermore, by virtue of the proposed

amendments being towards the rear of the side elevation of the garage, there would be no harm to the wider character and context of the street scene. As such Officers consider this amendment to be considered as non-material in this instance.

CONCLUSION

Officers have had regard to the effect of the proposed changes on planning permission **20/01165/HSE** as it was originally granted and consider that the proposed changes constitute a non-material amendment.

APPENDIX 1

As set out in National Planning Policy Guidance (Paragraph: 008 Reference ID: 17a-008-20140306) an application under Section 96a is not an application for planning permission. Accordingly, Section 38(6) of the Planning and Compulsory Purchase Act 2004 does not apply.

APPENDIX 2

Relevant Planning History			
Application Number:	20/01165/HSE	Status:	Approved
Description:	Demolition of existing garage and erection of new garage with a pitched roof to match existing roof level.		
Application Number:	19/01361/FUL	Status:	Refused
Description:	Demolition of existing garage and rebuilt new larger garage with a pitched roof to match existing roof level.		
Application Number:	19/00844/FUL	Status:	Refused
Description:	Demolition of existing garage and construction of larger garage with a pitched roof to match existing roof level.		
Application Number:	90/00248/TP	Status:	Approved
Description:	<i>Erection of front door porch and canopy and single storey side TV room bedroom and bathroom extension</i>		
Application Number:	89/00544/TP	Status:	Approved
Description:	<i>Erection of front door porch and canopy and two storey side extension to provide garage on ground floor with two bedrooms over</i>		

APPENDIX 3

Consultations
None.

LBBB Reference: 20/02282/NONMAT

Mr Tony Pearce
48 Hawthorne Avenue, Rainham, RM13 9AT

**TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND) ORDER 2015 (AS
AMENDED)**

Dear Sir / Madam,

Application Number: 20/02282/NONMAT
Address: 217 Padnall Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 5EP
Development Description: Non material amendment to planning permission 20/01165/HSE dated 23/07/2020 comprising of change of garage footprint to allow side access to garden.

Thank you for your recent application at the above address on which a decision has now been made. The decision on your application is attached. Please carefully read all of the information contained in these documents.

Please quote your application reference number in any correspondence with the Council.

Yours sincerely,

[Graeme Cooke](#)

Graeme Cooke
Director of Inclusive Growth
London Borough of Barking and Dagenham

PLANNING DECISION NOTICE

**TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND) ORDER 2015 (AS AMENDED)
PLANNING (LISTED BUILDINGS AND CONSERVATION AREAS) ACT 1990**

Agent: Mr Tony Pearce
48 Hawthorne Avenue, Rainham, RM13
9AT

Applicant: Nikolovska Ljubinka
217 PADNALL ROAD
ROMFORD

PART 1 - PARTICULARS OF THE APPLICATION

Application Number: 20/02282/NONMAT
Application Type: Non-Material Amendment following Grant of Planning Permission
Development Description: Non material amendment to planning permission 20/01165/HSE dated 23/07/2020 comprising of change of garage footprint to allow side access to garden.
Site Address: 217 Padnall Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 5EP
Date Received: 18 November 2020
Date Validated: 18 November 2020

PART 2 - PARTICULARS OF THE DECISION

The London Borough of Barking and Dagenham, as Local Planning Authority, in pursuance of its powers under the above mentioned Act, Rules, Orders and Regulations made thereunder, hereby gives notice that this application for a NON-MATERIAL AMENDMENT has been **GRANTED** for the carrying out of the development referred to in PART 1 hereof and as described and shown on the plan(s) and document(s) submitted with the application, subject to the conditions and reasons listed below.

Conditions:

1. Officers have had regard to the effect of the proposed changes on planning permission reference 20/01165/HSE dated 23rd July 2020 as it was originally granted, and consider that the proposed changes constitute non-material amendments.

The amendments as shown on the drawings listed below are therefore hereby approved as non material amendments to planning permission 20/01165/HSE:

- DRAWING: PROPOSED PLANS - 19015_101 - REVISION: C - DATED: MAY 2019
- DRAWING: PROPOSED ELEVATIONS - 19016_102 - REVISION: C - DATED: MAY 2019

No other drawings or documents apply.

Reason: For the avoidance of doubt and in the interests of proper planning.

Working with the applicant:

In dealing with this application, Be First, working in partnership with the London Borough of Barking and Dagenham, has implemented the requirements of the National Planning Policy Framework and of the Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended) to work with the Applicant in a positive and proactive manner. As with all applicants, Be First has made available detailed advice in the form of statutory policies and all other relevant guidance, as well as offering a full pre-application advice service, so as to ensure the applicant has been given every opportunity to submit an application which is likely to be considered favourably.

DATE OF DECISION: 01/12/2020

Yours sincerely,

Graeme Cooke

Graeme Cooke
Director of Inclusive Growth
London Borough of Barking and Dagenham



Performance Review Sub-Committee

16th February 2021

Sample Selection Number:

1375

Application Reference:

20/02453/FULL

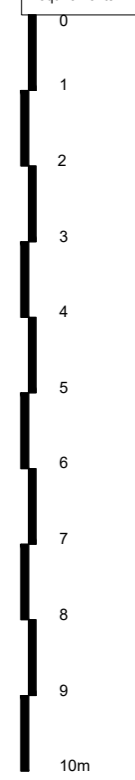
Application Description:

Construction of a single storey rear extension with internal alterations in an existing ground floor flat.

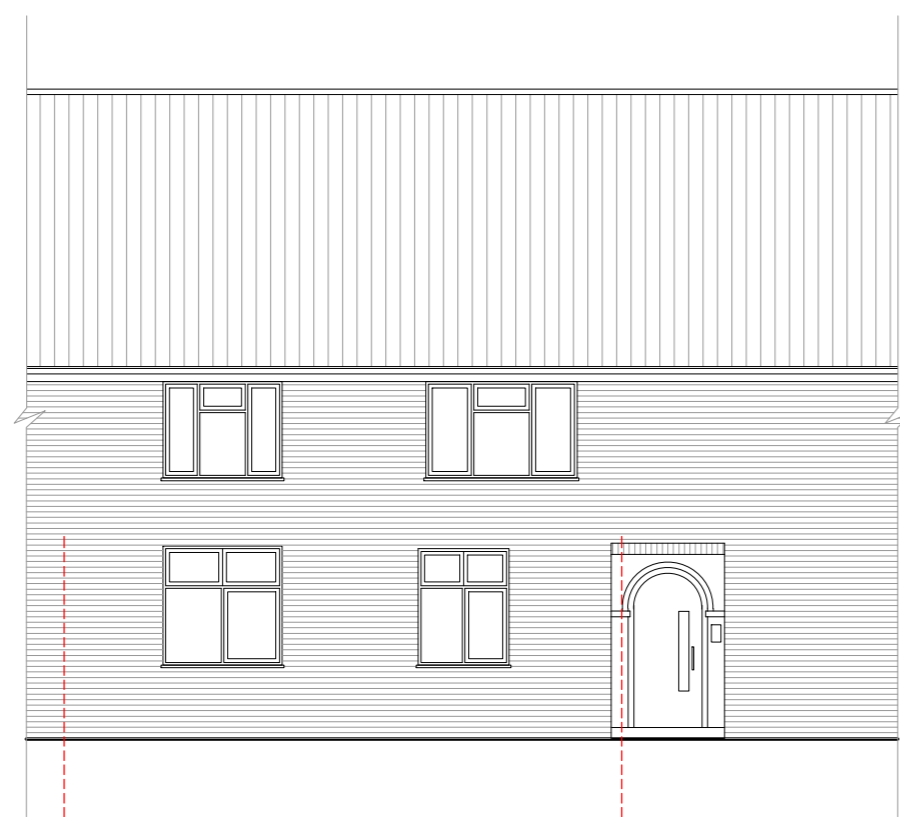
Decision:

Approved

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 All written dimension to be checked on site before work commences.
 Any discrepancies, error or omissions are to be clarified and reported to the designers at the earliest opportunity.
 All works commenced on site prior to obtaining Planning and full building control approval will be carried at your own risk.
 All works are to be in accordance with the current relevant statutory regulations, building regulations, British standards, accepted codes of practice and trade association requirements.



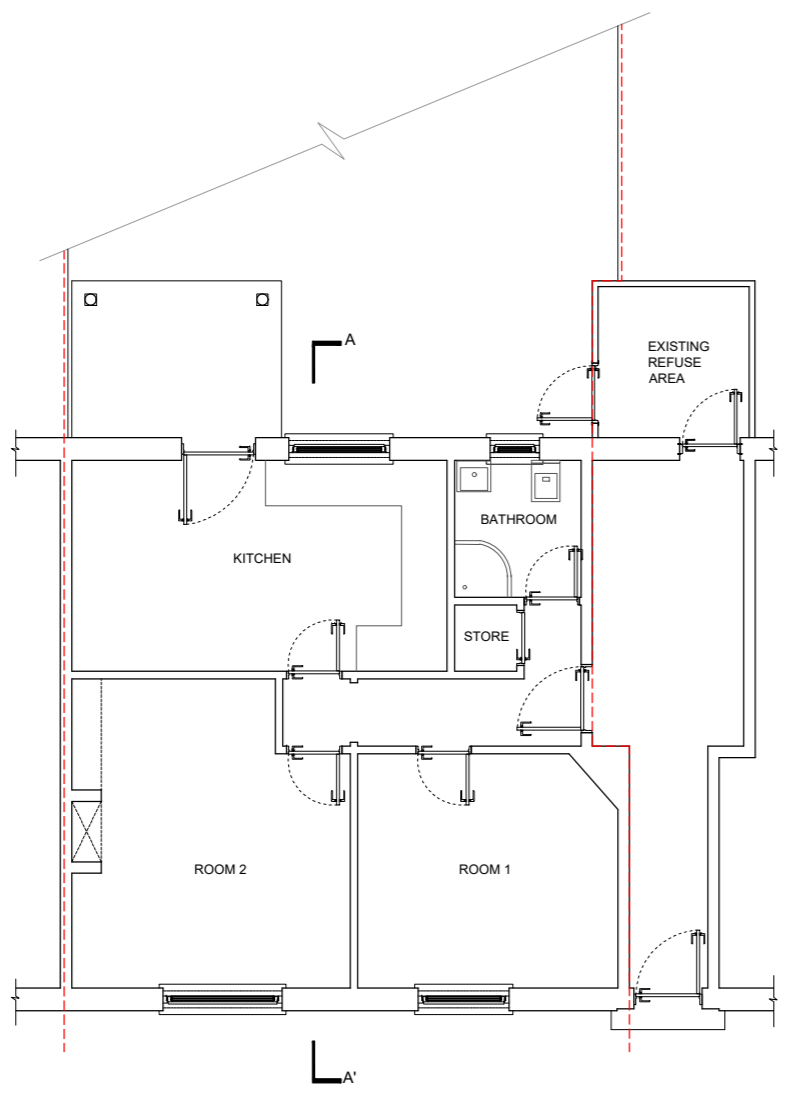
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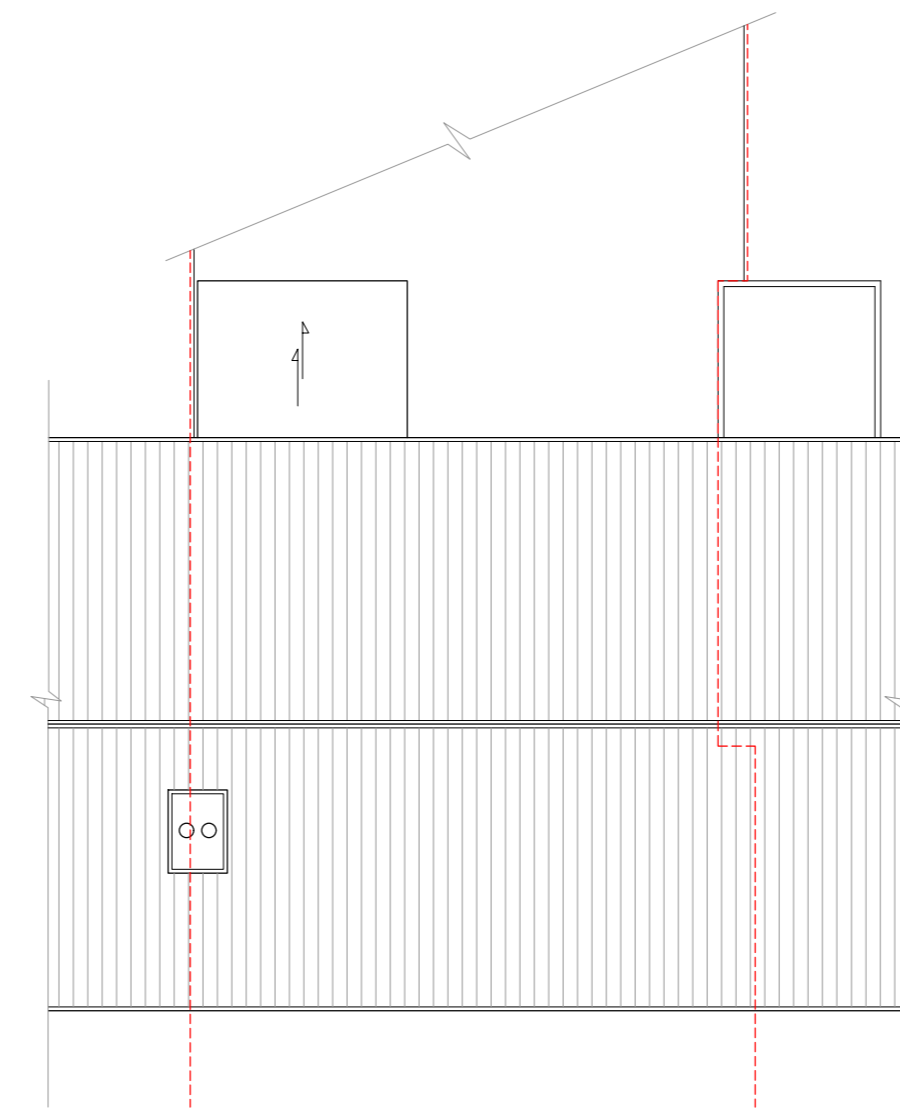
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1:100



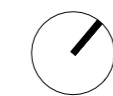
4 Existing Rear Elevation
1:100



1 Existing Ground Floor Plan
1:100



2 Existing Roof Plan
1:100



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 ARCHITECTURE

PIXEL BUSINESS CENTRES
 110 BROOKER Rd, WALTHAM ABBEY EN9 1JH

www.mudaarchitecture.com
 muda@mudaarchitecture.com
 02039084752

SITE ADDRESS
 70, Stamford-Road, Dagenham, RM9 4EX

PROJECT DESCRIPTION
 Ground Floor Rear Extension and Internal Alterations

DRAWING TITLE
 Existing Drawings

DRAWN
 MUDA

ISSUED FOR
 Full Planning

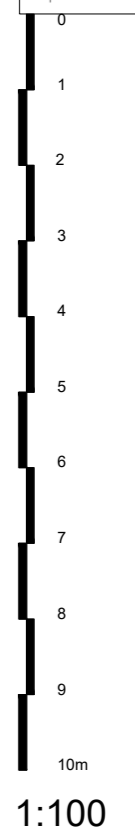
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DRAWING NO
 54_302

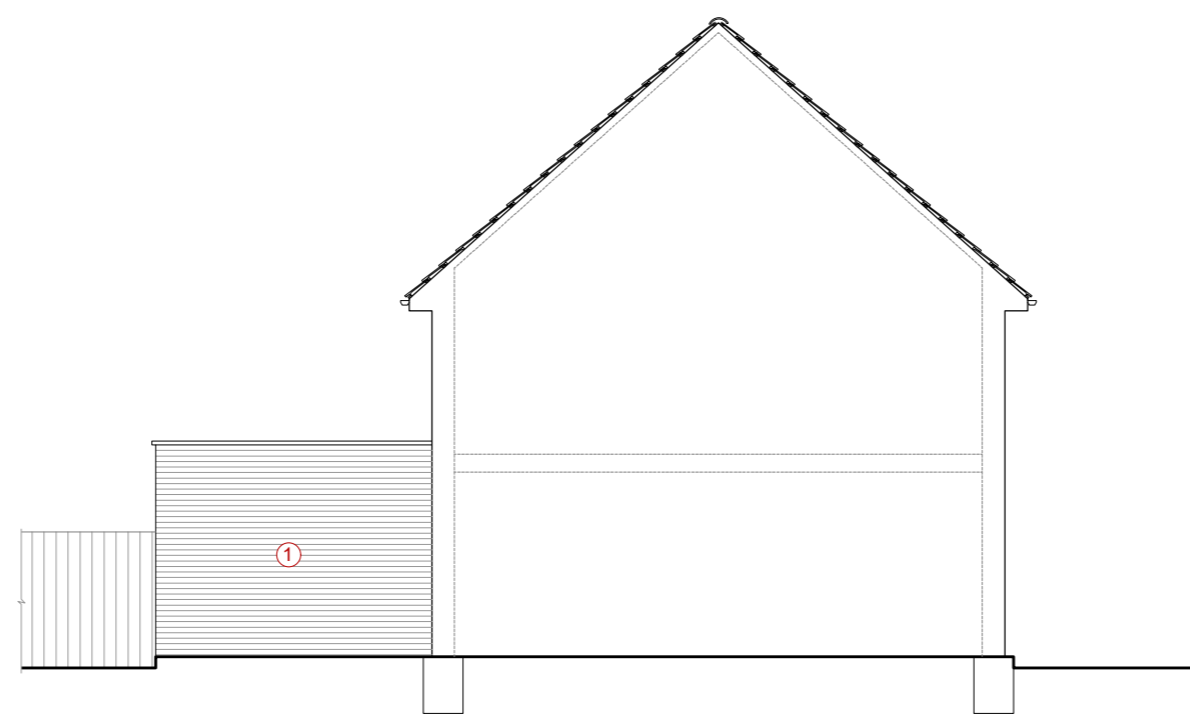
DATE
 December 2020

REVISION

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 All written dimension to be checked on site before work commences.
 Any discrepancies, error or omissions are to be clarified and reported to the designers at the earliest opportunity.
 All works commenced on site prior to obtaining Planning and full building control approval will be carried at your own risk.
 All works are to be in accordance with the current relevant statutory regulations, building regulations, British standards, accepted codes of practice and trade association requirements.

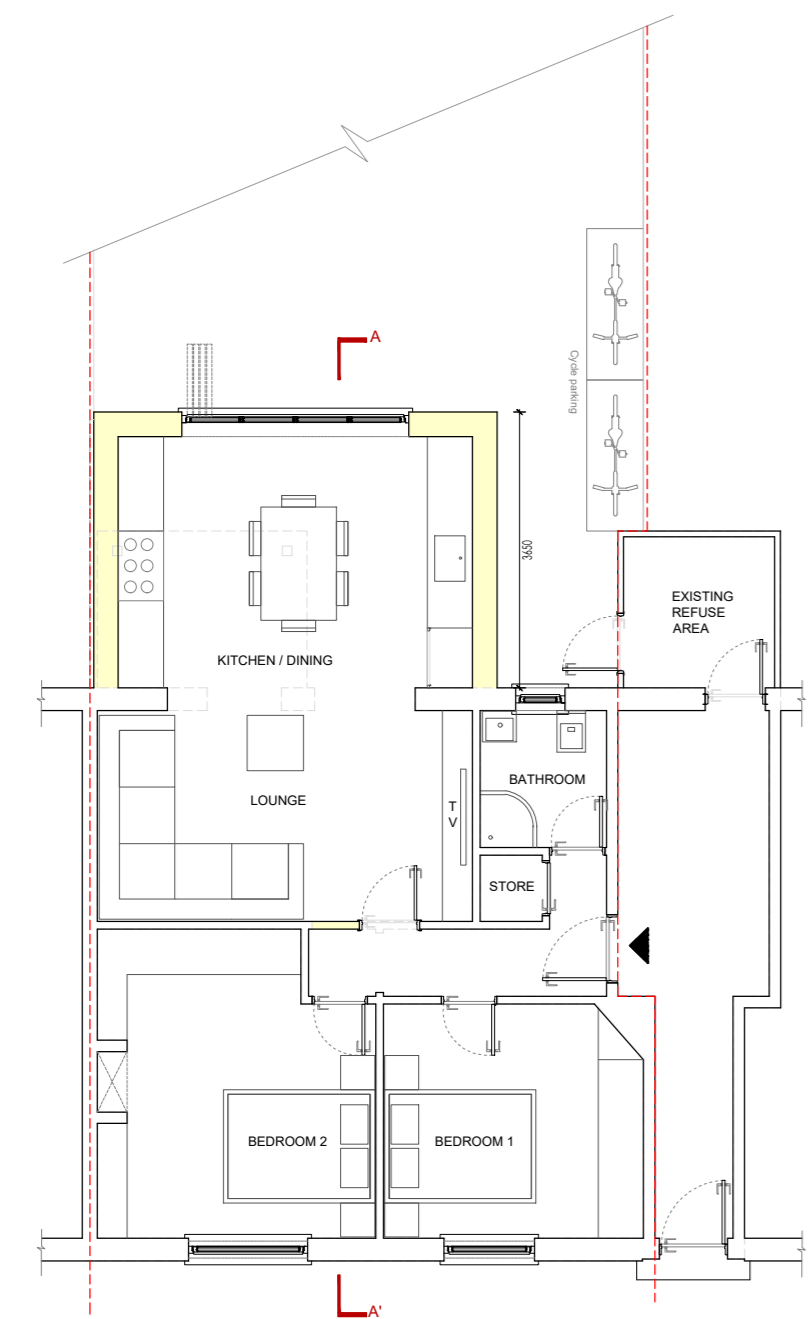


3 Proposed Rear Elevation
1:100

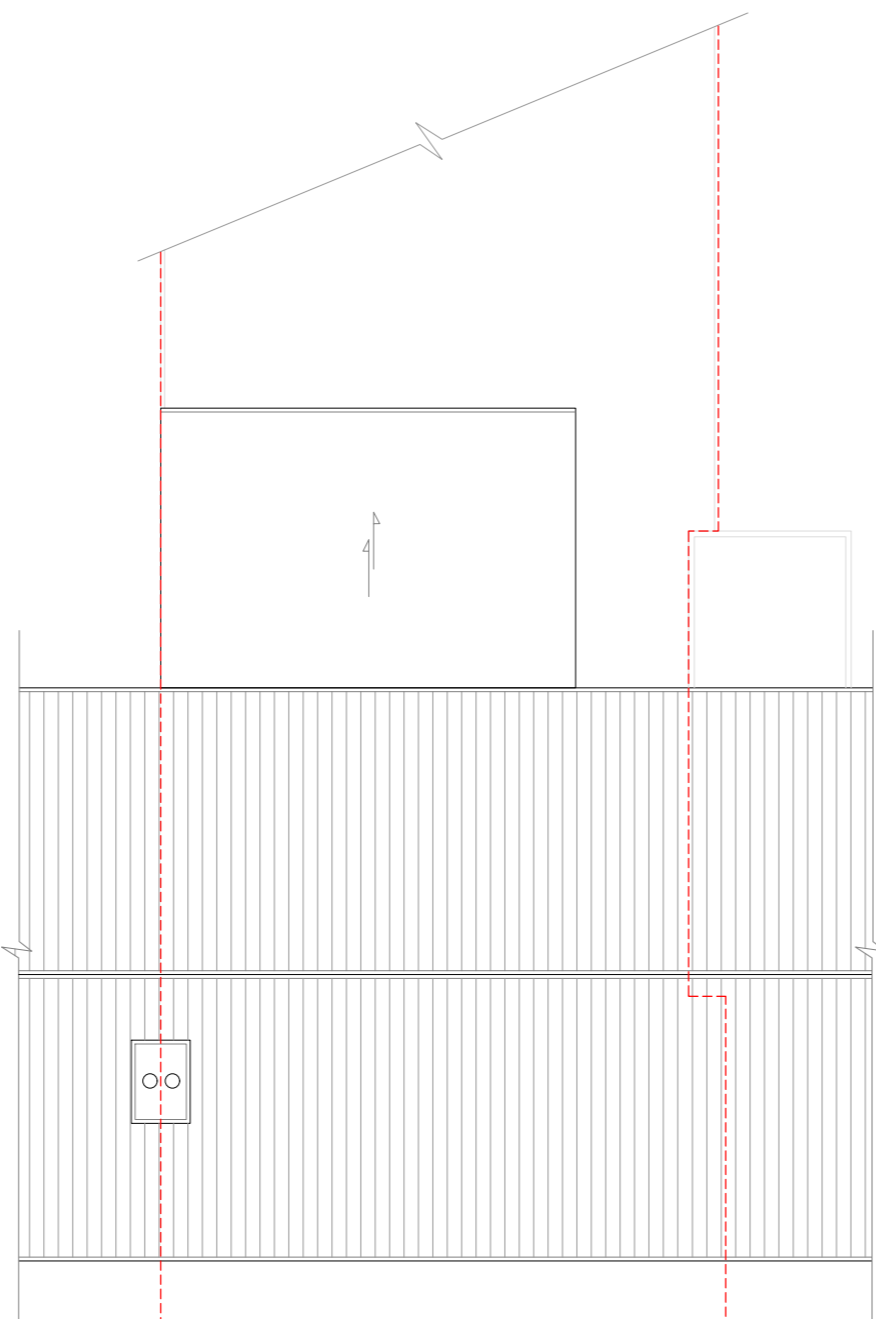


4 Proposed Side Elevation
1:100

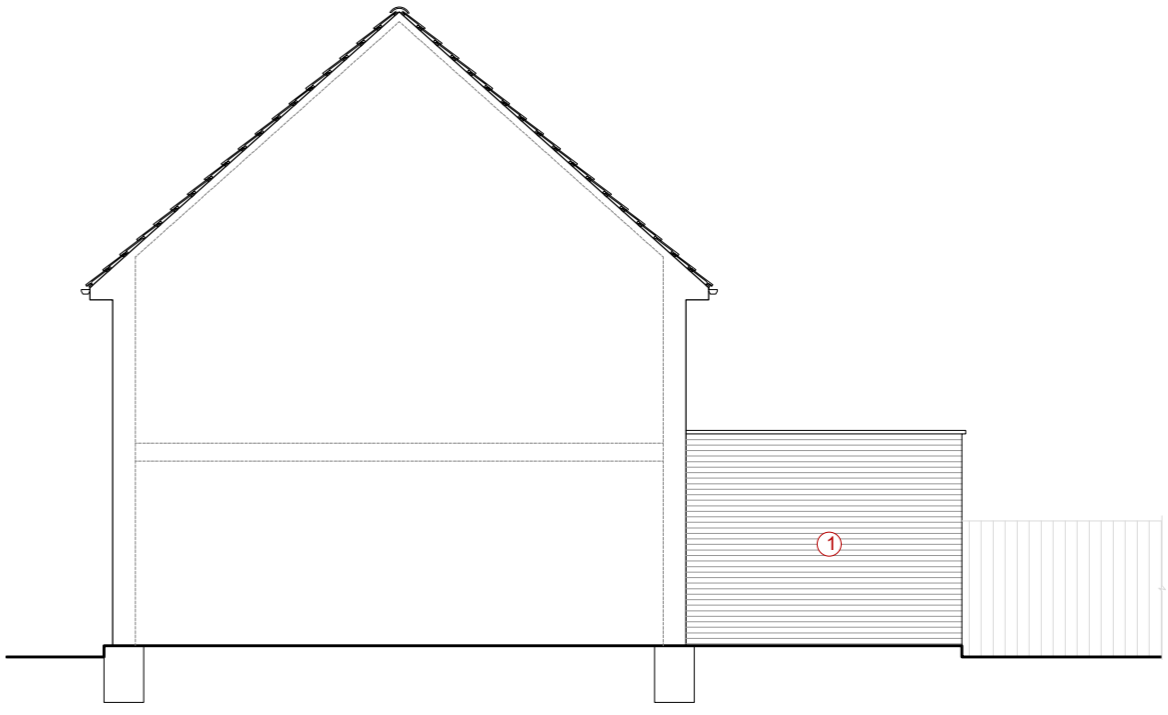
- Walls to be Demolished
 - New Walls
- MATERIALS**
- 1 Bricks - Matched to Existing



1 Proposed Ground Floor Plan
1:100



2 Proposed Roof Plan
1:100



5 Proposed Side Elevation
1:100



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PIXEL BUSINESS CENTRES
 110 BROOKER Rd, WALTHAM ABBEY EN9 1JH

www.mudaarchitecture.com
 muda@mudaarchitecture.com
 02039084752

SITE ADDRESS
 70, Stamford-Road, Dagenham, RM9 4EX

PROJECT DESCRIPTION
 Ground Floor Rear Extension and Internal Alterations

DRAWING TITLE
 Proposed Drawings

DRAWN
 MUDA

ISSUED FOR
 Full Planning

SCALE
 1:100@A2

DRAWING NO
 54_303

DATE
 December 2020

REVISION

Delegated Report

Application for Planning Permission

Case Officer:	Orla Bermingham	Valid Date:	16 December 2020
Officer Recommendation:	Approve	Expiry Date:	10 February 2021
Application Number:	20/02453/FULL	Recommended Date:	13 January 2021
Address:	70 Stamford Road, Barking And Dagenham , RM10 4EX		
Proposal:	Construction of a single storey rear extension with internal alterations in an exiting ground floor flat.		

Planning Constraints

The application site is located within the Becontree Estate.

Site, Situation and Relevant Background Information

The application site is a terrace on the northern side of Stamford Road. The application seeks permission for the construction of a single storey rear extension with internal alterations in an exiting ground floor flat. The proposed extension projects 3.65 metres from the rear elevations and has a width of 5.3 metres. It will have a flat roof with a maximum height of three metres. The proposed rear extension will provide a kitchen/dining area.

Key Issues

- Principle of the Development
- Design and Quality of Materials
- Impacts to Neighbouring Amenity

ASSESSMENT

Principle of the Development

The overriding objective of the local policies is to deliver high quality development which improves the quality and distinctive identity of places and meets the housing needs of existing and future residents. As such, it is acknowledged that extensions can facilitate additional and enhanced living space for improved living conditions for occupants. They are therefore considered acceptable in principle subject to ensuring a high-quality, neighbourly design. Such matters are addressed below.

Design and Quality of Materials

The application site is a terrace on the northern side of Stamford Road. The application seeks permission for the construction of a single storey rear extension with internal alterations in an exiting ground floor flat. The proposed extension projects 3.65 metres from the rear elevations and has a width of 5.3 metres. It will have a flat roof with a maximum height of three metres. The proposed rear extension will provide a kitchen/dining area.

The NPPF, specifically paragraphs 127 and 128, outline that planning policies and decisions should aim to ensure that development functions well and adds to the overall quality of an area for both the short term and over the lifetime of the development. Paragraph 130 advises that permission should be refused for proposed developments of poor design which fails to take the opportunities available for improving the character and quality of an area and the way it functions.

The London Plan Policy 7.1 states the design of new developments and the spaces they create should help reinforce the character of the neighbourhood. Policy 7.4 requires development to have regard to the form, function and structure of an area, place or street and the scale, mass and orientation of surrounding buildings and other forms of development. It is required that in areas of poor, or ill-defined, character, new development should build on the positive existing elements that can contribute to establishing an enhanced character for the future function of the area. Policy 7.6 seeks the highest quality materials and design appropriate to its context. Policy D4 of the Draft London Plan discusses the need for good design to be thoroughly scrutinised at the application stage, including elements relating to layout, scale, density, land-uses, materials, detailing and landscaping.

On a more localised level, Policy SP 2 of the Draft Local Plan (Regulation 19) reiterates that the Council will promote high-quality design, providing a safe, convenient, accessible and inclusive built environment and interesting public spaces and social infrastructure for all through recognising and celebrating local character and the borough's heritage, adopting a design-led approach to optimising density and site potential by responding positively to local distinctiveness and site context. Policy DMD 1 of the Draft

Local Plan states that all development proposals should be creative and innovative, recognising that existing local character and accommodating change is not mutually exclusive, architecture should be responsive, authentic, engaging, and have an enduring appeal. Policy BP8 and BP11 of Local Development Framework Borough Wide Development Plan state that all developments are expected to have regard to the local character of the area and help to create a sense of local identity, distinctiveness and place.

The Becontree Estate, the location of the application site and of which this property forms part, was built as Homes for Heroes in the period 1921 to 1934 and at the time was the largest municipal estate in the world. It therefore forms part of the rich local history of the area and is referenced in policy CP2 of the Core Strategy as forming an important symbol of the past. Policy CP2 seeks to respect the local context and reinforce local distinctiveness. Policy BP2 of the Borough Wide DPD also references the heritage value of the Estate and although this dwelling house is not situated in a conservation area, this policy recognises the distinctive local character and historical importance of the Becontree Estate. The policy is concerned with preserving heritage areas of their instinctive and historically important features and ensuring developments do not detract from the heritage area's significance. This is further supported by policy BP11 of the Borough Wide DPD which ensures that development is designed in a sensitive and appropriate manner which minimises impact on surrounding neighbours and respects the character of the area. Policy DMD4 of the Local Plan recognises the importance of other heritage assets and the wider historic environment being identified, celebrated and promoted where relevant through the Council's heritage strategy. Development within or affecting any heritage feature should respect its local context and avoid materially detracting from its significance, including its archaeological, architectural, historic, landscape or biodiversity interest, or harming its setting.

The Supplementary Planning Document states that rear extensions have a much reduced impact upon the street scene, but still recognises the importance of scale, height and design. It is expected that the depth of the extension should not normally exceed 3.65 metres as measured from the original rear wall of the house and if the extension will have a flat roof then its height should not exceed 3 metres. The proposed development meets these requirements, and is therefore considered appropriate in design. The Supplementary Planning Document also seeks to maintain a reasonable amount of private garden space for amenity purposes and to avoid overdeveloping your plot. Any extension should not normally cover more than 50% of your garden space (when taken together with any part of your garden covered by existing extensions or outbuildings). The proposed development meets these requirements, and is therefore considered appropriate in design.

Officers acknowledge that the applicant has applied for the construction of an outbuilding under 20/02478/FULL. However, this outbuilding is not indicated on the plans, and therefore is a separate application and will be assessed individually.

For the reasons above, officers consider the proposed development to be sympathetic in design, and in accordance with the objectives of the NPPF, London Plan Policies 7.1, 7.4, and 7.6, Policy SP 2 and DMD 1 of the Draft Local Plan, Policy BP8 and BP11 of Local Development Framework Borough Wide Development Plan.

Impacts to Neighbouring Amenity

The application site is a terrace on the northern side of Stamford Road. The application seeks permission for the construction of a single storey rear extension with internal alterations in an existing ground floor flat. The proposed extension projects 3.65 metres from the rear elevations and has a width of 5.3 metres. It will have a flat roof with a maximum height of three metres. The proposed rear extension will provide a kitchen/dining area.

The NPPF, The London Plan Policies 7.1, 7.4 and 7.6, all have relevance to the importance of quality development in addressing neighbouring amenity and avoiding unacceptable impacts. Policy DMD 1 of the Draft Local Plan (Regulation 19) states that all development proposals should consider the impact on the amenity of neighbouring properties with regard to significant overlooking (loss of privacy and immediate outlook) and overshadowing (unacceptable loss of daylight and sunlight), wind and microclimate. Policy BP8 and BP11 of the Local Development Framework Borough Wide Development Plan has specific regard to protecting residential amenity.

Officers acknowledge that the applicant has applied for the construction of an outbuilding under 20/02478/FULL. However, this outbuilding is not indicated on the plans, and therefore is a separate application and will be assessed individually.

Due to its appropriate scale and design, officers consider the proposed development to have minimal impact on neighbouring amenity. Therefore, the proposed development is in accordance with the NPPF, The London Plan Policies 7.1, 7.4 and 7.6, Policy DMD 1 of the Draft Local Plan, and Policies BP8 and BP11 of the Local Development Framework Borough Wide Development Plan.

CONCLUSION

The proposed development would respect the character and appearance of the area without having any unacceptable impact on the living conditions of neighbouring properties. The proposal is therefore considered to accord with the Development Plan policies and guidance specified above, and it is recommended that planning permission be granted.

APPENDIX 1

Development Plan Context	
The Council has carefully considered the relevant provisions of the Council's adopted development plan and of all other relevant policies and guidance. Of particular relevance to this decision were the following Framework and Development Plan policies and guidance:	
National Planning Policy Framework (NPPF) (MHCLG, February 2019)	
The London Plan: Spatial Development Strategy for London (GLA, consolidated with alterations since 2011, published March 2016)	Policy 7.1 - Lifetime Neighbourhoods Policy 7.4 - Local Character Policy 7.5 - Public Realm Policy 7.6 - Architecture Policy 7.8 - Heritage Assets and Archaeology
<i>The Mayor of London's Draft London Plan - Intend to Publish version December 2019 is under Examination. Having regard to NPPF paragraph 48 the emerging document is a material consideration and appropriate weight will be given to its policies and suggested changes in decision-making, unless other material considerations indicate that it would not be reasonable to do so.</i>	
Draft London Plan (Intend to Publish version December 2019)	Policy D1 - London's Form, Character and Capacity for Growth Policy D4 - Delivering Good Design Policy D8 - Public Realm Policy HC1 - Heritage Conservation and Growth
Local Development Framework (LDF) Core Strategy (July 2010)	Policy CR2 - Preserving and Enhancing the Natural Environment Policy CP2 - Protecting and Promoting our Historic Environment Policy CP3 - High Quality Built Environment
Local Development Framework (LDF) Borough Wide Development Plan Document (DPD) (March 2011)	Policy BP8 - Protecting Residential Amenity Policy BP11 - Urban Design
<i>The London Borough of Barking and Dagenham's Draft Local Plan: (Regulation 19 Consultation Version, October 2020) is at an "advanced" stage of preparation. Having regard to NPPF paragraph 216 the emerging document is now a material consideration and substantial weight will be given to the emerging document in decision-making unless other material considerations indicate that it would not be reasonable to do so.</i>	
The London Borough of Barking and Dagenham's Draft Local Plan (Regulation 19 Consultation Version, October 2020)	Policy SP2 - Delivering a well-designed, high quality and resilient built environment Policy SP4 - Delivering quality design in the borough. Policy DMD1 - Securing high quality design Policy DMD4 - Heritage assets and archaeology remains Policy DMNE3 - Nature conservation and biodiversity
Supplementary Planning Documents	Housing Supplementary Planning Guidance (GLA, March 2016, Updated August 2017)

APPENDIX 2

Relevant Planning History			
Application Number:	20/02478/FULL	Status:	Pending Consideration
Description:	Construction of a rear outbuilding in an existing ground floor flat.		

APPENDIX 3

Consultations		
Consultee:	Date Consulted:	Summary of response:
Stephen Knell (Access Officer)	16/12/2020	"I am happy with these plans."

APPENDIX 3

Neighbour Notification	
Date Consultation Letter Sent:	16/12/2020
<i>No response received.</i>	

LBBB Reference: 20/02453/FULL

Gretel Muller
Pixel Business Centres, 110 Brooker Road
Waltham Abbey
EN9 1JH

**TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND) ORDER 2015 (AS
AMENDED)**

Dear Sir / Madam,

Application Number: 20/02453/FULL
Address: 70 Stamford Road, Barking And Dagenham , RM10 4EX
Development Description: Construction of a single storey rear extension with internal alterations in an existing ground floor flat.

Thank you for your recent application at the above address on which a decision has now been made. The decision on your application is attached. Please carefully read all of the information contained in these documents.

Please quote your application reference number in any correspondence with the Council.

Yours sincerely,

Graeme Cooke

Graeme Cooke
Director of Inclusive Growth
London Borough of Barking and Dagenham

PLANNING DECISION NOTICE

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED) TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND) ORDER 2015 (AS AMENDED)

Agent: Gretel Muller
Pixel Business Centres, 110 Brooker Road
Waltham Abbey EN9 1JH

Applicant: Gheorghe Marius Ivan
70 Stamford Road, Barking And
Dagenham , RM10 4EX

PART 1 - PARTICULARS OF THE APPLICATION

Application Number: 20/02453/FULL
Application Type: Full Planning Permission
Development Description: Construction of a single storey rear extension with internal alterations in an existing ground floor flat.
Site Address: 70 Stamford Road, Barking And Dagenham , RM10 4EX
Date Received: 15 December 2020
Date Validated: 16 December 2020

PART 2 - PARTICULARS OF THE DECISION

The London Borough of Barking and Dagenham, as Local Planning Authority, in pursuance of its powers under the above mentioned Act, Rules, Orders and Regulations made thereunder, hereby gives notice that PLANNING PERMISSION has been **GRANTED** for the carrying out of the development referred to in PART 1 hereof and as described and shown on the plan(s) and document(s) submitted with the application, subject to the conditions and reasons listed below.

Conditions:

1. The development hereby permitted shall be commenced before the expiration of three years from the date of this permission.

Reason: To comply with the requirements of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The development hereby approved shall only be carried out in accordance with the following approved plans and documents: -

- 54-301 - Existing and Proposed Site Plan - December 2020
- 54-303 - Proposed Drawings - December 2020

No other drawings or documents apply.

Reason: To ensure that the development is undertaken in accordance with the approved drawing(s) and document(s), to ensure that the finished appearance of the development will enhance the character and visual amenities of the area and to satisfactorily protect the residential amenities of nearby occupiers.

3. The materials to be used in the construction of the external surfaces of the development hereby permitted shall match those used in the existing dwellinghouse.

Reason: To ensure that the finished appearance of the development will respect the character and visual amenities of the local area.

Summary of Policies and Reasons:

In deciding to grant planning permission in this instance, Be First, working in partnership the London Borough of Barking and Dagenham, found the proposal to be acceptable following careful consideration of the relevant provisions of the National Planning Policy Framework, the Development Plan and all other relevant material considerations. Upon review, the London Borough of Barking and Dagenham is satisfied that any potential material harm resulting from the proposal's impact on the surrounding area would be reasonably mitigated through compliance with the conditions listed above.

The following policies are of particular relevance to this decision and for the imposition of the abovementioned conditions:

National Planning Policy Framework (NPPF) (MHCLG, February 2019)

The London Plan: Spatial Development Strategy for London (GLA, consolidated with alterations since 2011, published March 2016)

Policy 7.1 - Lifetime Neighbourhoods

Policy 7.4 - Local Character

Policy 7.5 - Public Realm

Policy 7.6 - Architecture

Policy 7.8 - Heritage Assets and Archaeology

Draft London Plan (Intend to Publish version, December 2019)

The Mayor of London's Draft London Plan (Intend to Publish version, December 2019) is under Examination. Having regard to NPPF paragraph 48, the emerging document is a material consideration and appropriate weight will be given to its policies and suggested changes in decision-making, unless other material considerations indicate that it would not be reasonable to do so.

Policy D1 - London's Form, Character and Capacity for Growth

Policy D4 - Delivering Good Design

Policy D8 - Public Realm

Policy HC1 - Heritage Conservation and Growth

Local Development Framework (LDF) Core Strategy (July 2010)

Policy CR2 - Preserving and Enhancing the Natural Environment

Policy CP2 - Protecting and Promoting our Historic Environment

Policy CP3 - High Quality Built Environment

Local Development Framework (LDF) Borough Wide Development Plan Document (DPD) (March 2011)

Policy BP8 - Protecting Residential Amenities

Policy BP11 - Urban Design

The London Borough of Barking and Dagenham's Draft Local Plan (Regulation 19 Consultation Version, October 2020)

The London Borough of Barking and Dagenham's Draft Local Plan: (Regulation 19 Consultation Version, October 2020) is at an "advanced" stage of preparation. Having regard to NPPF paragraph 216 the emerging document is now a material consideration and substantial weight will be given to the emerging document in decision-making unless other material considerations indicate that it would not be reasonable to do so.

Policy SP2 - Delivering a well-designed, high quality and resilient built environment

Policy SP4 - Delivering quality design in the borough.

Policy DMD1 - Securing high quality design

Policy DMD4 - Heritage assets and archaeology remains

Policy DMNE3 - Nature conservation and biodiversity

Supplementary Planning Documents

Housing Supplementary Planning Guidance (GLA, March 2016, Updated August 2017)

The above policies can be viewed on the Council's website: www.lbbd.gov.uk/planning.

Working with the applicant:

In dealing with this application, Be First, working in partnership with the London Borough of Barking and Dagenham, has

implemented the requirements of the National Planning Policy Framework and of the Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended) to work with the Applicant in a positive and proactive manner. As with all applicants, Be First has made available detailed advice in the form of statutory policies and all other relevant guidance, as well as offering a full pre-application advice service, so as to ensure the applicant has been given every opportunity to submit an application which is likely to be considered favourably.

This development is potentially liable for payment of both the Mayor of London and London Borough of Barking and Dagenham's Community Infrastructure Levies (CIL). Further information about CIL, including the process that must be followed and forms that will be required, can be found on the Council's website: <https://www.lbbd.gov.uk/developer-contributions-cil-and-s106> . CIL forms can be submitted to: S106CIL@befirst.london

DATE OF DECISION: 28/01/2021

Yours sincerely,

Graeme Cooke

Graeme Cooke

Director of Inclusive Growth

London Borough of Barking and Dagenham

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)
Applicant's Rights following the Grant or Refusal of permission

1. Appeals to the Secretary of State

Should you (an applicant/agent) feel aggrieved by the decision of the council to either refuse permission or to grant permission subject to conditions, you can appeal to the Secretary of State for the Department of Communities and Local Government – Section 78 of the Town and Country Planning Act 1990 / Sections 20 and 21 of the Planning (Listed Building and Conservation Areas) Act 1990. Any such appeal must be made within the relevant timescale for the application types noted below, beginning from the date of the decision notice (unless an extended period has been agreed in writing with the council):

- **Six (6) months:** Full application (excluding Householder and Minor Commercial applications), listed building, conservation area consent, Section 73 'variation/removal', Section 73 'minor-material amendment', extension of time and prior approval applications.
- **Twelve (12) weeks:** Householder planning, Householder prior approval and Minor Commercial applications.
- **Eight (8) weeks:** Advertisement consent applications.
- **No timescale:** Certificate of lawful development (existing/proposed) applications.

Where an enforcement notice has been issued the appeal period may be significantly reduced, subject to the following criteria:

- The development proposed by your application is the same or substantially the same as development that is currently the subject of an enforcement notice: **28 days of the date of the application decision.**
- An enforcement notice is served **after the decision on your application** relating to the same or substantially the same land and development as in your application and if you want to appeal against the council's decision you are advised to appeal against the Enforcement Notice and to do so before the Effective Date stated on the Enforcement Notice.

Appeals must be made using the prescribed form(s) of The Planning Inspectorate (PINS) obtained from www.planning-inspectorate.gov.uk or by contacting 03034445000. A copy of any appeal should be sent both to PINS and the council (attn: Planning Appeals Officer).

The Secretary of State can allow a longer period for giving notice of an appeal but will not normally be prepared to use this power unless there are exceptional/special circumstances.

The Secretary of State can refuse to consider an appeal if the council could not have granted planning permission for the proposed development or could not have granted it without the conditions it imposed, having regard to the statutory requirements and provisions of the Development Order and to any direction given under the Order. In practice, it is uncommon for the Secretary of State to refuse to consider appeals solely because the council based its decision on a 'direction given by the Secretary of State'.

2. Subsequent Application Fees

No planning fee would be payable should a revised planning application be submitted within 12 months of the decision. This 'fee waiver' is permitted only where the new application meets the following criteria:

- the applicant is the same as the applicant of the original application
- site boundary is the same as the site boundary of the original application
- the nature of development remains the same.

3. Purchase Notices

Should either the council or the Secretary of State refuse permission or to grant permission subject to conditions, the owner may claim that the land cannot be put to a reasonably beneficial use in its existing state nor through carrying out of any development which has been or could be permitted. In such a case, the owner may serve a purchase notice on the council.

This notice will require the council to purchase the owner's interest in the land in accordance with the provisions of Part IV of the Town and Country Planning Act 1990 and Section 32 of the Planning (Listed Buildings Conservation Areas) Act 1990.

4. Compensation

In certain circumstances compensation may be claimed from the council if permission is refused or granted subject to condition(s) by the Secretary of State on appeal or on reference to the Secretary of State. These circumstances are set out in Section 114 and related provisions of the Town and Country Planning Act 1990 and Section 27 of the Planning (Listed Buildings and Conservation Areas) Act 1990.



Performance Review Sub-Committee

16th February 2021

Sample Selection Number:

1401

Application Reference:

20/02496/HSE

Application Description:

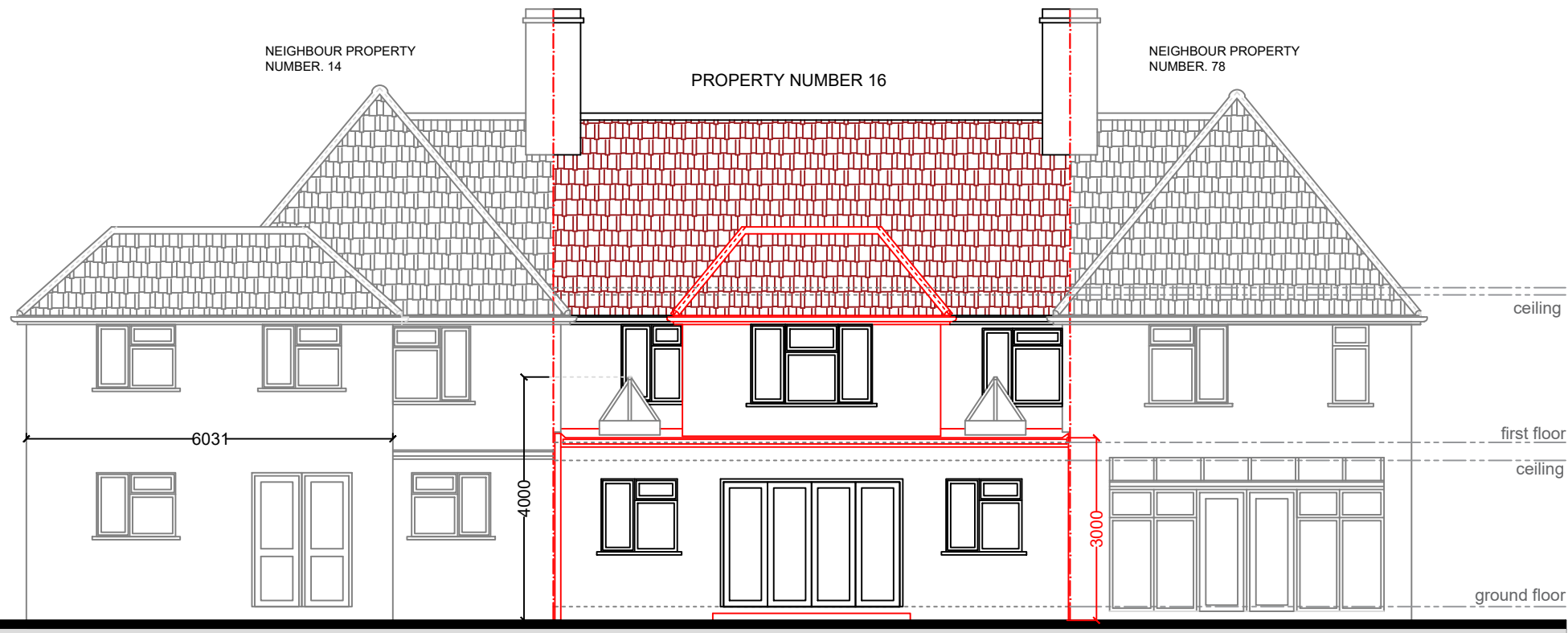
Construction of a part two storey part single storey rear extension.

Decision:

Approved



8 REAR ELEVATION - EXISTING
1:100



9 REAR ELEVATION - PROPOSED
1:100

ALL WORK TO COMPLY WITH CURRENT BUILDING REGULATIONS AND CODES OF PRACTICE.
ALL DIMENSIONS IN MM UNLESS NOTED OTHERWISE
MEASURED SURVEY DOES NOT INCLUDE FOR INTRUSIVE SURVEY TO DETERMINE EXACT LOCATION OF STEELWORK/SUPPORTING STRUCTURE.

"THIS DRAWING IS PREPARED SOLELY FOR DESIGN AND PLANNING SUBMISSION PURPOSES. IT IS NOT INTENDED OR SUITABLE FOR EITHER BUILDING REGULATIONS OR CONSTRUCTION PURPOSES AND SHOULD NOT BE USED FOR SUCH".

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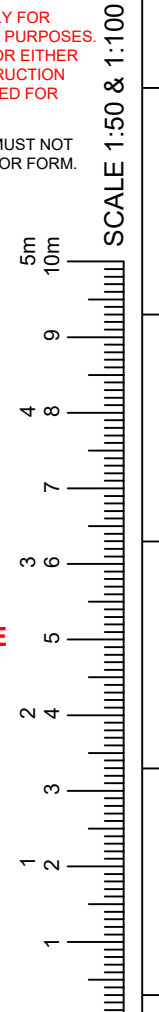
VARIATIONS IN SQUARENESS, DEPTH OF PLASTER ETC, MUST BE CHECKED FOR. WHERE NEW WALLS ARE SHOWN AS ALIGNED WITH EXISTING WALLS, PHYSICAL REMOVAL OF BRICKWORK AND / OR PLASTER TO ESTABLISH THE ACTUAL POSITION OF THE WALL BEING ATTACHED TO MUST BE CHECKED.

ANY DEVELOPMENT WITHOUT A CERTIFICATE OF LAWFULNESS OR PLANNING PERMISSION IS SOLELY AT OWNER'S RISK.

MATERIALS SHOULD MATCH THOSE OF THE EXISTING DWELLING

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Revision	Description	Date
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Full Architectural Services
07538938251 / 07507665812
169 Southpark Drive Ilford IG3 9AD
Email: getrapidplans@gmail.com
Website: getrapidplans.co.uk

ADDRESS
16 ST GEORGES ROAD, DAGENHAM, RM9 5JH

PROJECT
DOUBLE STOREY REAR EXTENSION

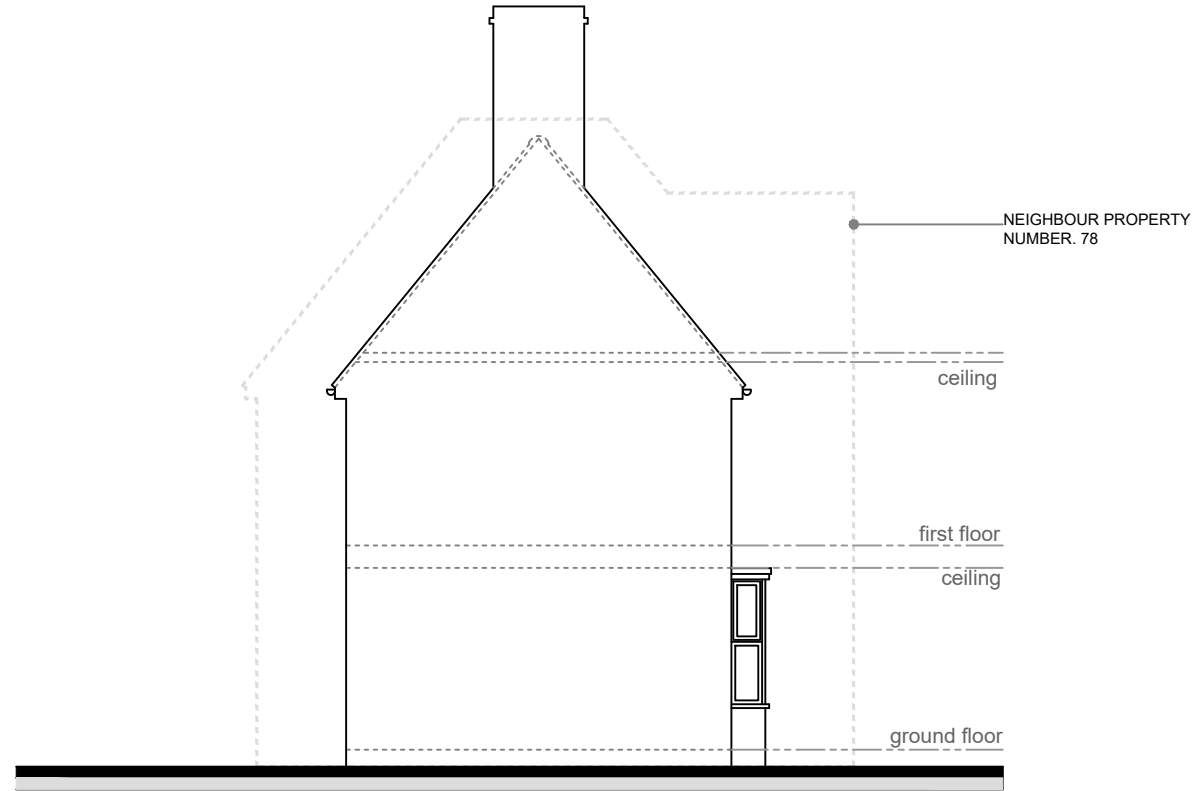
TITLE
REAR ELEVATIONS

DRAWN AT HEAD OFFICE
SCALE 1:100 @A3

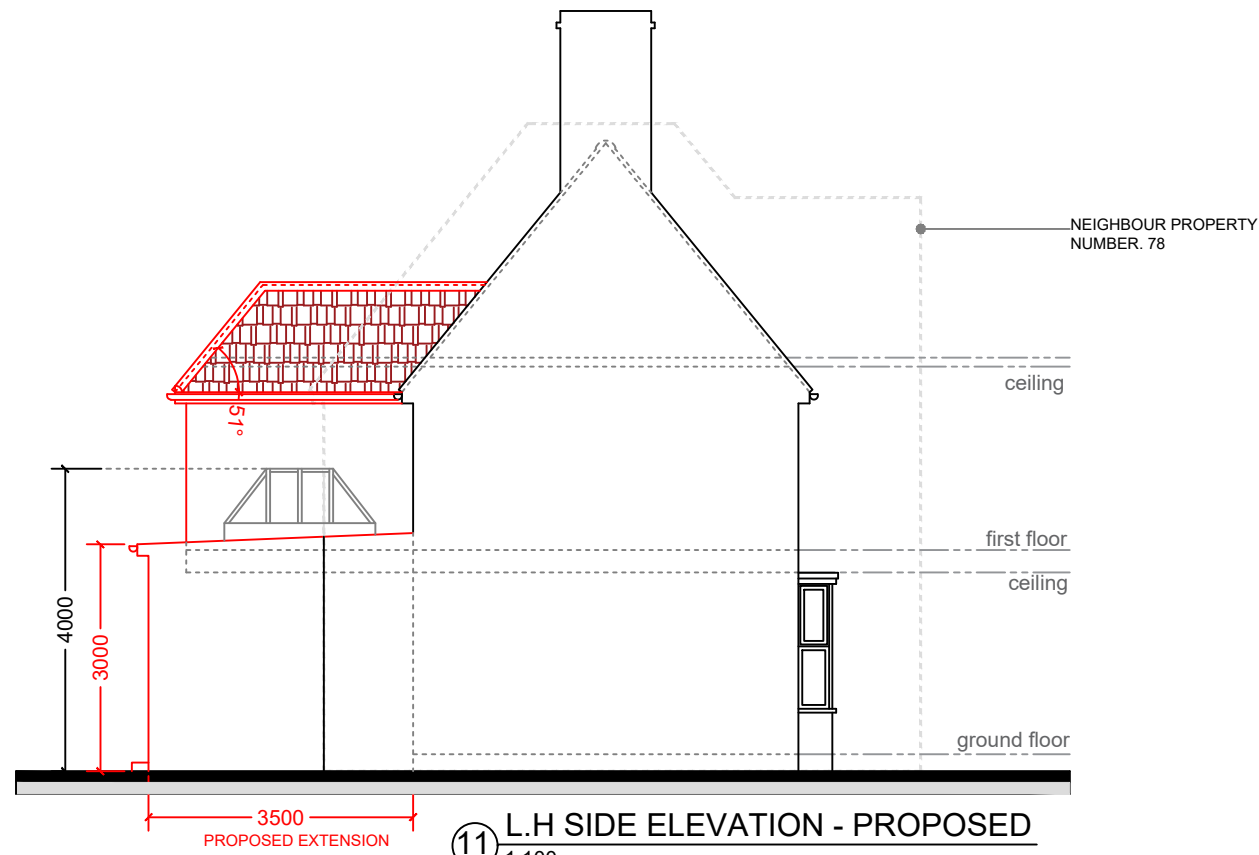
DRAWING NO L27-8	DRAWN BY	CHKD BY
	REVISION	DATE 25-11-2020

PAPER SIZE
A3

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10 L.H SIDE ELEVATION - EXISTING
1:100



11 L.H SIDE ELEVATION - PROPOSED
1:100

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ALL DIMENSIONS IN MM UNLESS NOTED OTHERWISE
MEASURED SURVEY DOES NOT INCLUDE FOR INTRUSIVE SURVEY TO DETERMINE EXACT LOCATION OF STEELWORK/SUPPORTING STRUCTURE.
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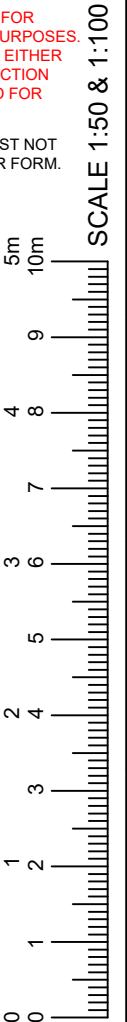
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MATERIALS SHOULD MATCH THOSE OF THE EXISTING DWELLING

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Revision	Description	Date
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Full Architectural Services

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Email: getrapidplans@gmail.com

Website: getrapidplans.co.uk

ADDRESS 16 ST GEORGES ROAD, DAGENHAM, RM9 5JH

PROJECT DOUBLE STOREY REAR EXTENSION

TITLE L.H SIDE ELEVATIONS

DRAWN AT HEAD OFFICE SCALE **1:100 @A3**

DRAWING NO L27-9	DRAWN BY	CHKD BY
	REVISION	DATE 25-11-2020

0 7 5 3 8 9 3 8 2 5 1 - 0 7 5 0 7 6 6 5 8 1 2

Delegated Report

Householder Application for Planning Permission for Works or Extension to a Dwelling

Case Officer:	Orla Bermingham	Valid Date:	17 December 2020
Officer Recommendation:	Approve	Expiry Date:	11 February 2021
Application Number:	20/02496/HSE	Recommended Date:	15 January 2021
Address:	16 St Georges Road, Dagenham, Barking And Dagenham, RM9 5JH		
Proposal:	Construction of a part two storey part single storey rear extension.		

Planning Constraints

The application site is located within the Becontree Estate.

Neighbour Notification

Date Consultation Letter Sent: 17/12/2020

Number of Neighbours Consulted: 7

No response received.

Relevant Planning History

Application Number:	20/02495/CLUP	Status:	Lawful
Description:	<i>Application for a lawful development certificate (proposed) for the construction of a rear dormer extension including four roof lights to the front to facilitate conversion of roof space into habitable accommodation.</i>		
Application Number:	20/02492/PRIEXT	Status:	Prior Approval Not Required
Description:	<i>Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.25 metres. The maximum height of the proposed extension from the natural ground level is 4.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.</i>		

Development Plan Context

The Council has carefully considered the relevant provisions of the Council's adopted development plan and of all other relevant policies and guidance. Of particular relevance to this decision were the following Framework and Development Plan policies and guidance:

National Planning Policy Framework (NPPF) (MHCLG, February 2019)

The London Plan: Spatial Development Strategy for London (GLA, consolidated with alterations since 2011, published March 2016)	Policy 7.4 - Local Character Policy 7.5 - Public Realm Policy 7.6 - Architecture Policy 7.8 - Heritage Assets and Archaeology
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The Mayor of London's Draft London Plan - Intend to Publish version December 2019 is under Examination. Having regard to NPPF paragraph 48 the emerging document is a material consideration and appropriate weight will be given to its policies and suggested changes in decision-making, unless other material considerations indicate that it would not be reasonable to do so.

Draft London Plan (Intend to Publish version December 2019)	Policy D1 - London's Form, Character and Capacity for Growth Policy D4 - Delivering Good Design Policy D8 - Public Realm Policy HC1 - Heritage Conservation and Growth
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The London Borough of Barking and Dagenham's Draft Local Plan: (Regulation 19 Consultation Version, October 2020) is at an

"advanced" stage of preparation. Having regard to NPPF paragraph 216 the emerging document is now a material consideration and substantial weight will be given to the emerging document in decision-making, unless other material considerations indicate that it would not be reasonable to do so.

The London Borough of Barking and Dagenham's Draft Local Plan (Regulation 19 Consultation Version, October 2020)	Policy SP2 - Delivering a well-designed, high quality and resilient built environment Policy SP4 - Delivering quality design in the borough. Policy DMD1 - Securing high quality design Policy DMD4 - Heritage assets and archaeology remains Policy DMD6 - Householder extensions and alterations Policy DMNE3 - Nature conservation and biodiversity
Supplementary Planning Documents	Residential Extensions and Alterations (SPD) (February 2012)

ASSESSMENT

Principle of the Development

Is the proposed development acceptable 'in principle'? **YES**

Officer Comment: The overriding objective of the local policies is to deliver high quality development which improves the quality and distinctive identity of places and meets the housing needs of existing and future residents. As such, it is acknowledged that extensions to existing family dwelling houses can facilitate additional and enhanced living space for improved living conditions for occupants. They are therefore considered acceptable in principle subject to ensuring a high-quality, neighbourly design. Such matters are addressed below.

Achieving High Quality of Urban Design

Does the proposed development respect the character and appearance of the existing dwelling? **YES**

Does the proposed development respect and accord to the established local character? **YES**

Is the proposed development acceptable within the street scene or when viewed from public vantage points **YES**

Is the proposed development acceptable and policy compliant? **YES**

The application site is a terrace house on the southern side of St Georges Road. The application seeks permission for construction of a part two storey part single storey rear extension.

On the proposed ground floor, the extension projects 3.5 metres from the existing rear elevations and spans the width of the property. It will have a flat roof, with a maximum height of 3 metres, and two rooflights. On the proposed first floor, the extension will sit in the middle of the property, 2.1 metres setback from either boundary lines. The proposed first floor extension will project 3 metres and have a width of 4.25 metres. The proposed first floor rear extension will have a half pitched roof, similar to the extension at no 14 St Georges Road.

Officers acknowledge that the applicant has recently explored their rights to a prior approval (20/02492/PRIEXT). However, this is a separate application and each will be assessed individually.

The NPPF (2019), specifically paragraphs 127 and 128, outline that planning policies and decisions should aim to ensure that development functions well and adds to the overall quality of an area for both the short term and over the lifetime of the development. Paragraph 130 advises that permission should be refused for proposed developments of poor design which fails to take the opportunities available for improving the character and quality of an area and the way it functions.

The London Plan Policy 7.1 states the design of new developments and the spaces they create should help reinforce the character of the neighbourhood. Policy 7.4 requires development to have regard to the form, function and structure of an area, place or street and the scale, mass and orientation of surrounding buildings and other forms of development. It is required that in areas of poor, or ill-defined, character, new development should build on the positive existing elements that can contribute to establishing an enhanced character for the future function of the area. Policy 7.6 seeks the highest quality materials and design appropriate to its context. Policy 7.8 seeks to ensure London's heritage assets are identified so that their significance can be enhanced and used positively for place shaping.

On a more localised level, Policy SP 2 of the Draft Local Plan (Regulation 19) reiterates that the Council will promote high-quality design, providing a safe, convenient, accessible and inclusive built environment and interesting public spaces and social infrastructure for all through recognising and celebrating local character and the borough's heritage, adopting a design-led approach to optimising density and site potential by responding positively to local distinctiveness and site context. Policy DMD 1 of the Draft Local Plan states that all development proposals should be creative and innovative, recognising that

Officer Comment:

existing local character and accommodating change is not mutually exclusive, architecture should be responsive, authentic, engaging, and have an enduring appeal. Policy DMD 6 of the Draft Local Plan notes that householder extensions and alterations will need to be designed in a sensitive and appropriate manner, being sympathetic to the design of the original dwelling with regards to scale, form, materials and detailing.

The Becontree Estate, the location of the application site and of which this property forms part, was built as Homes for Heroes in the period 1921 to 1934 and at the time was the largest municipal estate in the world. It therefore forms part of the rich local history of the area and is referenced in policy CP2 of the Core Strategy as forming an important symbol of the past. Policy CP2 seeks to respect the local context and reinforce local distinctiveness. Policy BP2 of the Borough Wide DPD also references the heritage value of the Estate and although this dwelling house is not situated in a conservation area, this policy recognises the distinctive local character and historical importance of the Becontree Estate. The policy is concerned with preserving heritage areas of their instinctive and historically important features and ensuring developments do not detract from the heritage area's significance. Policy DMD 4 of the Draft Local Plan states that other heritage assets and the wider historic environment, aside from the four conservation areas and other areas that are locally distinctive and historically important (e.g. Becontree Estate) will be identified, celebrated and promoted where relevant through the Council's heritage strategy (or its updated equivalent).

Proposed Ground Floor Rear Extension

On the proposed ground floor, the extension projects 3.5 metres from the existing rear elevations and spans the width of the property. It will have a flat roof, with a maximum height of 3 metres, and two rooflights.

The Supplementary Planning Document states that rear extension have a reduced impact on the street scene, but still recognises the importance of appropriate height, scale and design. If the house is terraced, the depth of the extension should not normally exceed 3.65 metres as measured from the original rear wall of the house and if the extension will have a flat roof then its height should not exceed 3 metres. The proposed ground floor rear extension meets these requirements, and is therefore considered appropriate in design, complimenting the appearance of the existing dwellinghouse and surrounding area. In addition, officers also acknowledge that the applicant has been approved a 4.25 metre rear extension under 20/02492/PRIEXT.

Proposed First Floor Rear Extension

On the proposed first floor, the extension will sit in the middle of the property, 2.1 metres setback from either boundary lines. The proposed first floor extension will project 3 metres and have a width of 4.25 metres.

The Supplementary Planning Document the importance that the design of a first floor rear extension is sympathetic towards the original house. Particular attention should be paid to ensure the roof treatment reflects the character of the original dwelling. For example, where the main roof of the house is pitched, this should be continued over the extension. Flat-roofed extensions will not be considered acceptable in the vast majority of circumstances. The proposed first floor rear extension will have a half pitched roof, similar to the extension at no 14 St Georges Road. Although a fairly irregular roof design, officers consider the roof treatment to be sympathetic to the surrounding area, due to the extension at no 14 St Georges Road.

Officer did have raised concerns over the proposed first floor rear extension as it is a fairly large scale development which is not a common feature in the surrounding area. However, officers acknowledge the large scale of the development at no 14 St Georges Road. Therefore the proposed development is considered to respect the established local character.

For the reasons above, officers consider the proposed development to be appropriate in design and in accordance with the objectives of the NPPF, The London Plan Policies 7.1, 7.4, 7.6, and 7.8, Policies SP 2, DMD 1, DMD 4 and DMD 6 of the Draft Local Plan, Policy CP2 of the Core Strategy, Policies BP2, BP8 and BP11 of the Local Development Framework Borough Wide Development Plan, and the Supplementary Planning Document.

Delivering Neighbourly Development								
	14 St Georges Road	78 Verney Road	N/A			14 St Georges Road	78 Verney Road	N/A
Outlook:				Overshadowing:				

Loss from habitable rooms?	NO	NO		Shadow cast into rooms?	NO	NO	
<i>Is it unacceptable?</i>				<i>Is it unacceptable?</i>			
				Shadow into garden?	YES	YES	
Loss of Privacy:				<i>Is it unacceptable?</i>	NO	NO	
Overlooking the garden?	YES	YES					
<i>Is it unacceptable?</i>	NO	NO		Overbearing:			
Overlooking into rooms?	NO	NO		Impact on habitable rooms?	NO	NO	
<i>Is it unacceptable?</i>				<i>Is it unacceptable?</i>			
				Impact on gardens?	YES	YES	
Loss of Daylight:				<i>Is it unacceptable?</i>	NO	NO	
Loss into habitable rooms?	NO	NO					
<i>Is it unacceptable?</i>							

Officer Comment:	<p>The application site is a terrace house on the southern side of St Georges Road. The application seeks permission for construction of a part two storey part single storey rear extension. On the proposed ground floor, the extension projects 3.5 metres from the existing rear elevations and spans the width of the property. It will have a flat roof, with a maximum height of 3 metres, and two rooflights. On the proposed first floor, the extension will sit in the middle of the property, 2.1 metres setback from either boundary lines. The proposed first floor extension will project 3 metres and have a width of 4.25 metres. The proposed first floor rear extension will have a half pitched roof, similar to the extension at no 14 St Georges Road.</p> <p>Officers acknowledge that the applicant has recently explored their rights to a prior approval (20/02492/PRIEXT). However, this is a separate application and each will be assessed individually.</p> <p>The NPPF, The London Plan Policies 7.1, 7.4, 7.6, all have relevance to the importance of quality development in addressing neighbouring amenity and avoiding unacceptable impacts. Policy DMD 1 of the Draft Local Plan (Regulation 19) states that all development proposals should consider the impact on the amenity of neighbouring properties with regard to significant over looking (loss of privacy and immediate outlook) and overshadowing (unacceptable loss of daylight and sunlight), wind and microclimate. Policy DMD 6 of the Draft Local Plan (Regulation 19) notes that householder extensions and alterations will need to be designed in a sensitive and appropriate manner, considering the impact on the amenity of neighbouring properties, avoiding significant over looking (loss of privacy and immediate outlook) and overshadowing (loss of daylight and sunlight). Policy BP8 and BP11 of the Local Development Framework Borough Wide Development Plan has specific regard to protecting residential amenity. The Supplementary Planning Document states that rear extensions have a much reduced impact upon the street scene. However, a rear extension can have a significant impact on your neighbour's amenity.</p> <p>Proposed Ground Floor Rear Extension</p> <p>Due to its appropriate height, scale and design, officers consider the proposed ground floor rear extension to present minimal impact to neighbouring amenity. In addition, officers also acknowledge that the applicant has been approved a 4.25 metre rear extension under 20/02492/PRIEXT.</p> <p>Proposed First Floor Rear Extension</p> <p>The Supplementary Planning Document states that double storey extensions have the potential to significantly impact upon your neighbour's property due to their scale. As such, they will only be considered acceptable if there is no material impact on neighbouring amenity. The depth of any proposed first floor extension as measured from the main rear wall should not exceed the distance from the proposed extension to the corner of the adjacent property. Where the adjacent property has a solid roof extension, the distance shall be taken from the corner of the extended part. As such, no part of the proposed extension should extend beyond a 45 degree angle as taken from the corner of the adjoining property. The proposed development meets these requirements.</p>
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	<p>Due to the south-west facing gardens, the proposed development will overshadow no 14 St Georges Road in the mornings. It will also result in overlooking to their garden and a sense of overbearingness. However, officers consider this to be of acceptable levels, especially due to the large extension which has occurred at no 14 St Georges Road.</p> <p>Due to the south-west facing gardens, the proposed development will overshadow no 78 Verney Road in the evenings. It will also result in overlooking to their garden and a sense of overbearingness. However, due to its appropriate scale and sitting, officers consider this to be of acceptable levels.</p> <p>For the reasons above, officers consider the proposed development to protect neighbouring amenity and is in accordance with the objectives of the NPPF, The London Plan Policies 7.1, 7.4, 7.6, Policies SP 2, DMD 1 and DMD 6 of the Draft Local Plan, Policies BP8 and BP11 of the Local Development Framework Borough Wide Development Plan, and the Supplementary Planning Document.</p>
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Delivering Sustainability	
<i>Does the proposed development promote or enhance biodiversity?</i>	NO
<i>Has established vegetation been preserved or appropriately relocated/mitigated against?</i>	NO
<i>Officer Comment:</i>	The application has not incorporated any proposed biodiversity enhancement measures and the extension will result in the loss of a portion of grassed area. Whilst there is scope to compensate for such loss and to further improve the biodiversity value of the site, the lack of any compensatory or enhancement measures in this instance would not warrant reason for refusal noting there is still ample garden remaining.

Meeting the Needs of Homeowners	
<i>Are all proposed rooms well-lit by daylight and naturally vented through opening windows?</i>	YES
<i>Are the sizes of all proposed rooms appropriate in size for the purpose they are designed for?</i>	YES
<i>Officer Comment:</i>	The proposed extension is intended to rationalise and expand the layout of the existing dwelling through the provision of appropriately sized and lit home extensions.

CONCLUSION	
The proposed development would respect the character and appearance of the area without having any unacceptable impact on the living conditions of neighbouring properties. The proposal is therefore considered to accord with the Development Plan policies and guidance specified above, and it is recommended that planning permission be granted.	

LBBB Reference: 20/02496/HSE

Dilnashin Nawab
169 South Park Drive
Ilford
IG3 9AD

**TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)
TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND) ORDER 2015 (AS
AMENDED)**

Dear Sir / Madam,

Application Number: 20/02496/HSE
Address: 16 St Georges Road, Dagenham, Barking And Dagenham, RM9 5JH
Development Description: Construction of a part two storey part single storey rear extension.

Thank you for your recent application at the above address on which a decision has now been made. The decision on your application is attached. Please carefully read all of the information contained in these documents.

Please quote your application reference number in any correspondence with the Council.

Yours sincerely,

Graeme Cooke

Graeme Cooke
Director of Inclusive Growth
London Borough of Barking and Dagenham

PLANNING DECISION NOTICE

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED) TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND) ORDER 2015 (AS AMENDED)

Agent: Dilnashin Nawab
169 South Park Drive
Ilford IG3 9AD

Applicant: Ricky & Emma Inayat
16 St Georges Road, Dagenham, Barking
And Dagenham, RM9 5JH

PART 1 - PARTICULARS OF THE APPLICATION

Application Number: 20/02496/HSE
Application Type: Householder Planning Permission
Development Description: Construction of a part two storey part single storey rear extension.
Site Address: 16 St Georges Road, Dagenham, Barking And Dagenham, RM9 5JH
Date Received: 17 December 2020
Date Validated: 17 December 2020

PART 2 - PARTICULARS OF THE DECISION

The London Borough of Barking and Dagenham, as Local Planning Authority, in pursuance of its powers under the above mentioned Act, Rules, Orders and Regulations made thereunder, hereby gives notice that PLANNING PERMISSION has been **GRANTED** for the carrying out of the development referred to in PART 1 hereof and as described and shown on the plan(s) and document(s) submitted with the application, subject to the conditions and reasons listed below.

Conditions:

1. The development hereby permitted shall be commenced before the expiration of three years from the date of this permission.

Reason: To comply with the requirements of Section 91 of the Town and Country Planning Act 1990 (as amended by Section 51 of the Planning and Compulsory Purchase Act 2004).

2. The development hereby approved shall only be carried out in accordance with the following approved plans and documents:

- L27-2 - Proposed Ground Floor Plan - 25/11/2020
- L27-4 - Proposed First Floor Plan - 25/11/2020
- L27-6 - Proposed Roof Plan - 25/11/2020
- L27-8 - Proposed Rear Elevations - 25/11/2020
- L27-9 - L.H Side Elevations - 25/11/2020
- L27-10 - R.H Side Elevations - 25/11/2020
- L27-12- Proposed Site Plan - 25/11/2020

No other drawings or documents apply.

Reason: To ensure that the development is undertaken in accordance with the approved drawing(s) and document(s), to ensure that the finished appearance of the development will enhance the character and visual amenities of the area and to satisfactorily protect the residential amenities of nearby occupiers.

3. The materials to be used in the construction of the external surfaces of the development hereby permitted shall match those used in the existing dwellinghouse.

Reason: To ensure that the finished appearance of the development will respect the character and visual amenities of the local area.

Summary of Policies and Reasons:

In deciding to grant planning permission in this instance, Be First, working in partnership the London Borough of Barking and Dagenham, found the proposal to be acceptable following careful consideration of the relevant provisions of the National

Planning Policy Framework, the Development Plan and all other relevant material considerations. Upon review, the London Borough of Barking and Dagenham is satisfied that any potential material harm resulting from the proposal's impact on the surrounding area would be reasonably mitigated through compliance with the conditions listed above.

The following policies are of particular relevance to this decision and for the imposition of the abovementioned conditions:

National Planning Policy Framework (NPPF) (MHCLG, February 2019)

The London Plan: Spatial Development Strategy for London (GLA, consolidated with alterations since 2011, published March 2016)

Policy 7.4 - Local Character

Policy 7.5 - Public Realm

Policy 7.6 - Architecture

Draft London Plan (Intend to Publish version, December 2019)

The Mayor of London's Draft London Plan (Intend to Publish version, December 2019) is under Examination. Having regard to NPPF paragraph 48, the emerging document is a material consideration and appropriate weight will be given to its policies and suggested changes in decision-making, unless other material considerations indicate that it would not be reasonable to do so.

Policy D1 - London's Form, Character and Capacity for Growth

Policy D4 - Delivering Good Design

Policy D8 - Public Realm

Local Development Framework (LDF) Core Strategy (July 2010)

Policy CR2 - Preserving and Enhancing the Natural Environment

Policy CP3 - High Quality Built Environment

Local Development Framework (LDF) Borough Wide Development Plan Document (DPD) (March 2011)

Policy BP8 - Protecting Residential Amenity

Policy BP11 - Urban Design

The London Borough of Barking and Dagenham's Draft Local Plan (Regulation 19 Consultation Version, October 2020)

The London Borough of Barking and Dagenham's Draft Local Plan: (Regulation 19 Consultation Version, October 2020) is at an "advanced" stage of preparation. Having regard to NPPF paragraph 216 the emerging document is now a material consideration and substantial weight will be given to the emerging document in decision-making, unless other material considerations indicate that it would not be reasonable to do so.

Policy SP2 - Delivering a well-designed, high quality and resilient built environment

Policy SP4 - Delivering quality design in the borough.

Policy DMD1 - Securing high quality design

Policy DMD4 - Heritage assets and archaeology remains

Policy DMD6 - Householder extensions and alterations

Policy DMNE3 - Nature conservation and biodiversity

Supplementary Planning Documents

Residential Extensions and Alterations (SPD) (February 2012)

The above policies can be viewed on the Council's website: www.lbbd.gov.uk/planning.

Working with the applicant:

In dealing with this application, Be First, working in partnership with the London Borough of Barking and Dagenham, has implemented the requirements of the National Planning Policy Framework and of the Town and Country Planning (Development Management Procedure) (England) Order 2015 (as amended) to work with the Applicant in a positive and proactive manner. As with all applicants, Be First has made available detailed advice in the form of statutory policies and all other relevant guidance, as well as offering a full pre-application advice service, so as to ensure the applicant has been given every opportunity to submit an application which is likely to be considered favourably.

This development is potentially liable for payment of both the Mayor of London and London Borough of Barking and Dagenham's Community Infrastructure Levies (CIL). Further information about CIL, including the process that must be followed and forms that will be required, can be found on the Council's website: <https://www.lbbd.gov.uk/developer-contributions-cil-and-s106>. CIL forms can be submitted to: S106CIL@befirst.london

DATE OF DECISION: 28/01/2021

Yours sincerely,

Graeme Cooke

Graeme Cooke

Director of Inclusive Growth

London Borough of Barking and Dagenham

TOWN AND COUNTRY PLANNING ACT 1990 (AS AMENDED)
Applicant's Rights following the Grant or Refusal of permission

1. Appeals to the Secretary of State

Should you (an applicant/agent) feel aggrieved by the decision of the council to either refuse permission or to grant permission subject to conditions, you can appeal to the Secretary of State for the Department of Communities and Local Government – Section 78 of the Town and Country Planning Act 1990 / Sections 20 and 21 of the Planning (Listed Building and Conservation Areas) Act 1990. Any such appeal must be made within the relevant timescale for the application types noted below, beginning from the date of the decision notice (unless an extended period has been agreed in writing with the council):

- **Six (6) months:** Full application (excluding Householder and Minor Commercial applications), listed building, conservation area consent, Section 73 'variation/removal', Section 73 'minor-material amendment', extension of time and prior approval applications.
- **Twelve (12) weeks:** Householder planning, Householder prior approval and Minor Commercial applications.
- **Eight (8) weeks:** Advertisement consent applications.
- **No timescale:** Certificate of lawful development (existing/proposed) applications.

Where an enforcement notice has been issued the appeal period may be significantly reduced, subject to the following criteria:

- The development proposed by your application is the same or substantially the same as development that is currently the subject of an enforcement notice: **28 days of the date of the application decision.**
- An enforcement notice is served **after the decision on your application** relating to the same or substantially the same land and development as in your application and if you want to appeal against the council's decision you are advised to appeal against the Enforcement Notice and to do so before the Effective Date stated on the Enforcement Notice.

Appeals must be made using the prescribed form(s) of The Planning Inspectorate (PINS) obtained from www.planning-inspectorate.gov.uk or by contacting 03034445000. A copy of any appeal should be sent both to PINS and the council (attn: Planning Appeals Officer).

The Secretary of State can allow a longer period for giving notice of an appeal but will not normally be prepared to use this power unless there are exceptional/special circumstances.

The Secretary of State can refuse to consider an appeal if the council could not have granted planning permission for the proposed development or could not have granted it without the conditions it imposed, having regard to the statutory requirements and provisions of the Development Order and to any direction given under the Order. In practice, it is uncommon for the Secretary of State to refuse to consider appeals solely because the council based its decision on a 'direction given by the Secretary of State'.

2. Subsequent Application Fees

No planning fee would be payable should a revised planning application be submitted within 12 months of the decision. This 'fee waiver' is permitted only where the new application meets the following criteria:

- the applicant is the same as the applicant of the original application
- site boundary is the same as the site boundary of the original application
- the nature of development remains the same.

3. Purchase Notices

Should either the council or the Secretary of State refuse permission or to grant permission subject to conditions, the owner may claim that the land cannot be put to a reasonably beneficial use in its existing state nor through carrying out of any development which has been or could be permitted. In such a case, the owner may serve a purchase notice on the council.

This notice will require the council to purchase the owner's interest in the land in accordance with the provisions of Part IV of the Town and Country Planning Act 1990 and Section 32 of the Planning (Listed Buildings Conservation Areas) Act 1990.

4. Compensation

In certain circumstances compensation may be claimed from the council if permission is refused or granted subject to condition(s) by the Secretary of State on appeal or on reference to the Secretary of State. These circumstances are set out in Section 114 and related provisions of the Town and Country Planning Act 1990 and Section 27 of the Planning (Listed Buildings and Conservation Areas) Act 1990.



Performance Review Sub-Committee

16th February 2021

Sample Selection Number:

1439

Application Reference:

21/00106/COM

Application Description:

Proposed installation of 1No. GPS unit affixed to an antenna support pole and ancillary development thereto.

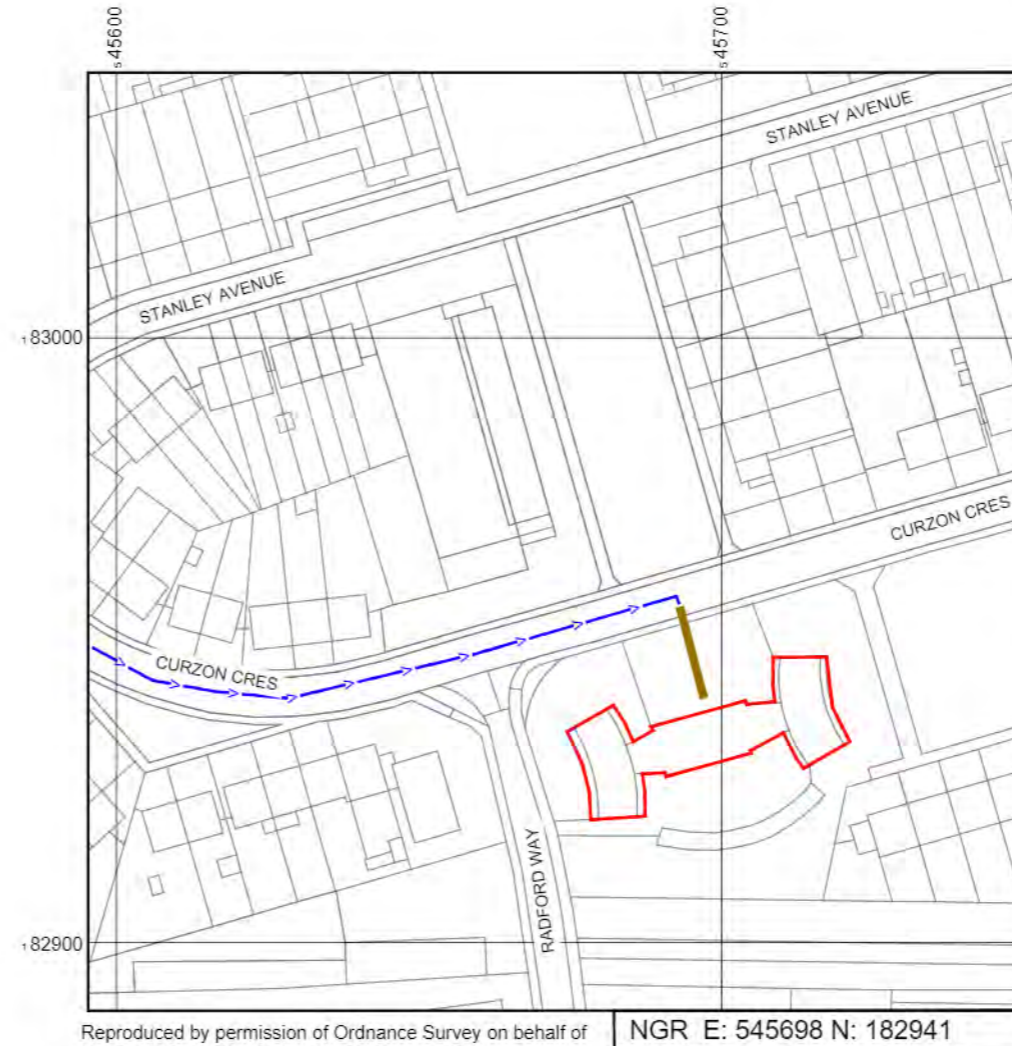
Decision:

Approved

SITE LOCATION

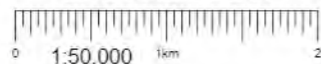


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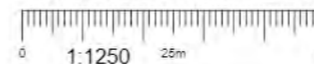
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SITE AREA PLAN



SITE PHOTOGRAPH

SITE LOCATION PLAN



GOOGLE MAPS QR CODE

GOOGLE MAPS -<https://goo.gl/maps/uxq9r7gUvYGQ5rgM8>

GOOGLE STREET VIEW -<https://goo.gl/maps/aTr3EBsFDu4JUy6X6>

NOTES:

1. ALL DIMENSIONS IN MM UNLESS OTHERWISE NOTED.

DIRECTIONS TO SITE:

HEAD SOUTH ON M25. TAKE THE A13(W) EXIT TOWARD LONDON (E & C). AT MAR DYKE INTERCHANGE. TAKE THE 4TH EXIT ONTO THE A13 (W) RAMP TO LONDON (E)/LONDON (C). MERGE WITH A13. CONTINUE STRAIGHT ONTO RIPPLE RD/A13. TAKE THE EXIT TOWARD CREEKMOUTH. MERGE WITH RIVER RD. TURN LEFT ONTO BASTABLE AVE. TURN RIGHT ONTO CURZON CRES. DESTINATION WILL BE ON THE RIGHT.

Demise:



Access Route To Site:



Access Route:



Master: M003	MBNL / EE / H3G	Project: Grissom	Purpose of Issue: Planning	Issue: C
Date: 13/12/2020	Drawn: DvB	Revision / Upgrade Description: Proposed Antenna - Radio comments		
Checked: KTL	Approved: KTL			
Master: M002	MBNL	Project: Grissom	Purpose of Issue: Planning	Issue: B
Date: 30/11/2020	Drawn: DvB	Revision / Upgrade Description: T&T and radio comments.		
Checked: KTL	Approved: KTL			
Master: M001	MBNL / EE / H3G	Project: Grissom	Purpose of Issue: Planning	Issue: A
Date: 15/11/2020	Drawn: KAR	Revision / Upgrade Description: First Issue		
Checked: GA	Approved: PG			



Hatfield Business Park
Hatfield
Hertfordshire
AL10 9BW

Tel: 01707 315000
Fax: 01707 319001

Design & Principal Consultant:



UK Office:
UBC Building, 1310 Solihull Parkway,
Birmingham Business Park, B37 7YU

Tel: +44 (0)1908 377 766
Email: info@kttl.ie

Site Name: ENTERPRISE HOUSE

Site ID: 710052

Address:
ENTERPRISE HOUSE
CURZON CRESCENT
BARKING
IG11 0JZ

Title: 002 SITE LOCATION PLAN

Project: GRISSOM

Purpose of Issue: GENERAL ARRANGEMENT

EE Cell ID: 98204	MBNL Cell ID: BAD030	3UK Cell ID: IG0066
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Master Drawing No: 710052_BAD030_98204_IG0066_M003	Issue: C
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GROUND LEVEL 0.0m

Existing EE 1No. Huawei AOC4518Rv06 antenna on tripod support pole

Existing EE 1No. Mk2 BOB, 1No. Commscope E14R00P42 MHA & 1No. RD0725 active router on tripod support pole behind antenna

Proposed EE 2No. Ericsson 2600 filters on antenna support pole behind antenna

Existing EE 6No. 7-50 feeders, 3No. Multimode fibre trunking, 3No. Single Mode Fibres & DC Cables in cable tray to be reused

Approx trees level +4.0m AGL

Existing H3G 1No. Huawei AHP4517R7v06 antenna on existing tripod support pole (Installed under the tactical upgrade)

Existing H3G 1No. 5501 RRU, 2No. 5301 RRUs, 1No. 18/21 MHA, fibre BOB & power BOB fixed to rooftop

Proposed EE 1No. 4480 ERS, 1No. 4419 ERS & 1No. 8863 ERS units on existing tripod support pole. Existing EE 3No. 3262 RRHs & 6No. 5507 RRHs to be removed

Existing 1.1m high hand rail on roof level

Existing EE equipment cabin on steel Grillage. To be upgraded internally. Refer to cabin layout for details

Roof Level +24.2m AGL

Existing Anti slip matting from access ladder to tripod location

Approx trees level +4.0m AGL

Existing EE/H3G 2No. Ø300mm dishes on existing Monopole

Existing EE/H3G 450mm wide Cable tray c/w vertical section to upper level

Existing EE/H3G 450mm wide Cable tray

Roof Level +24.2m AGL

Roof Level +27.0m AGL

Existing steppover to be Keesafety STMF4005

Existing hooped access ladder

Existing rooftop access door

Existing H3G 1No. Huawei AHP4517R7v06 antenna on existing tripod support pole (Installed under the tactical upgrade)

Existing EE 1No. Huawei AOC4518Rv06 antenna on tripod support pole

Existing EE 1No. Mk2 BOB, 1No. Commscope E14R00P42 MHA & 1No. RD0725 active router on tripod support pole behind antenna

Proposed EE 2No. Ericsson 2600 filters on antenna support pole behind antenna

Proposed EE 1No. 4480 ERS, 1No. 4419 ERS & 1No. 8863 ERS units on existing tripod support pole

Existing H3G 1No. 5501 RRU, 2No. 5301 RRUs, 1No. 18/21 MHA, fibre BOB & power BOB fixed to rooftop

Approx trees level +15.0m AGL

Existing EE/H3G Meter cabinet at ground level c/w 3 phase 100A REC supply

Proposed EE 1No. 4480 ERS, 1No. 4419 ERS & 1No. 8863 ERS units on existing tripod support pole

Existing H3G 1No. 5501 RRU, 2No. 5301 RRUs, 1No. 18/21 MHA, fibre BOB & power BOB fixed to rooftop

Proposed EE GPS node on top of sector 2 antenna pole mounted 200mm above antenna. Existing GPS node to be removed

Existing EE 1No. Huawei AOC4518Rv06 antenna on tripod support pole

Existing EE 1No. Mk2 BOB, 1No. Commscope E14R00P42 MHA & 1No. RD0725 active router on tripod support pole behind antenna

Proposed EE 2No. Ericsson 2600 filters on antenna support pole behind antenna

Existing H3G 1No. Huawei AHP4517R7v06 antenna on existing tripod support pole (Installed under the tactical upgrade)

Approx trees level +4.0m AGL



PROPOSED SITE PLAN

0 1:200 5m 8

NOTES:

1. ALL DIMENSIONS IN MM UNLESS OTHERWISE NOTED.

Note: Structural Calcs Required for new antennas & new equipments on steelwork

Note: All existing feeder & 2No. fibre cables to be re-used. Subject to testing.

Master:	MBNL / EE / H3G	Project:	Grissom	Purpose of Issue:	Planning	Issue:	C
Date:	13/12/2020	Revision / Upgrade Description:	Proposed Antenna - Radio comments				
Drawn:	DvB	Checked:	KTL	Approved:	KTL		
Master:	MBNL / EE / H3G	Project:	Grissom	Purpose of Issue:	Planning	Issue:	B
Date:	30/11/2020	Revision / Upgrade Description:	T&T and radio comments.				
Drawn:	DvB	Checked:	KTL	Approved:	KTL		
Master:	MBNL / EE / H3G	Project:	Grissom	Purpose of Issue:	Planning	Issue:	A
Date:	15/11/2020	Revision / Upgrade Description:	First Issue				
Drawn:	KAR	Checked:	GA	Approved:	PG		



Hatfield Business Park
Hatfield
Hertfordshire
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Tel: 01707 315000
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Design & Principal Consultant:



UK Office:
UBC Building, 1310 Solihull Parkway,
Birmingham Business Park, B37 7YU

Tel: +44 (0)1908 377 766
Email: info@kttl.ie

Site Name:	ENTERPRISE HOUSE	
Site ID:	710052	
Address:	ENTERPRISE HOUSE CURZON CRESCENT BARKING IG11 0JZ	
Title:	150 PROPOSED SITE PLAN	
Project:	GRISSOM	
Purpose of Issue:	GENERAL ARRANGEMENT	
EE Cell ID:	98204	3UK Cell ID: IG0066
MBNL Cell ID:	BAD030	
Master Drawing No:	710052_BAD030_98204_IG0066_M003	
Issue:	C	

Delegated Report

Notification of Proposed Development by Telecommunications Code System Operators

Case Officer:	Harry Moorhouse	Valid Date:	20 January 2021
Officer Recommendation:	Close	Expiry Date:	10 February 2021
Application Number:	21/00106/COM	Recommended Date:	26 January 2021
Address:	Enterprise House Curzon Crescent, Barking, Barking And Dagenham, IG11 0JZ		
Proposal:	Proposed installation of 1No. GPS unit affixed to an antenna support pole and ancillary development thereto.		

Relevant Legislation

- The Town and Country Planning Act 1990 (as amended)
- The Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) Schedule 2, Part 16

ASSESSMENT

The Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended) Schedule 2, Part 16 Criteria

Does the proposed development comply with the relevant conditions, limitations or restrictions of The Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended)?

YES

CONCLUSION

Close

The proposed Telecommunications development complies with the relevant conditions, limitations or restrictions of The Town and Country Planning (General Permitted Development) (England) Order 2015 (as amended). Prior approval of the Local Authority and/or Planning Permission is not required for the proposed works.



Be First Regeneration Ltd
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Appendix 2

Performance Review Sub-Committee



Appeal Decision

Site visit made on 2 July 2020

by Andrew Smith BA (Hons) MA MRTPI

an Inspector appointed by the Secretary of State

Decision date: 07 July 2020

Appeal Ref: APP/Z5060/D/19/3241932

40 Julia Gardens, Barking IG11 0UJ

- The appeal is made under section 78 of the Town and Country Planning Act 1990 against a refusal to grant planning permission.
 - The appeal is made by Mr Palmer against the decision of the Council of the London Borough of Barking & Dagenham.
 - The application Ref 19/01254/FUL, dated 25 July 2019, was refused by notice dated 20 September 2019.
 - The development proposed is the erection of an ancillary granny annexe.
-

Decision

1. The appeal is allowed and planning permission is granted for the erection of an ancillary granny annexe at 40 Julia Gardens, Barking IG11 0UJ, in accordance with the terms of the application, 19/01254/FUL, dated 25 July 2019, subject to the following conditions:
 - 1) The development hereby permitted shall begin not later than three years from the date of this permission.
 - 2) The development hereby permitted shall be carried out in accordance with the following approved plans and documents: MPSDV3/01b; MPSDV3/02b; MPSDV3/03b; MPSDV3/04b; MPSDV3/05b; Planning Statement (July 2019).
 - 3) The materials to be used in the construction of the external surfaces of the development hereby permitted shall be in accordance with those set out at paragraph 41 of the approved Planning Statement and as illustrated upon approved plan MPSDV3/04b.
 - 4) The building hereby permitted shall only be used for purposes ancillary to the use of the dwellinghouse and shall not be used as an independent unit of accommodation.

Main Issue

2. The main issue is whether or not a suitably located form of development is proposed, including consideration of whether or not the proposed ancillary use has been satisfactorily demonstrated.

Reasons

3. Paragraph 5.7.3(a) of the Residential Extensions and Alterations Supplementary Planning Document (February 2012) (the SPD) sets out that an outbuilding's use should be ancillary or related to the use of the main dwelling

and that any unrelated use will normally be refused. Indeed, were the proposal that is before me to amount to a new self-contained unit of residential accommodation, it would be anticipated to have a harmful effect upon both the character of the area and the living conditions of existing and future occupants at the site. However, the scheme before me is for an ancillary annexe that is earmarked for future occupation by the appellant's elderly mother and I shall consider the proposal from this starting point.

4. It is apparent that a single storey building of modest proportions is proposed. Indeed, the intended floor plan illustrates that merely a single bedroom, a shower room and a lounge area would be provided internally. On this basis any future occupier of the annexe would be reliant upon the host property for kitchen and utility facilities. Furthermore, it is evident that the site's access and external areas would be shared and it has been confirmed that no separate address is to be created and that services would not be independently metered.
5. Whilst the proposed annexe would be situated to the rear of the site and thus physically separate from the main house, it would not be remotely positioned. Indeed, only a short distance on foot would need to be negotiated in order to access the main dwelling from the annexe and vice versa. I also see merit in the appellant's argument that the annexe's proposed siting makes the most efficient use of the site's existing garden area and would be in keeping with the position of other outbuildings in the vicinity. I am satisfied that the annexe would not cause harm to the character and appearance of the area or to the living conditions of neighbouring residential occupiers through, for example, unacceptable overlooking or overshadowing.
6. The proposal represents a suitably located form of development and it has been satisfactorily demonstrated that the annexe would be used in an ancillary capacity linked to the existing main dwelling. The proposal accords with Policies BP8 and BP11 of the Borough Wide Development Policies (March 2011) and with the SPD in so far as these policies and guidance require all development to have regard to the local character of the area and to maintain residential amenity. The proposed development accords with the development plan when read as a whole, and material considerations do not lead me to a decision otherwise.

Conditions

7. In the interests of certainty, a condition specifying the approved plans and documents is required. In the interests of protecting the character and appearance of the area, a condition is reasonable and necessary that requires the external surfaces of the building to be constructed in accordance with the details that have been indicated. A planning condition confirming that the approved building is to be used only for purposes ancillary to the use of the existing dwellinghouse is also required. This would be in the interests of ensuring that a suitable form of development is indeed brought forward and retained in perpetuity.

Conclusion

8. For the above reasons, the appeal is allowed subject to conditions.

Andrew Smith

INSPECTOR



Appeal Decision

Site visit made on 2 September 2020

by David Wallis BSc (HONS) PG DipEP MRTPI

an Inspector appointed by the Secretary of State

Decision date: 4th September 2020

Appeal Ref: APP/Z5060/W/20/3247697

114 Arnold Road, Dagenham RM9 6AW

- The appeal is made under section 78 of the Town and Country Planning Act 1990 against a refusal to grant planning permission.
 - The appeal is made by Mr Ardian Elezi against the decision of the Council of the London Borough of Barking & Dagenham.
 - The application Ref 19/01534/FUL, dated 27 September 2019, was refused by notice dated 3 February 2020.
 - The development proposed is the construction of two-bedroom end-of-terrace house.
-

Decision

1. The appeal is allowed and planning permission is granted for the construction of two-bedroom end-of-terrace house at 114 Arnold Road, Dagenham RM9 6AW in accordance with the terms of the application, Ref 19/01534/FUL, dated 27 September 2019, and the plans submitted with it, subject to the following conditions:
 - 1) The development hereby permitted shall begin not later than 3 years from the date of this decision.
 - 2) The development hereby permitted shall be carried out in accordance with the following approved plans: 19/9/2 Revision A.

Main Issue

2. The main issue for the appeal is the effect of the development on the character and appearance of the area.

Reasons

3. The Becontree Estate is a distinctively dense urban environment, comprising predominantly of terraced residential dwellings in a strong linear pattern of development. The planned nature of the estate includes variously sized plots of green space at the junctions and corners of the public highways, providing visual relief from the urban layout, with some enclosed by low metal fencing, containing small trees or laid to lawn. I noted from my visit that some of the green spaces were either missing (for example, where Arnold Road meets Comyns Road) or enclosed by fencing (for example, where Dagenham Avenue meets Talbot Road) where they form part of a property's own private garden.
4. The appeal site sits on the junction of Arnold Road with Downing Road, with the host property of No 114 Arnold Road being an end-of-terrace property with a large privately-owned side garden. No 114, much like the No 98 Arnold Road at

the opposite end of the same terrace of dwellings, has painted brickwork. The side private garden for No 114 constitutes part of the green space at the road junction, seen in the context of a comparably sized green strip to the south and a square of green space to the west on Downing Road.

5. The proposed dwelling would represent the continuation of the existing terrace as it would be of a height, proportion and span commensurate with the existing dwellings and would not, in itself, appear alien or discordant with the street scene. It would change the overall composition and symmetry of the host terrace by adding another property of painted brickwork. However, I noted from my visit that there is already deviation from the symmetry with No 98 having a front porch extension and there is different spacing for the chimneys across the terrace as a whole. Since the proposal would adjoin one terrace only, the design and appearance of neighbouring terraces would not be compromised or disrupted in any way. The overall visual effect of the proposed development on the built environment would not, therefore, be significantly harmful.
6. The proposal dwelling would see the loss of a proportion of the green space down the flank of No 114, although I acknowledge that the space constitutes private garden as opposed to a 'general amenity green'. However, the proposal would retain a front lawn area including retention of the existing boundary hedgerow, thus maintaining a green space directly on the corner of the road junction. Whilst this would be a much smaller space than at present, when compared to other green spaces within the estate wherein there is much variance as to the size and quality of the green spaces, it would not appear uncharacteristic or notably at odds with the pattern of development in general.
7. On this basis, the features that form the prevailing character of the Becontree Estate would be retained and, as such, the proposal would not harm the sense of place within this locally important area. The proposal would not therefore conflict with policy BP2 of the Borough Wide Development Plan Policies Development Plan Document (the Development Plan), which seeks the preservation and enhancement of locally distinctive features. Furthermore, the proposal would not conflict with the objectives of policies BP8 or BP11 of the Development Plan, which require developments to have regard to local character and amenity.

Conditions

8. I have imposed conditions regarding commencement and implementation in accordance with relevant plans for certainty as to the development hereby permitted. In light of no further suggestions from the Council and, having considered the merits of the case, I conclude that no further conditions are required.

Conclusion

9. For the reasons given above, I allow the appeal.

David Wallis

INSPECTOR



Appeal Decision

Site visit made on 15 September 2020

by **K Savage BA MPlan MRTPI**

an Inspector appointed by the Secretary of State

Decision date: 28 September 2020

Appeal Ref: APP/Z5060/H/20/3246667

Land immediately south of 678 Rainham Road South, Dagenham, London RM10 8YT

- The appeal is made under Regulation 17 of the Town and Country Planning (Control of Advertisements) (England) Regulations 2007 against conditions imposed when granting express consent.
 - The appeal is made by Mr Ben Porte against the decision of the Council of the London Borough of Barking & Dagenham.
 - The application Ref 19/01808/ADV, dated 31 October 2019 was approved on 7 February 2020 and advertisement consent granted subject to conditions.
 - The advertisement permitted is 'Removal of gable wall mounted 48-sheet poster advertisement and erection of freestanding internally illuminated 48-sheet digital display on adjacent amenity green.'
 - The condition in dispute No 1 which states: This consent shall expire at the end of a period of 5 years beginning with the date of this decision notice, after which the advertisement hereby approved shall be removed.
 - The reason given for the condition is: To comply with the requirements of Regulation 14(7) of the Town and Country Planning (Control of Advertisements) (England) Regulations 2007.
-

Decision

1. The appeal is allowed and the advertisement consent Ref 19/01808/ADV for removal of gable wall mounted 48-sheet poster advertisement and erection of freestanding internally illuminated 48-sheet digital display on adjacent amenity green, at Land immediately south of 678 Rainham Road South, Dagenham, London RM10 8YT, granted on 7 February 2020 by the Council of the London Borough of Barking & Dagenham, is varied by deleting Condition No 1.

Background and Main Issue

2. Consent to display an illuminated 48 sheet digital advertisement was granted by the Council subject to a condition that the advertisement shall be removed from the site following the expiry of a period of five years from the date of the decision notice. The appellant disputes the requirement to remove the advertisement after this period.
3. Accordingly, the main issue is whether the condition is necessary having regard to requirements of The Town and Country Planning (Control of Advertisements) (England) Regulations 2007 (as amended) (the Regulations).

Reasons

4. The National Planning Practice Guidance (PPG) details that all advertisements, whether they require express consent or not, are subject to the five standard conditions. If a local planning authority decides to impose additional conditions,

these must be supported by specific and relevant planning reasons¹. The PPG specifically states that conditions should never be imposed because the local planning authority wishes, as a matter of general policy, to prevent the operation of Class 14 in Schedule 3 (advertisements displayed after expiry of express consent) in their area. In other words, conditions should not be imposed to routinely remove the deemed consent advertisements displayed after the expiry of express consent otherwise have under Class 14 of Schedule 3 to the Regulations.

5. The Council's case, in essence, is that development may take place within the immediate vicinity within five years which would represent a material change in circumstances. Specific reference is made to redevelopment of the adjacent former Old Dagenham Methodist Church, and to a potential effect on the amenity of future occupants of the development. However, in granting express consent, the Council was satisfied that the advertisement would be acceptable in the interests of amenity and public safety, as evidenced in the Officer Report, where no reference was made to any impact on neighbouring properties, nor was any mention made of a planning permission granted on the adjacent site. Moreover, the evidence does not indicate whether a permission exists or what form any development may take. The Council's own comments at the appeal stage that the advertisement '*may* affect the amenity of neighbouring occupiers' (my emphasis) indicates to me that no specific planning harm has been identified as required by the PPG and the imposition of the condition is therefore unwarranted.
6. This aside, the Council has the power under the Regulations to serve a discontinuance notice in relation to the display of the advertisement if, at any time following the expiry of the express consent, it is found to cause substantial injury to the amenity of the area. This process would address actual harm at the time, rather than the perceived and unsubstantiated harms alleged by the Council in imposing the condition.
7. The appellant suggests the condition should be replaced with one confirming the consent period of five years but omitting the requirement for the advertisement to be removed at the end of this period. Regulation 14(7) states that an express consent shall be subject to the condition that it expires at the end of: (a) such period as the local planning authority may specify in granting the consent; or (b) where no period is so specified, a period of 5 years. As the Council was satisfied that the advertisement was acceptable for the standard five year period, it is not necessary to impose another condition which is already imposed by virtue of Regulation 14(7).
8. For these reasons, I conclude that neither the existing condition nor its proposed variation are necessary or reasonable in the interests of amenity or public safety.

Conclusion

9. The appeal is allowed and the consent is varied to remove Condition No 1.

K Savage INSPECTOR

¹ Paragraph: 034 Reference ID: 18b-034-20140306



Appeal Decision

Site visit made on 15 September 2020

by K Savage BA MPlan MRTPI

an Inspector appointed by the Secretary of State

Decision date: 30 September 2020

Appeal Ref: APP/Z5060/D/20/3245035

67 Oval Road North, Dagenham RM10 9EU

- The appeal is made under section 78 of the Town and Country Planning Act 1990 against a refusal to grant planning permission.
 - The appeal is made by Mr Aurelian Ene against the decision of the Council of the London Borough of Barking & Dagenham.
 - The application Ref 19/01355/FUL, dated 15 August 2019, was refused by notice dated 5 December 2019.
 - The development proposed is a two storey side extension with matching hipped roof.
-

Decision

1. The appeal is allowed and planning permission is granted for a two storey side extension with matching hipped roof, at 67 Oval Road North, Dagenham RM10 9EU, in accordance with the terms of application Ref 19/01355/FUL, dated 15 August 2019, and subject to the following conditions:
 - 1) The development hereby permitted shall begin not later than 3 years from the date of this decision.
 - 2) The development hereby permitted shall be carried out in accordance with the following approved plans: P06019 Sheet 01 (Existing and Proposed Site Plans); P06019 Sheet 02 (Existing Plans and Cross Section); P06019 Sheet 03 (Existing Elevations); P06019 Sheet 4 (Proposed Ground Floor Plan); P06019 Sheet 05 (Proposed First Floor Plan); P06019 Sheet 06 (Proposed Roof Plans and Sections); P06019 Sheet 07 (Proposed Elevations).
 - 3) The materials to be used in the construction of the external surfaces of the development hereby permitted shall match those used in the existing building.

Main Issues

2. The main issues are the effects of the proposal on i) the character and appearance of the area, and ii) the living conditions of neighbouring occupants.

Reasons

Character and appearance

3. The appeal site occupies a corner plot with an angled side boundary that widens toward the rear of the site. Given this, there would be sufficient space retained to the side of the proposed extension such that it would not appear

excessive in scale relative to the site, and I note other corner buildings nearby have been extended in a similar manner. The incorporation of a slight setback to the front first floor elevation and roofline would add an element of subservience which would allow the original building to still be read. The use of matching materials and replication of the hipped roof element to the side would complement the existing building and prevailing character of the surroundings.

4. It is relevant that a dwelling has recently been constructed to the rear of the appeal site, standing perpendicular to the original dwelling and facing onto Ballards Road. There is also a freestanding, single storey garage to the rear corner of the site. The proposed extension would close the gap between the original dwelling and the new dwelling; however, viewed from the street, the properties would be clearly read as addressing different streets. There would be garden areas of sufficient size retained for both dwellings, with the side gardens of both providing separation and a sense of openness between them. Accordingly, I find that the proposal would not result in an unacceptable overdevelopment of the site.
5. For these reasons, I conclude that the proposal would preserve the character and appearance of the area, and no conflict would arise with Policies BP8 and BP11 of the Borough Wide Development Policies Development Plan Document (March 2011) (the DPD), which together require high standards of design and layout which respect and strengthen local character.

Living Conditions

6. At my site visit, the rear garden of the original dwelling and the garden of the new dwelling were not physically separate. The approved plans for the new dwelling indicate two separate garden areas are intended, and I saw the nominal garden of the new dwelling to be L-shaped, with a narrow patio to the rear and a wider area proposed to be laid to grass on the southern side, between the dwellings.
7. At present, the gap between the dwellings allows sunlight from the south to reach both rear gardens. The proposed side extension would partly enclose this gap, reducing the amount of sunlight reaching the rear patio of the new dwelling. However, occupants of the new dwelling would still benefit from the larger garden area to the southern side which would continue to receive direct sunlight for a similar amount of time during the day as at present. Sunlight would also still be able to reach the rear patio during the morning and through to the middle part of the day, and there would not be a significant increase in the enclosing effect on the rear patio compared to the current situation.
8. Given the orientation of the rear elevation of the new dwelling, and the existing position of the original dwelling roughly to the south-west, the extension would not have a significant effect on the amount of direct sunlight received by the windows in the rear elevation, and it would not adversely affect occupants' enjoyment of these rooms.
9. The proposed extension would add to the massing next to the garden of the new dwelling; however, this would not demonstrably diminish the quality of the garden given the open aspects which would be retained to the south and east. Windows are proposed in the rear elevation which would afford views over the rear patio of the new dwelling, but which would be similar to views already possible from the existing windows. Moreover, the new windows would be at a

very acute angle to those in the rear elevation of the new dwelling, limiting views into the new dwelling and the likelihood of a loss of privacy for its occupants.

10. For these reasons, I conclude that the proposal would not lead to significant harm to the living conditions of neighbouring occupants, and no conflict would arise with Policies BP8 and BP11 of the DPD, which seek to maintain residential amenity, by expecting new developments not to lead to significant overlooking, loss of privacy, overshadowing or loss of daylight and sunlight.

Conditions

11. In addition to the standard time limit, a condition is required specifying the relevant drawings, to provide certainty. It is also necessary to impose a condition requiring external surface materials to match the existing dwelling in order to secure a satisfactory appearance.

Conclusion

12. For these reasons, I conclude that the proposal would accord with the development plan, taken as a whole. Therefore, the appeal is allowed.

K Savage

INSPECTOR



Appeal Decision

Site visit made on 16 September 2020

by Martin Chandler BSc MA MRTPI

an Inspector appointed by the Secretary of State

Decision date: 28 September 2020

Appeal Ref: APP/Z5060/D/19/3243586

328 Goresbrook Road, Dagenham RM9 6XX

- The appeal is made under section 78 of the Town and Country Planning Act 1990 against a refusal to grant planning permission.
 - The appeal is made by Mr Ismet Limani against the decision of the Council of the London Borough of Barking & Dagenham.
 - The application Ref 19/01392/FUL, dated 23 August 2019, was refused by notice dated 18 November 2019.
 - The development proposed was originally described as: 'resubmission – proposed double storey side extension'.
-

Decision

1. The appeal is allowed, and planning permission is granted for proposed double storey side extension and single storey rear extension at 328 Goresbrook Road, Dagenham RM9 6XX in accordance with application ref: 19/01392/FUL dated 23 August 2019, and subject to the following conditions:
 - 1) The development hereby approved shall commence within 3 years of the date of this approval;
 - 2) The development hereby approved shall be implemented strictly in accordance with drawing numbers: 300, 301 revision A, 302, 303 revision A, 304 and 305 revision A.

Procedural Matters

2. In allowing the appeal, I have amended the description of development by removing the word 'resubmission' and including reference to the single storey rear extension. This is in the interests of precision and because a resubmission is not an act of development, nor is it relevant to my assessment of the appeal.
3. The submitted drawings show the appeal site as having a hipped roof. However, when undertaking my site visit, it was apparent that the hipped roof had been converted to a gable end. Despite this, I am required to determine the proposal on the basis of the evidence before me. I have done this accordingly, and the presence of the hip to gable conversion has had no bearing on my findings in relation to the appeal.

Main Issue

4. The main issue is the effect of the proposal on the character and appearance of the surrounding area.

Reasons

5. The appeal site is an end of terrace dwelling. When viewed from the road, to the right of the appeal site is another terrace of dwellings. These terraces are separated by a gap between the buildings and the adjacent terrace is set back further from the highway than the appeal site. This staggered arrangement of terraced blocks of housing is a common feature along the road. The houses are consistent in form and appearance, but the terraces are punctuated by small gaps and steps in the building line. These gaps and setbacks provide articulation and uniformity to the street scene and consequently, make a positive contribution to the locality.
6. The proposal would introduce a two storey extension to the side of the existing dwelling. This would have the effect of reducing the space between the appeal building and its adjacent neighbour. However, the first floor element of the proposal would be substantially set back from the front of the house. The extension would also be demonstrably narrow when viewed in the context of the existing building and would introduce a hipped roof with a substantially lower ridge height. The form, mass and scale of the proposed extension would ensure that it would be suitably respectful to the existing building. In addition, due to its slender width, limited ridge height, and generous set back at first floor level, I am satisfied that the proposal would also maintain much of the space between the appeal building and the neighbouring property. In doing this, the proposal would respect and be complementary to the established rhythm found within the street scene.
7. Accordingly, I conclude that the proposal would not harm the character and appearance of the surrounding area. It would therefore comply with Policies BP8 and BP11 of the Borough Wide Development Policies Development Plan Document (2011) as well as advice contained within the Residential Extensions and Alterations Supplementary Planning Document (February 2012). Taken together, these seek amongst other things, sensitive design that responds to local character.

Conclusion

8. In light of my findings set out above, conditions are necessary in the interests of precision to establish the time limit for commencing development, as well as the approved drawings. Subject to these matters, the appeal should be allowed and planning permission be granted.

Martin Chandler

INSPECTOR



Appeal Decision

Site visit made on 21 October 2020

by **N McGurk BSc (Hons) MCD MBA MRTPI**

an Inspector appointed by the Secretary of State

Decision date: 30 October 2020

Appeal Ref: APP/Z5060/D/20/3254596 194 Downing Road, Dagenham, RM9 6LU

- The appeal is made under section 78 of the Town and Country Planning Act 1990 against a refusal to grant planning permission.
 - The appeal is made by Mr and Mrs Sutradhar against the decision of the Council of the London Borough of Barking and Dagenham.
 - The application Ref 20/00336/FUL, dated 9 March 2020, was refused by notice dated 1 May 2020.
 - The development proposed is a dormer loft conversion.
-

Decision

1. The appeal is allowed and planning permission is granted for a dormer loft conversion at 194 Downing Road, Dagenham RM9 6LU in accordance with the terms of the application Ref:20/00336/FUL dated 9 March 2020 and in accordance with the following condition:
 - 1) The development hereby permitted shall be carried out in accordance with the following approved plan:D_19_AL_194DAW_002.

Main Issue

2. The main issue in this case is the effect of the proposed development on the character and appearance of the area.

Procedural Matters

3. The development the subject of this appeal has already taken place.
4. A certificate of lawful use was granted for a dormer loft conversion in 2019¹. The only significant difference between the development the subject of this appeal and the proposal granted a certificate of lawful use is that the development that has taken place sits very slightly above the appeal property's ridge line.
5. Following the development, an enforcement case was opened² and this led to the application corresponding to this appeal.

¹ Ref: 19/00460/CLU-P.

² Ref: 20/00030/NOPERM.

Reasons

6. The appeal property is a mid-terrace dwelling with rooms at roof level. It is located in a residential area characterised by the presence of terraced properties set back from the road behind short parking areas and/or front gardens and with longer gardens to the rear.
7. The setback from the road, along with the use of largely matching building materials and similar design features, affords the area an attractive sense of uniformity.
8. During my site visit, I observed that many houses in the area have been altered and/or extended, especially to the rear and that there are examples of extensions and alterations at ground and at first floor/roof level.
9. The development the subject of this appeal comprises a rear dormer extension. As above, the extension sits very slightly above the roof line. I observed during my site visit that the effect of this is largely imperceptible from the rear. I also noted that the extension is not generally visible from the public highway, although it can be seen from the rear of numerous properties within the context of a garden setting where other alterations and extensions are also visible.
10. In reaching its decision, the Council stated that the appeal property is located in the middle of a terrace where the ridges and eaves of each property "are parallel with each other." However, this is simply not the case.
11. The appeal property sits towards the end of a terraced row, adjacent to an end-terrace property, the ridge and eaves of which are at entirely different levels and which, in stark contrast to the appeal property's sloping roof and mid-roof dormer at first floor level, has a two storey gable end facing directly out towards the street.
12. Further, whilst dwellings to the other side of the appeal property share many characteristics with the appeal property and in so doing, project an attractive degree of uniformity, the height of the ridge line itself differs along the terrace. For example, the overall height of the ridge line falls away from the appeal property to 202 Downing Road.
13. Taking the above into account, I noted during my site visit that the precise height of ridges lends little or nothing to the attractive uniform qualities of the area. Further, given that it adjoins a dwelling with a much taller and an entirely different roof form, the effect of the development in respect of it resulting in a very slight increase in the height of the property is barely, if at all, discernible in general views. The development does not unbalance the uniformity and symmetry of the terrace to any significant degree and further, the development is little different to that granted a certificate of lawful use by the Council in 2019.
14. Taking all of the above into account, I find that the development does not harm the character and appearance of the area and is not contrary to the National Planning Policy Framework; to London Plan (2016) policies 7.4 and 7.6; to DPD³ policies BP8 and BP11; or to the Council's Residential Extensions and Alterations

³ Barking and Dagenham Borough Wide Development Policies Development Plan Document (2011).

Supplementary Planning Document (2012), which together amongst other things, protect local character.

Conditions

15.I have considered the conditions suggested by the Council against the tests set out in Paragraph 55 of the Framework. The development the subject of this appeal has already taken place and consequently, not all of the conditions suggested by the Council are relevant. However, a condition specifying the approved plan is necessary for the avoidance of doubt and in the interests of proper planning.

Conclusion

16.For the reasons given above, the appeal succeeds.

N McGurk

INSPECTOR



Appeal Decision

Site visit made on 21 October 2020

by **N McGurk BSc (Hons) MCD MBA MRTPI**

an Inspector appointed by the Secretary of State

Decision date: 30 October 2020

Appeal Ref: APP/Z5060/D/20/3252112 131 Third Avenue, Dagenham, RM10 9BD

- The appeal is made under section 78 of the Town and Country Planning Act 1990 against a refusal to grant planning permission.
 - The appeal is made by Mr Adam Ozigi against the decision of the Council of the London Borough of Barking and Dagenham.
 - The application Ref 20/00066/FUL, dated 21 January 2020, was refused by notice dated 12 March 2020.
 - The development proposed is a ground and first floor rear extension.
-

Decision

1. The appeal is allowed and planning permission is granted for a ground and first floor rear extension at 131 Third Avenue Dagenham, RM10 9BD in accordance with the terms of the application Ref:20/00066/FUL dated 21 January 2020, subject to the following conditions:
 - 1) The development hereby permitted shall begin not later than three years from the date of this decision.
 - 2) The development hereby permitted shall be carried out in accordance with the following approved plans: 131TA/PP/010 Proposed Plans and Elevations; and 131TA/PP/012 Proposed Plans and Elevations.
 - 3) The materials to be used in the construction of the external surfaces of the development hereby permitted shall match those used in the existing building.

Main Issues

2. The main issues in this case are the effect of the proposed development on the character and appearance of the area; and its effect on the living conditions of the occupiers of No 133 Third Avenue, with regards to outlook.

Reasons

Character and appearance

3. The appeal property is a two storey end-terrace dwelling. It is located in a residential area characterised by the presence of two storey terraced properties set back from the road behind short parking areas and with long gardens to the rear.
-

4. During my site visit, I observed that many houses in the area have been altered and/or extended. In particular, I observed there to be a wide variety of rear extensions, including single and two storey extensions, of varying length, width and volume.
5. I also noted that the long gardens to the rear of Third Avenue back on to other, similarly long gardens to the rear. This provides for a sense of spaciousness and greenery, qualities not reduced to any harmful degree by the presence of extensions and a wide range of outbuildings.
6. The proposed extension would result in a long single storey projection to the rear, with a shorter first floor extension above. Whilst the Council considers the length of the proposed first storey element to be acceptable, it states that the proposed width, across the full width of the appeal property, would be out of character with its surroundings.
7. This is not the case. There are other full width first storey rear extensions in the surrounding area and these existing extensions do not appear out of character, but rather, appear in keeping with the wide range of extensions and alterations common to the area. Further, I consider that the proposed first floor extension would, itself, appear as a neat, subservient and complementary addition to the host property.
8. Whilst the proposed ground floor extension would project some considerable distance from the original rear elevation, when seen together with the first floor extension it would appear neither disproportionate nor out of place. Rather, it would appear in keeping with the surrounding area, where rear extensions project to varying lengths at ground floor level. Further, the length of the appeal property's garden is such that a significant area of open garden land would still remain and the area's green and spacious qualities would remain unharmed.
9. Whilst the proposed ground floor extension would project further than generally advised in the Council's Residential Extensions and Alterations Supplementary Planning Document (2012) (Council's SPD) I consider that, having regard to the above, the proposal respects the host property and appears in keeping with its surroundings.
10. Taking all of the above into account, I find that the development does not harm the character and appearance of the area and is not contrary to the National Planning Policy Framework; to DPD¹ policies BP8 and BP11; or to the Council's SPD, which together amongst other things, protect local character.

Living Conditions

11. The Council is satisfied that the proposed development would not result in any harm to the living conditions of the occupiers of the attached terraced property to the north of the appeal property, No 129 Third Avenue.
12. The neighbouring property to the south, No 133 Third Avenue, is not attached to the appeal property, but is separated from it by a gap which provides for access between the two dwellings.

¹ Barking and Dagenham Borough Wide Development Policies Development Plan Document (2011).

13. During my site visit, I noted that the garden to the rear of No 133 appears long and spacious. Due to this, along with the relatively low height of the majority of the proposal, the gap between the two dwellings and No 133's orientation to the south of the appeal property, the proposed development would have little if any discernible impact in respect of "shadowing the amenity space at No 133," as suggested by the Council. Rather, I find that this neighbouring property's amenity space would remain largely unaffected and no significant harm would arise as a result of the proposal.
14. Taking the above into account, the proposed development would not harm the living conditions of the occupiers of No 133 Third Avenue, with regards to outlook. Consequently, the proposal would not be contrary to the National Planning Policy Framework; to DPD policy BP8; or to the Council's SPD, which together amongst other things, protect residential amenity.

Conditions

15. I have considered the conditions suggested by the Council against the tests set out in Paragraph 55 of the Framework. A condition specifying the approved plans is necessary for the avoidance of doubt and in the interests of proper planning. A condition requiring materials to match those of the existing house is necessary to protect the character and appearance of the host property and wider area.

Conclusion

16. For the reasons given above, the appeal succeeds.

N McGurk

INSPECTOR



Appeal Decision

by **Mark Harbottle BSc MRTPI**

an Inspector appointed by the Secretary of State

Decision date: 13th October 2020

Appeal Ref: APP/Z5060/X/19/3243122

104 Glenny Road, Barking, Essex IG11 8QQ

- The appeal is made under section 195 of the Town and Country Planning Act 1990 as amended by the Planning and Compensation Act 1991 against a refusal to grant a certificate of lawful use or development (LDC).
 - The appeal is made by Mrs Kariben veja Odedra against the decision of the Council of the London Borough of Barking & Dagenham.
 - The application Ref 19/01417/CLU_E, dated 22 August 2019, was refused by notice dated 18 November 2019.
 - The application was made under section 191(1)(a) of the Town and Country Planning Act 1990 as amended.
 - The use for which a certificate of lawful use or development is sought is 2 self-contained flats created on 2 July 2015.
-

Decision

1. The appeal is allowed and attached to this decision is a certificate of lawful use or development describing the existing use which is found to have been lawful on the date that the application was validly made.

Preliminary matters

2. With the consent of the parties, a site visit was not undertaken.
3. The Council's reason for refusing to grant an LDC referred to whether "the outbuilding" had been in use as a self-contained flat for at least 4 years. However, as described in the appellant's evidence and on drawing 455/01, which does not show an outbuilding, the LDC is sought in respect of 2 self-contained flats within the main building.
4. The application states that the flats were created on 2 July 2015. However, the appropriate test is whether the use as 2 self-contained flats began on or before 22 August 2015, 4 years before the date of the application, and has continued since without significant interruption.
5. The Council issued an enforcement notice on 27 November 2019, alleging the unauthorised sub-division of the property into 2 independent units of accommodation. No appeal was lodged against the notice, which came into effect on 27 December 2019 and is thus in force. Because the notice was issued after the LDC application was validly made, it does not prevent consideration of whether the use as 2 self-contained flats was lawful on 22 August 2019, the date of the LDC application. However, and following the decision in *Staffordshire CC v Challinor*¹, my decision on this appeal cannot alter the effect of the enforcement notice, which remains a separate matter.

¹ *Staffordshire CC v Challinor & Robinson* [2007] EWCA Civ 864; [2008] JPL 392

6. Reference is made to the grant of an LDC for 2 self-contained flats in Dagenham² but no details have been provided. However, the facts relating to each application will be different and each must be considered on its merits.

Main Issue

7. The main issue is whether the Council's refusal to issue an LDC was well-founded. This turns on whether the appellant can show, on the balance of probability, that on the application date the property was in use as 2 self-contained flats, and if so whether it had been used as such continuously for a period of 4 years without significant interruption.

Reasons

8. When an LDC is sought, the burden of proof lies with the applicant. In addition, the Planning Practice Guidance states "In the case of applications for existing use, if a local planning authority has no evidence itself, nor any from others, to contradict or otherwise make the applicant's version of events less than probable, there is no good reason to refuse the application, provided the applicant's evidence alone is sufficiently precise and unambiguous to justify the grant of a certificate on the balance of probability."
9. The date on which the use as 2 self-contained flats began is not agreed. The appellant states that it occurred on 2 July 2015 but no supporting evidence, such as the nature and date of any works that facilitated it, has been provided. However, a former tenant of the first floor flat made a statutory declaration that she lived there on 2 July 2015, when the property had already been converted to 2 flats, each with its own entrance door, kitchen, toilet and bedroom. The copies of her tenancy agreements provided by the appellant, all describing the property in question as "furnished upper flat", cover a period beginning on 15 June 2015. The Council has not provided any evidence to make this statutory declaration less than credible.
10. The appellant indicates that this tenant left, on an unspecified date, before her second tenancy agreement was due to end on 14 June 2018. This suggests the flat would have been vacant for a while, until the current tenants' agreement, again describing the property in question as "furnished upper flat", began on 20 June 2018. However, that is to be expected with turnover of tenants and there is no evidence to suggest it amounted to a significant interruption or that the first floor flat's use as a self-contained unit of accommodation ceased before the new tenancy began.
11. The tenants of the ground floor flat also made a statutory declaration that they lived there on 2 July 2015, when the property had been converted to 2 flats, each with its own entrance door, kitchen, toilet and bedroom. However, the start date in the copy of their first tenancy agreement was 11 August 2015, nearly 6 weeks later. While no explanation has been offered for this, both dates are 4 years before the date of the application, that is 22 August 2019, and while the signatures on the copies provided are undated, these agreements cover a continuous period of more than 4 years, including the date of the application. The Council has not provided any evidence to make this second statutory declaration less than credible.

² 18/00251/CLU_E, 275-277 Oxlow Lane, Dagenham, Essex

12. All the copies of tenancy agreements for the first floor flat contain a special condition stating that the tenant has "the sole use of the downstairs including rear garden". This is inconsistent with the copies of the tenancy agreements for the ground floor flat, all of which describe that property as "furnished ground floor flat and sole use of rear garden" and include the same special condition. While no explanation has been provided, this would appear to be an error because drawing 4355/01, submitted with the application, shows that the first floor flat does not have direct access to the rear garden.
13. The Council indicates there is only one Council Tax entry for the property, which is inconsistent with use as 2 self-contained flats, although a copy of this record has not been provided. Of itself, this evidence does not demonstrate that the use as 2 flats had not begun 4 years before the date of the application or that it has not continued since.
14. The statutory declaration made by the former tenant of the first floor flat is precise and unambiguous and is credible evidence. Even taking account of the Council Tax record and the difference between dates in the ground floor flat tenants' statutory declaration and their tenancy agreement, viewed as a whole, the appellant's evidence is precise and unambiguous. Accordingly, it sufficiently demonstrates that, on the balance of probability, the use of the property as 2 self-contained flats began more than 4 years before the date of the application and continued without significant interruption thereafter until and including the date of the application.

Conclusion

15. For the reasons given above I conclude, on the evidence now available, that the Council's refusal to grant a certificate of lawful use or development in respect of 2 self-contained flats was not well-founded and that the appeal should succeed. I will exercise the powers transferred to me under section 195(2) of the 1990 Act as amended.

Mark Harbottle

INSPECTOR



Lawful Development Certificate

TOWN AND COUNTRY PLANNING ACT 1990: SECTION 191
(as amended by Section 10 of the Planning and Compensation Act 1991)

TOWN AND COUNTRY PLANNING (DEVELOPMENT MANAGEMENT PROCEDURE) (ENGLAND)
ORDER 2015: ARTICLE 39

IT IS HEREBY CERTIFIED that on 22 August 2019 the use described in the First Schedule hereto in respect of the land specified in the Second Schedule hereto and edged in red on the plan attached to this certificate, was lawful within the meaning of section 191(2) of the Town and Country Planning Act 1990 (as amended), for the following reason:

The use of the property as 2 self-contained flats began more than four years before the date of the application and continued thereafter; and

The use does not contravene the requirements of any enforcement notice that was in force on the date the application was made.

Signed

Mark Harbottle

Inspector

Date:

Reference: APP/Z5060/X/19/3243122

First Schedule

The use of the property as 2 self-contained flats

Second Schedule

Land at 104 Glenny Road, Barking, Essex IG11 8QQ

NOTES

This certificate is issued solely for the purpose of Section 191 of the Town and Country Planning Act 1990 (as amended).

It certifies that the use /operations described in the First Schedule taking place on the land specified in the Second Schedule was /were lawful, on the certified date and, thus, was /were not liable to enforcement action, under section 172 of the 1990 Act, on that date.

This certificate applies only to the extent of the use /operations described in the First Schedule and to the land specified in the Second Schedule and identified on the attached plan. Any use /operation which is materially different from that described, or which relates to any other land, may result in a breach of planning control which is liable to enforcement action by the local planning authority.



Plan

This is the plan referred to in the Lawful Development Certificate dated:

by Mark Harbottle BSc MRTPI

Land at: 104 Glenny Road, Barking, Essex IG11 8QQ

Reference: APP/Z5060/X/19/3243122

Not to scale





Appeal Decision

Site visit made on 8 December 2020

by J Davis BSc (Hons) MSc MRTPI

an Inspector appointed by the Secretary of State

Decision date: 31/12/2020

Appeal Ref: APP/Z5060/D/20/3251417 39 Greatfields Road, Barking, IG11 7UA

- The appeal is made under section 78 of the Town and Country Planning Act 1990 against a refusal to grant planning permission.
 - The appeal is made by Mr Naheem against the decision of the Council of the London Borough of Barking and Dagenham.
 - The application Ref 20/00185/FUL, dated 13 February 2020, was refused by notice dated 31 March 2020.
 - The development proposed is a first floor rear extension.
-

Decision

1. The appeal is allowed and planning permission is granted for a first floor rear extension at 39 Greatfields Road, Barking, IG11 7UA in accordance with the terms of the application, Ref 20/00185/FUL, dated 13 February 2020, subject to the following conditions:
 - 1) The development hereby permitted shall begin not later than 3 years from the date of this decision.
 - 2) The development hereby permitted shall be carried out in accordance with the following approved plans: TFK 0601/01; TFK 0601/02; TFK 0601/03; TFK 0601/04; and TFK 0601/05.
 - 3) The materials to be used in the construction of the external surfaces of the extension hereby permitted shall match those used in the existing building.
 - 4) Notwithstanding the provisions of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any order revoking and re-enacting that Order with or without modification), no windows / dormer windows shall be constructed on the side elevations of the extension.

Main Issue

2. The main issue is the effect of the proposed extension on the character and appearance of the host dwelling and the wider terrace.

Reasons

3. The appeal concerns a mid terrace dwelling which is located in a row comprising four properties. The design of the terrace incorporates a distinctive mansard style roof. The surrounding area comprises rows of terraced dwellings of a similar design and appearance.

4. The appeal proposal is a first floor rear extension which would be constructed above an existing single storey rear extension. The proposed extension would be set in from both of the side boundaries with the neighbouring dwellings.
5. The proposed rear extension would have a depth of 3 metres and would be set down from the ridge of the existing dwelling. As such it would appear a subservient addition to the dwelling. The extension would incorporate a pitched roof to match the existing dwelling and it would have a tile finish to match the existing roof. I also note that the window proposed on the extension would align with other windows on the rear elevation. I therefore find that the proposed extension would integrate and harmonise sufficiently with the host dwelling such that it would not be harmful to its character or appearance. The proposed extension would not conflict with the design guidance set out in the Council's Residential Extensions and Alterations Supplementary Planning Document (February 2012) which states that the design of rear extensions should be sympathetic towards the original dwellinghouse. Whilst the SPD is for guidance purposes only, it does nonetheless provide useful advice.
6. I noted at my site visit that the other dwellings within the same terrace have not been extended to the rear at first floor level. However, I have found that the proposed extension would not be harmful to the character and appearance of the host dwelling and I am also satisfied that it would not materially harm the character or appearance of the wider terrace. Moreover, on my site visit I noted several examples of rear extensions on dwellings within adjacent and nearby terraces, where similar additions at first floor level have been constructed.
7. In conclusion, the proposal extension would not have a harmful effect on the character and appearance of the host dwelling, or the wider terrace. I find that it would comply with Policies BP8 and BP11 of the Borough Wide Development Policies Development Plan Document (March 2011) which together require development to be of a high quality design and to respect existing character.

Other matters

8. With regard to other issues raised, the proposed extension would be set in from the side boundaries of the site and given its depth of 3 metres I am satisfied that it would not lead to a significant loss of outlook or overshadowing of adjoining dwellings.

Conditions

9. In addition to the standard 3 years implementation condition, I have imposed a condition requiring the extension to be constructed in matching materials to ensure a satisfactory external appearance. A condition ensuring that no windows are added to the side elevations of the extension is required in order to protect the privacy of occupiers of the adjacent properties. The approved plans condition is imposed for clarity.

Conclusion

10. For the reasons given above I conclude that the appeal should be allowed.

J Davis

INSPECTOR



Appeal Decision

Site visit made on 24 November 2020

by J Davis BSc (Hons) MSc MRTPI

an Inspector appointed by the Secretary of State

Decision date: 08 January 2021

Appeal Ref: APP/Z5060/W/20/3258276

60 Arden Crescent, Dagenham, RM9 6TP

- The appeal is made under section 78 of the Town and Country Planning Act 1990 against a refusal to grant planning permission.
 - The appeal is made by Mr Michael Barrett against the decision of the Council of the London Borough of Barking and Dagenham.
 - The application Ref 19/01336/FUL, dated 10 August 2019, was refused by notice dated 15 June 2020.
 - The development proposed was originally described as 'Fitting of 4 CCTV cameras recording property grounds. Two of the cameras on the front recording the drive, one of which records 24/7 and the other on Motion Detection mode. A single camera covering the side gate on Motion Detection mode. A single camera covering the garden and outbuilding at back of garden on Motion Detection mode. CCTV is to be recorded on a hard drive for evidence purposes. Connected to WiFi network internally to the house through TP-Link for remote access to all cameras in live mode. Wiring feeds to cameras not exposed externally to house and fed through loft cavity.'
-

Decision

1. The appeal is allowed and planning permission is granted for 'Fitting of 4 CCTV cameras recording property grounds. Two of the cameras on the front recording the drive, one of which records 24/7 and the other on Motion Detection mode. A single camera covering the side gate on Motion Detection mode. A single camera covering the garden and outbuilding at back of garden on Motion Detection mode. CCTV is to be recorded on a hard drive for evidence purposes. Connected to WiFi network internally to the house through TP-Link for remote access to all cameras in live mode. Wiring feeds to cameras not exposed externally to house and fed through loft cavity' at 60 Arden Crescent, Dagenham, RM9 6TP in accordance with the terms of the application, Ref 19/01336/FUL, dated 10 August 2019.

Procedural Matters

2. At the time of my site visit the CCTV cameras had been installed and the proposal is therefore retrospective.
3. The Council refer to several policies within the Draft Local Plan (Regulation 18 Consultation Version, November 2019). However, as the Draft Local Plan is at an early stage and may be subject to further change, I only attach limited weight to these policies.

Main Issue

4. The main issues in this case are:

- The effect of the proposal on the character and appearance of the area with particular reference to the perception of crime; and
- The effect of the proposal on the living conditions of the occupiers of neighbouring properties with particular reference to privacy.

Reasons

Character and appearance

5. The appeal property is an end of terrace dwelling which is located in a residential area comprising of mainly terraced properties. There is also a school opposite the appeal site. The appeal proposal concerns the installation of 4 CCTV cameras which have been positioning around the property for security purposes.
6. Of these, 2 CCTV cameras have been installed on the front elevation of the dwelling. The cameras are small in size and have been discretely positioned just beneath the eaves at both corners of the dwelling. The cameras provide surveillance of the appellant's driveway and a small section of the adjacent public highway. The cameras are not unduly prominent or obtrusive and due to their small size and siting, they are barely perceptible in the street scene. I am therefore satisfied that the cameras provide an appropriate balance between the need for security whilst not leading to a significant perception of crime. Moreover, I also noted at my site visit that several other dwellings in the immediate area have installed CCTV cameras.
7. Accordingly, the proposal complies with Policies CP3 of the LDF Core Strategy (2010) (CS) and Policies BP8 and BP11 of the LDF Borough Wide Development Plan Policies DPD (March 2011) (DPD) which among other things, seek to protect privacy and provide safe environments that reduce the fear of crime and improve crime prevention.

Living conditions

8. As described above, the two cameras on the front elevation of the dwelling provide surveillance of the appellants driveway and a small section of the adjacent public highway. I am satisfied that as a result of their small size and discrete positioning, they do not lead to a perception of overlooking of neighbouring occupiers.
9. Two further cameras have been installed on the dwelling. These are similarly small in size and the appellant confirms that they work on motion detection. One of these cameras is installed at a low level and provides surveillance along the side access to the home, whilst the other is shown to be centrally located on the rear elevation of the property with the purpose of providing security to the rear entrance. The cameras are sited such that they do not lead to the perception that neighbouring properties are being overlooked, even when considered in combination with the cameras on the front elevation of the dwelling.
10. In conclusion, the proposal does not have a materially harmful effect on the living conditions of the occupiers of neighbouring dwellings with particular

reference to privacy. The proposal complies with Policies CP3 of the CS and Policies BP8 and BP11 of the DPD which among other things, seek to protect privacy and provide safe environments that reduce the fear of crime and improve crime prevention. Furthermore, I am satisfied that the proposal would not conflict with the National Planning Policy Framework or Policies 7.1, 7.4, and 7.6 of the London Plan (2016) insofar as they are relevant to this appeal. The Council also refer to Policy D4 of the Draft London Plan Intend to Publish (December 2019) which seeks to deliver good design and does not appear to be directly relevant to the appeal proposal.

Conditions

11. It is not necessary to impose any conditions as the development has already been carried out.

Conclusion

12. For the reasons given above I conclude that the appeal should be allowed.

J Davis

INSPECTOR

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Appendix 3

Performance Review Sub-Committee

	Application Reference	Random application number	4 - Location	Decision	3P - Proposal	Valid Date	PS Development Code	Expiry Date	Decision Issued Date	Officer Name	Admin Officer
x	17/00826/CDN	1	Wellgate Farm Housing Development Collier Row Road, Chadwell Heath, Barking And Dagenham,	Condition(s) Fully Discharged	Application for approval of details reserved by conditions 11 (Schedule of Landscape Maintenance), 25 (Drainage Strategy) and 26 (Surface Water Drainage Scheme) in respect of planning permission 11/01015/FUL.	05/07/2017	AOD - Application for approval of details reserved by condition	30/08/2017	22/12/2020	Harry Moorhouse	
	17/02151/FUL	2	King Edwards Medical Centre, 1 King Edwards Road, Barking, Barking And Dagenham, IG11 7TB	Approved Subject To Legal Agreement	.Demolition of existing medical centre and erection of seven-storey building comprising replacement ground and first floor medical centre (Class E (medical centre), Class E to ground floor (to house a pharmacy) and 24 flats to upper (second to sixth) floors with provision of 12 under-croft parking spaces and ancillary facilities.	03/01/2018	Q01. MAJOR Dwellings	04/04/2018	28/01/2021	Grace Liu	
	18/01972/FUL	3	Crown House, 6 Cambridge Road, Barking, Barking And Dagenham, IG11 8HQ	Approved Subject To Legal Agreement	Demolition of existing Crown House building and phased redevelopment of the site to provide 396 residential units and 430 sqm of flexible commercial floorspace (facilitating A1, A2, A3, B1, D1 and D2 uses) within two buildings (a part 9, 10, 16, 20 storey building and a part 10, 25, 29 storey building) with basements, associated highway works, servicing facilities, cycle parking, disabled car parking and public realm improvements.	16/11/2018	Q06. MAJOR All other major developments	15/02/2019	10/07/2020	Adele Lawrence	
	18/01985/CDN	4	Gascoigne Estate East King Edwards Road, Barking, Barking And Dagenham,	Partial Approval	Application for approval of details reserved by condition 2 (materials) in respect of planning permission 16/00715/REM and conditions 17 (construction method statement), 19 (construction logistics plan), 21 (accessible housing M4(2)), 22 (accessible housing M4(3)), 25 A) (archaeological written scheme of investigation), condition 26 (land remediation investigation), 27 (land remediation scheme), 31 (acoustic protection), 43 (parking strategy), 44 (bird and bat boxes), 57 (cycle parking) in respect of planning permission 15/01084/FUL.	16/11/2018	AOD - Application for approval of details reserved by condition	11/01/2019	16/12/2020	Nasser Farooq	
x	18/02051/FUL	5	30 Thames Road, Barking, Barking And Dagenham, IG11 0HZ	Refused	Erection of single storey extension to provide cold rooms and a retail unit (Use Class A1) and the erection of a first floor extension to provide office accommodation.	19/11/2019	Q18. MINOR All other developments	14/01/2020	08/09/2020	Kathryn McAllister	
	18/02168/CDN	6	Gascoigne Estate East King Edwards Road, Barking, Barking And Dagenham,	Condition(s) Partially Discharged	Application for approval of details reserved by conditions 24 (road adoption and on street parking management), 34 (surface water drainage scheme) and 35 (levels) for Phase 1A (sub-Phase D) and Phase 1B of planning permission 15/01084/FUL.	15/04/2019	AOD - Application for approval of details reserved by condition	10/06/2019	17/12/2020	Nasser Farooq	
	19/00028/REM	7	Gascoigne Estate East King Edwards Road, Barking, Barking And Dagenham,	Approved	Application for approval of reserved matters following permission 19/00310/FUL, dated 3 February 2020 - Construction of a 3 form entry primary school (Greatfields Primary School) on Development Parcel K comprising the erection of a two-storey teaching block containing 21 classrooms and related facilities; provision of external playground, hard and soft landscaping, parking and associated works	09/02/2019	Q06. MAJOR All other major developments	11/05/2019	08/07/2020	Nasser Farooq	
	19/00264/OUT	8	Greenburn Centre Selinas Lane, Dagenham, Barking And Dagenham,	No Decision Taken	Application for outline planning permission: redevelopment of site comprising demolition of existing buildings and erection of four 7 storey blocks to provide light industrial floor space (737m2) (Use Class B1(c)) and 150 residential flats (36 x 1 bedroom, 56 x 2 bedroom, 52 x 3 bedroom, and 6 x 4 bedroom units) with associated ground level and basement car parking, landscaping, and creation of new vehicular access from Selinas Lane.	03/05/2019	Q01. MAJOR Dwellings	02/08/2019	22/12/2020	Simon Bullock	
	19/00583/CDN	9	A House For Artists, 36 - 40 Linton Road, Barking, Barking And Dagenham,	Refused	Application for approval of details reserved by conditions 14 (Contamination Land), 15 (Remediation Scheme) 16 (Approved Remediation Scheme), 17 (Risk Assessment) & 18 (Monitoring and Maintenance Scheme) in respect of planning permission 18/00555/FUL.	18/07/2019	AOD - Application for approval of details reserved by condition	12/09/2019	12/11/2020	Kathryn McAllister	
	19/00602/FUL	10	Central Park Wood Lane, Dagenham, Barking And Dagenham,	Approved	Upgrade of park landscape and provision of new park facilities comprising a new toddler playground, a new adventure playground zone, an interactive maze and associated grass amphitheatre/picnic zone, new nature zones incorporating wetlands, wildflower meadow and native planting, areas designated for public art and new network of paths.	03/04/2019	Q06. MAJOR All other major developments	03/07/2019	11/09/2020	Olivia St-Amour	
	19/00767/FUL	11	11 Rockwell Road, Dagenham, Barking And Dagenham, RM10 8JA	No Decision Taken	Erection of a single ground floor rear/side extension for disabled occupant.	02/05/2019	Q21. Householder developments	27/06/2019	17/11/2020	Frances Odikasigbue	
	19/00797/FUL	12	Site Of Old Thamesview Clinic Bastable Avenue, Barking, Barking And Dagenham,	Approved Subject To Legal Agreement	Erection of 4 storey building comprising ground floor community use (Class F1) and 34 upper floor flats (21 x 1 bed, 13 x 2 bed), creation of new vehicular access, basement level car park, and associated landscaping.	13/06/2019	Q01. MAJOR Dwellings	12/09/2019	25/11/2020	Grace Liu	
	19/00806/FUL	13	Barking Abbey Comprehensive School, School Site Sandringham Road, Barking, Barking And Dagenham, IG11 9AG	Approved	New access ramp to main school entrance.	08/05/2019	Q18. MINOR All other developments	03/07/2019	21/12/2020	Nathaniel Soneye-Thomas	
	19/00807/FUL	14	The Beaver Centre Selinas Lane, Dagenham, Barking And Dagenham, RM8 1QH	Approved	Continuation of existing use of Unit 1 as place of worship (Use Class D1) in association with adjoining place of worship at The Beaver Centre permitted under ref. 09/00721/FUL (retrospective).	12/07/2019	Change of Use	06/09/2019	18/09/2020	Kathryn McAllister	
	19/00851/FUL	15	66 Hunters Hall Road, Dagenham, Barking And Dagenham, RM10 8HX	Refused	Demolition of existing detached garage and erection of new two storey detached two bedroom house.	16/05/2019	Minor Dwellings	11/07/2019	23/11/2020	Kathryn McAllister	
	19/00867/FUL	16	4 Lansbury Avenue, Barking, Barking And Dagenham, IG11 9NN	Refused	Demolition of existing garage and erection of 1 x bedroom flat accessed from rear garden.	18/12/2019	Q13. MINOR Dwellings	12/02/2020	23/11/2020	Kathryn McAllister	
	19/00965/FUL	17	The Lighterman, 109 Bastable Avenue, Barking, Barking And Dagenham, IG11 0NX	Approved	Erection of new porch, alterations to façade and internal alterations.	05/06/2019	Q18. MINOR All other developments	31/07/2019	12/12/2020	Lauren Carroll	
	19/00977/FUL	18	10 Norton Road, Dagenham, Barking And Dagenham, RM10 8BP	No Decision Taken	Erection of single storey side and rear extensions in connection with the subdivision of the dwelling into 1 x 1 bed, 1 x 2 bed and 1 x 3 bed houses and roof alterations comprising of 11 front, rear and side dormer windows.	10/06/2019	Minor Dwellings	05/08/2019	22/12/2020	Aurelien Kong	
	19/00989/REG3	19	Thomas Arnold Primary School, School Site Rowdowns Road, Dagenham, Barking And Dagenham, RM10 6NH	Approved	Resurfacing and re-planning existing car park area; formation of new recreation space with canopy, sensory garden, synthetic grass area, timber decking, new external classroom doors	10/06/2019	Q18. MINOR All other developments	05/08/2019	23/11/2020	Kathryn McAllister	
	19/00991/CLU_E	20	34 Surrey Road, Barking, Barking And Dagenham, IG11 7QT	Lawful (Certificate)	Application for a certificate of lawfulness for an existing development: Erection of single storey rear extension, roof canopy and front porch extension.	10/06/2019	CLUE - Lawful development: Existing use	05/08/2019	04/11/2020	Kathryn McAllister	
	19/00992/FUL	21	21 Bennett Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6ES	Refused	Erection of a single storey front extension a two storey side and part single part two storey rear extensions.	11/06/2019	Q21. Householder developments	06/08/2019	15/09/2020	Kathryn McAllister	
	19/01010/FUL	22	4 Cecil Avenue, Barking, Barking And Dagenham, IG11 9TA	Refused	Subdivision of 5 bedroom dwelling into three 3 residential units, consisting of 1 x 3 bed maisonette and 2 x studio flats.	18/07/2019	Minor Dwellings	12/09/2019	14/08/2020	Kathryn McAllister	
	19/01020/FUL	23	43 Stansgate Road, Dagenham, Barking And Dagenham, RM10 7LT	Refused	Erection of outbuilding in rear garden to be used as gym.	14/06/2019	Q21. Householder developments	09/08/2019	09/12/2020	Olivia St-Amour	
	19/01039/FUL	24	2 Kingsley Close, Dagenham, Barking And Dagenham, RM10 7BQ	Refused	Erection of 2 bedroom end of terrace dwelling with garage in rear garden.	13/12/2019	Minor Dwellings	07/02/2020	11/08/2020	Kathryn McAllister	
	19/01064/FUL	25	38 Walnut Tree Road, Dagenham, Barking And Dagenham, RM8 3JB	No Decision Taken	Change of internal partitions layout to former garage into habitable accommodation amendment to planning permissions (16/00596/FUL) retrospective.	24/06/2019	Q21. Householder developments	19/08/2019	22/12/2020	Frances Odikasigbue	
x	19/01105/FUL	26	117 Victoria Road, Barking, Barking And Dagenham, IG11 8PZ	Approved	Removal of existing pitched roof, construction of new second floor mansard roof extension, and erection of single storey, first, and second floor rear extensions to create a 9 bedroom house in multiple occupation (HMO).	28/06/2019	Change of Use	23/08/2019	19/08/2020	Kathryn McAllister	
	19/01106/FUL	27	67 Bell Farm Avenue, Dagenham, Barking And Dagenham, RM10 7BB	No Decision Taken	Conversion into two dwellings retaining existing three bedroom house	14/10/2019	Minor Dwellings	09/12/2019	22/12/2020	Frances Odikasigbue	
	19/01127/FUL	28	91 Cavendish Gardens, Barking, Barking And Dagenham, IG11 9DU	Refused	Erection of an outbuilding at the rear of the property.	03/07/2019	Q21. Householder developments	28/08/2019	08/09/2020	Kathryn McAllister	
	19/01128/FUL	29	81 Tyres, 422 - 428 Whalebone Lane South, Chadwell Heath, Romford, Barking And Dagenham, RM6 6HP	Approved	Conversion of existing garages into office space	31/07/2019	Q20. Change of use	25/09/2019	04/08/2020	Kathryn McAllister	
	19/01136/FUL	30	20 Foxlands Crescent, Dagenham, Barking And Dagenham, RM10 7TB	No Decision Taken	Erection of single storey storey outbuilding with pitched roof in rear garden (retrospective),,	04/07/2019	Q21. Householder developments	29/08/2019	17/11/2020	Frances Odikasigbue	
	19/01142/TPO	31	Crown House, 6 Cambridge Road, Barking, Barking And Dagenham, IG11 8HQ	Approved	Application for tree works subject to a tree preservation order: Repollard back to previous pruning points due to large crowns which are overhanging and fell trees down to ground level.	08/07/2019	TPO - Works to trees subject to a tree preservation order	02/09/2019	21/12/2020	Cari Jones	

19/01147/CDN	32	Stolthaven Terminal Hindmans Way, Dagenham, Barking And Dagenham,	Condition(s) Partially Discharged	Application for approval of details reserved by Condition 4 (Archaeology) Condition 6 (Site Investigation and Risk Assessment) Condition 7 (Detailed Remediation Scheme) Condition 10 (Construction Method Statement) in respect of planning permission 18/00781/FUL.	08/07/2019	AOD - Application for approval of details reserved by condition	02/09/2019	21/08/2020	Nasser Farooq	
19/01149/FUL	33	16 Marston Avenue, Dagenham, Barking And Dagenham, RM10 7JX	Refused	Erection of new one bedroom house at land adjacent to 16 Marston Avenue	27/08/2019	Minor Dwellings	22/10/2019	03/12/2020	Kathryn McAllister	
19/01170/FUL	34	115 Fourth Avenue, Rush Green, Romford, Barking And Dagenham, RM7 0UH	No Decision Taken	Erection of a new end of terrace two bedroom dwelling house.	15/10/2019	Minor Dwellings	10/12/2019	22/12/2020	Frances Odikasigbue	
19/01212/FUL	35	Hewetts Quay, 26 - 32 Abbey Road, Barking, Barking And Dagenham,	Refused	Erection of new central bin store building to replace the existing bin stores areas within the existing housing development Hewett's Quay.	18/07/2019	Q18. MINOR All other developments	12/09/2019	24/11/2020	Kathryn McAllister	
19/01269/FUL	36	World Of Tiles, 352 - 364 Valence Avenue, Dagenham, Barking And Dagenham, RM8 3QU	Approved Subject To Legal Agreement	Redevelopment of the site to create new 'Community Centre' (Use Class D1) with associated parking and landscaping.	14/08/2019	Q06. MAJOR All other major developments	13/11/2019	23/10/2020	Olivia St-Amour	
19/01297/FUL	37	23 South Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6YD	Refused	Erection of a First Floor Side Extension with hip tile roof.	02/08/2019	Q21. Householder developments	27/09/2019	13/11/2020	Harry Moorhouse	
19/01303/FUL	38	11 Grove Way, Dagenham, Barking And Dagenham, RM8 3XB	No Decision Taken	Erection of two storey rear extension	06/08/2019	Q21. Householder developments	01/10/2019	22/12/2020	Simon Bullock	
19/01312/FUL	39	79a Whalebone Lane South, Dagenham, Barking And Dagenham,	Approved Subject To Legal Agreement	Demolition of existing petrol station and erection of a new foodstore (Class A1) with associated car park and landscaping.	15/08/2019	Q04. MAJOR Retail and service	14/11/2019	04/08/2020	Nasser Farooq	
19/01325/FUL	40	Abbey Minimarket & Digital Photo Lab, 91 Longbridge Road, Barking, Barking And Dagenham, IG11 8TB	No Decision Taken	Construction of first floor to the rear to provide 2 bed self contained flat	03/10/2019	Minor Dwellings	28/11/2019	22/12/2020	Frances Odikasigbue	
19/01362/FUL	41	Eastbrook Comprehensive School, School Site Dagenham Road, Dagenham, Barking And Dagenham, RM10 7UR	No Decision Taken	Replacement of grasscrete (permeable recreation area) with new MUGA (also permeable recreation area) and installation of new 4m high weldmesh fence enclosure	20/08/2019	Q18. MINOR All other developments	15/10/2019	22/12/2020	Catherine Tusien	
19/01385/CDN	42	Abbey Retail Park Abbey Road, Barking, Barking And Dagenham,	Condition(s) Fully Discharged	Application for approval of details reserved by condition 21 (Riverside walk) in respect of planning permission 15/01635/FUL.	02/09/2019	AOD - Application for approval of details reserved by condition	28/10/2019	12/10/2020	Olivia St-Amour	
19/01397/FUL	43	Cafe Troy, 770 Green Lane, Dagenham, Barking And Dagenham, RM8 1YT	Refused	Erection of a two storey rear extension to create two additional one bedroom flats	15/10/2019	Minor Dwellings	10/12/2019	31/07/2020	Kathryn McAllister	
19/01429/FUL	44	31 Roles Grove, Chadwell Heath, Romford, Barking And Dagenham, RM6 5LT	No Decision Taken	Erection of two bedroom dwellinghouse.	05/09/2019	Minor Dwellings	31/10/2019	22/12/2020	Simon Bullock	
19/01515/CDN	45	1 Saville Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6DS	Condition(s) Partially Discharged	Application for approval of details reserved by condition 3 (Materials) condition 4 (Landscaping) condition 6 (Hard Landscaping) condition 7 (Boundary Treatment) condition 8 (Refuse Storage) condition 11 (Lighting) condition 14 (Root Protection) condition 19 (Drainage) in respect of planning permission 17/00707/FUL.	24/09/2019	AOD - Application for approval of details reserved by condition	19/11/2019	17/07/2020	Kathryn McAllister	
19/01516/FUL	46	20 Foxlands Crescent, Dagenham, Barking And Dagenham, RM10 7TB	Approved	Erection of single storey outbuilding to rear of the property to be used as a office (retrospective).	03/10/2019	Q14. MINOR Offices / R & D / light industry	28/11/2019	19/11/2020	Orla Bermingham	
19/01533/FUL	47	Bull Public House, 2 - 4 North Street, Barking, Barking And Dagenham, IG11 8ET	Refused	Erection of a steel framed glazed canopy	28/09/2019	Q18. MINOR All other developments	23/11/2019	03/11/2020	Kathryn McAllister	
19/01543/FUL	48	Mercedes-benz, Mercedes-benz Retail Alfreds Way, Barking, Barking And Dagenham, IG11 0AT	Approved Subject To Legal Agreement	Redevelopment of site to provide new permanent bespoke premises for a Mercedes-Benz prestige used car dealership, with customer lounge, 22-bay workshop with specialist service bays, MOT testing, servicing and other car-related activities (wet/dry valet) and including demolition of existing warehouse and sales building, construction of new sales, after-sales and car storage deck building, construction of new main vehicular access/egress to the site from A13, substation and associated works.	02/10/2019	Q06. MAJOR All other major developments	01/01/2020	18/09/2020	Nasser Farooq	
19/01568/FUL	49	3 Hardie Road, Dagenham, Barking And Dagenham, RM10 7BS	No Decision Taken	Erection of 4 bedroom dwelling and erection of single storey, part two storey rear extension.	04/10/2019	Minor Dwellings	29/11/2019	22/12/2020	Catherine Tusien	
19/01603/FUL	50	Chiquitos, Unit 3, East London Leisure Park Cook Road, Dagenham, Barking And Dagenham, RM9 6UQ	No Decision Taken	Change of use from A3 (Restaurant) to D2 (Leisure - Sporting Facilities).	25/10/2019	Change of Use	20/12/2019	22/12/2020	Aurelien Kong	
19/01604/FUL	51	46 Stonard Road, Dagenham, Barking And Dagenham, RM8 2HT	Approved	Erection of single storey side extension, part single part two storey rear extension, and erection of front porch.	18/11/2019	Q21. Householder developments	13/01/2020	30/07/2020	Kathryn McAllister	
19/01647/CLU_E	52	56 Mayesbrook Road, Dagenham, Barking And Dagenham, RM8 2EB	Lawful (Certificate)	Application for a certificate of lawfulness for an existing use: Conversion of single dwelling house to 5 bed house in multiple occupation (HMO).	24/10/2019	CLUE - Lawful development: Existing use	19/12/2019	11/09/2020	Kathryn McAllister	
19/01686/TPO	53	Metropolitan Water Board House London Road, Barking, Barking And Dagenham, IG11 8BU	No Decision Taken	Application for tree works subject to a tree preservation order: Works in order to access willow tree to pollard the limbs back to the original pollard points.	14/11/2019	TPO - Works to trees subject to a tree preservation order	09/01/2020	22/12/2020	Simon Bullock	
19/01697/CLU_E	54	19 Donne Road, Dagenham, Barking And Dagenham, RM8 2JG	Not Lawful (Certificate)	Application for a certificate of lawfulness for an existing use: Retention of outbuilding as single dwelling house.	29/11/2019	CLUE - Lawful development: Existing use	24/01/2020	27/10/2020	Kathryn McAllister	
19/01700/FUL	55	149 Marlborough Road, Dagenham, Barking And Dagenham, RM8 2EX	Refused	Conversion of existing dwelling house into 1 x 4 bedroom and 3 x 3 bedroom houses.	19/11/2019	Minor Dwellings	14/01/2020	12/11/2020	Kathryn McAllister	
19/01717/FUL	56	150 Frizlands Lane, Dagenham, Barking And Dagenham, RM10 7HD	Refused	Erection of part first floor, part two storey side/rear extension to create new 1-bedroom dwelling house.	09/01/2020	Minor Dwellings	05/03/2020	11/08/2020	Kathryn McAllister	
19/01722/FUL	57	Heathpace Ltd, 23 - 25 Station Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 4BE	Refused	Erection of first floor rear extension and construction of rear dormer windows to existing first floor flats No. 23A and 25A.	10/12/2019	Minor Dwellings	04/02/2020	17/08/2020	Kathryn McAllister	Angela Lopez
19/01772/FUL	58	A.d.s. Components, Unit 1a, Barking Industrial Park Alfreds Way, Barking, Barking And Dagenham, IG11 0TJ	Approved Subject To Legal Agreement	Demolition of the existing ground floor single storey front and rear buildings and the erection of a two storey extension.	20/11/2019	Q03. MAJOR General industry / storage / warehousing	19/02/2020	16/09/2020	Olivia St-Amour	
19/01773/FUL	59	22 Levine Gardens, Barking, Barking And Dagenham, IG11 0UH	Approved	Erection of a ground floor rear extension, part first floor rear extension and a loft conversion with a rear dormer and two roof flights to front.	20/11/2019	Q21. Householder developments	15/01/2020	19/08/2020	Kathryn McAllister	
19/01775/NMA	60	Gents Barbers, 99a Longbridge Road, Barking, Barking And Dagenham, IG11 8TB	Approved	Application for non material amendment following grant of planning permission 18/01159/FUL: Change of elevational materials.	05/11/2019	NONMAT - Non-material amendment following a grant of planning permission	03/12/2019	24/11/2020	Kathryn McAllister	
19/01777/FUL	61	794 Rainham Road South, Dagenham, Barking And Dagenham, RM10 8YU	Refused	Demolition of bungalow and erection of two storey terrace of 3 x 3 bedroom houses.	21/11/2019	Minor Dwellings	16/01/2020	08/09/2020	Kathryn McAllister	
19/01792/FUL	62	30 Glenmore Way, Barking, Barking And Dagenham, IG11 0LY	Refused	Change of use from single dwelling house (Class C3) to house in multiple occupation (HMO) use Class C4 for 6 people	26/11/2019	Change of Use	21/01/2020	27/10/2020	Kathryn McAllister	
19/01805/CLU_E	63	63 Standfield Road, Dagenham, Barking And Dagenham, RM10 8JP	Lawful (Certificate)	Application for a certificate of lawfulness for an existing development: Retention of single storey rear extension and detached outbuilding in the rear garden to be used as a gym.	28/11/2019	CLUE - Lawful development: Existing use	23/01/2020	01/09/2020	Kathryn McAllister	
19/01816/FUL	64	Red Lion House, 66 North Street, Barking, Barking And Dagenham, IG11 8JD	Refused	Change of use of part ground floor to provide 4 x self-contained flats.	29/11/2019	Change of Use	24/01/2020	11/09/2020	Kathryn McAllister	
19/01825/FUL	65	Victorian Woodworks, Debden Wharf, 54 - 58 River Road, Barking, Barking And Dagenham, IG11 0DW	No Decision Taken	Demolition of existing dilapidated material recycling storage building (MRF) and replacing with new, smaller building with higher roof.	03/12/2019	Q06. MAJOR All other major developments	03/03/2020	22/12/2020	Kathryn McAllister	
19/01831/FUL	66	7 Trinidad Gardens, Dagenham, Barking And Dagenham, RM10 9YA	Refused	Erection of single storey side and rear extension, Retention of ground floor three-bedroom flat and first floor two-bedroom flat and amendment to the approved single storey ground floor extension height	02/12/2019	Q13. MINOR Dwellings	27/01/2020	23/11/2020	Kathryn McAllister	
19/01836/FUL	67	196 Gorseway, Rush Green, Romford, Barking And Dagenham, RM7 0SH	Refused	Demolition of granny annexe and erection of single storey 1 x bedroom dwelling.	13/12/2019	Minor Dwellings	07/02/2020	02/09/2020	Kathryn McAllister	
19/01846/FUL	68	72 Mayswood Gardens, Dagenham, Barking And Dagenham, RM10 8UT	Refused	Demolition of garage & outbuilding and construct a 2-bedroom dwelling	16/12/2019	Q13. MINOR Dwellings	10/02/2020	12/10/2020	Kathryn McAllister	
19/01849/FUL	69	8 Dronfield Gardens, Dagenham, Barking And Dagenham, RM8 2YD	No Decision Taken	Conversion of existing outbuilding structure to habitable space for carer (temporary) for use ancillary to the main house	17/12/2019	Minor Dwellings	11/02/2020	22/12/2020	Aurelien Kong	
19/01854/FUL	70	Birkbeck House, 45 Academy Way, Dagenham, Barking And Dagenham,	Approved	Installation of 2 no. additional rainwater outlets to the front (North facing) elevation in round, black PVCu pipework and black PVCu hoppers through the external brick parapet.	10/12/2019	Q21. Householder developments	04/02/2020	07/09/2020	Kathryn McAllister	
19/01857/FUL	71	Boleyn Garage Limited, 87 Movers Lane, Barking, Barking And Dagenham,	Approved	Erection of additional third storey to create 1 x 3 bedroom self-contained flat.	11/12/2019	Minor Dwellings	05/02/2020	30/10/2020	Kathryn McAllister	
19/01880/ADV	72	Mcdonalds Restaurant, Unit 1, East London Leisure Park Cook Road, Dagenham, Barking And Dagenham, RM9 6UQ	Approved	Installation of 5 digital freestanding signs and 1 digital booth screen 15".	13/12/2019	ADVERT - Consent to display an advertisement(s)	07/02/2020	14/08/2020	Kathryn McAllister	
19/01887/FUL	73	52 Victoria Road, Barking, Barking And Dagenham, IG11 8PY	Approved	Erection of outbuilding in rear garden.	16/12/2019	Q21. Householder developments	10/02/2020	10/09/2020	Kathryn McAllister	
19/01889/FUL	74	52 Victoria Road, Barking, Barking And Dagenham, IG11 8PY	Approved	Erection of a single storey rear extension and side infilling.	17/12/2019	Q21. Householder developments	11/02/2020	10/09/2020	Kathryn McAllister	
19/01898/CLU_E	75	55 Wedderburn Road, Barking, Barking And Dagenham, IG11 7XF	Lawful (Certificate)	Application for a certificate of lawfulness for an existing development: Retention of 2 x 2 Bedroom dwellings.	18/12/2019	CLUE - Lawful development: Existing use	12/02/2020	17/07/2020	Kathryn McAllister	Angela Lopez
19/01907/CDN	76	Ymca, Rush Green Road, Essex, RM7 0PH	Condition(s) Fully Discharged	Application for approval of details reserved by Condition 3 (Materials), Condition 4 (Soft Landscaping) and Condition 6 (Hard Landscaping) in respect of planning permission 19/00095/FUL.	19/12/2019	AOD - Application for approval of details reserved by condition	13/02/2020	21/10/2020	Nathaniel Soneye-Thomas	Angela Lopez
x 19/01910/FUL	77	171 Dagenham Road, Rush Green, Romford, Barking And Dagenham, RM7 0TL	Refused	Erection of a roof shade outside patio door in the garden for disabled person.	19/12/2019	Q21. Householder developments	13/02/2020	27/10/2020	Kathryn McAllister	
19/01911/FUL	78	39 St Johns Road, Barking, Barking And Dagenham, IG11 7XL	Refused	Conversion of a single dwelling into 2 x 2 bed flats with associated construction of rear dormer window, minor external alterations, and refuse and cycle storage enclosures.	20/12/2019	Minor Dwellings	14/02/2020	23/11/2020	Kathryn McAllister	
19/01920/FUL	79	53 Roxwell Road, Barking, Barking And Dagenham, IG11 0PS	Approved Subject To Legal Agreement	Demolition of all existing buildings and structures; construction of 87 no. Class C3 residential units; and ancillary works.	20/12/2019	Q01. MAJOR Dwellings	20/03/2020	10/07/2020	Aurelien Kong	

19/01943/FUL	80	Apex Commercial, 672 Rainham Road South, Dagenham, Barking And Dagenham, RM10 8YS	No Decision Taken	Retrospective permission for use of property for mixed A1/A2 use.	26/03/2020	Change of Use	21/05/2020	22/12/2020	Aurelien Kong	
19/01953/NMA	81	Barking Riverside Area Renwick Road, Barking, Barking And Dagenham,	Approved	Application for non-material amendment following grant of planning permission 18/00768/REM: Details of Site Wide Infrastructure Scheme pursuant to condition 16	23/12/2019	NONMAT - Non-material amendment following a grant of planning permission	20/01/2020	01/12/2020	Nasser Farooq	
20/00036/ADV	82	Bestway Cash And Carry, Gascoigne Wharf Alfreds Way, Barking, Barking And Dagenham, IG11 0AU	Approved	Replacement of existing advertisement hoarding with 1 x 48 sheet hoarding incorporating digital LED display	16/01/2020	ADVERT - Consent to display an advertisement(s)	12/03/2020	12/10/2020	Kathryn McAllister	Ela King
20/00037/CDN	83	Abbey Retail Park Abbey Road, Barking, Barking And Dagenham,	Condition(s) Fully Discharged	Application for approval of details reserved by conditions 3 (Vehicular and Pedestrian Access), 38 (Wind Mitigation Measures), 39 (Car Parking), 40 (Electric Vehicle Charging Points), 41 (Petrol and Oil Interceptors) and 42 (Cycle Parking) in respect of planning permission 15/01635/FUL	30/06/2020	AOD - Application for approval of details reserved by condition	25/08/2020	23/11/2020	Olivia St-Amour	
20/00040/FUL	84	Street Record Margaret Bondfield Avenue, Barking, Barking And Dagenham,	Approved Subject To Legal Agreement	Demolition of existing structures associated with former garage site; construction of 15 units to provide temporary accommodation (Sui Generis) and associated works	17/01/2020	Q01. MAJOR Dwellings	17/04/2020	19/11/2020	Olivia St-Amour	
20/00062/FUL	85	167 Bennetts Castle Lane, Dagenham, Barking And Dagenham, RM8 3YJ	Refused	Erection of a new two storey two-bedroom end of terrace dwelling house.	22/01/2020	Minor Dwellings	18/03/2020	13/08/2020	Kathryn McAllister	
20/00073/CDN	86	Mellish Close Garages Mellish Close, Barking, Barking And Dagenham,	Condition(s) Fully Discharged	Application for approval of details reserved by conditions 3 (Details of External Materials), 7 (Details of Boundary Treatments), 10 (Cycle Parking Details), 15 (Acoustic Protection Details), 18 (Site Characterisation), 19 (Remediation Scheme), 23 (Construction Management Plan), 24 (Highspeed1 (HS1) - Foundation Design), 25 (Site Investigations near to High Speed1), 31 (Bat Survey) in respect of planning permission 18/000770/FUL.	30/01/2020	AOD - Application for approval of details reserved by condition	26/03/2020	16/11/2020	Grace Liu	Angela Lopez
20/00074/ADV	87	J C Decaux Limited, Adshell Adjacent To Ripple Villas Ripple Road, Barking, Barking And Dagenham,	Approved	Installation of 2no internally illuminated 48-sheet digital displays.	23/01/2020	ADVERT - Consent to display an advertisement(s)	19/03/2020	12/10/2020	Kathryn McAllister	
20/00097/FUL	88	Development Site Junction Of Stamford Road And Woodward Road, Dagenham, Barking And Dagenham,	Approved Subject To Legal Agreement	Change of use of the former Barking Library building from sui generis (furniture recycling) to Class D1 (community). Construction of up to 266sqm (GIA) building for flexible Class D1 (community)/sui generis (police station), 56 no. Class C3 (residential) units; and associated works including landscaping and car parking provision	22/01/2020	Q01. MAJOR Dwellings	22/04/2020	17/07/2020	Grace Liu	
20/00137/FUL	89	1 Tresham Road, Barking, Barking And Dagenham, IG11 9PY	Approved	Retention of ground floor part rear/side extension	01/05/2020	Q21. Householder developments	26/06/2020	13/07/2020	Kathryn McAllister	
20/00140/CDN	90	1a Hainault Gore, Chadwell Heath, Romford, Barking And Dagenham, RM6 6RR	Condition(s) Partially Discharged	Application for approval of details reserved by condition 3 (Materials) condition 4 (Landscaping & Boundary Treatments) condition 9 (Land Contamination and Remediation) in relation to Part A, B and C condition 10 (Construction Management Plan) in respect of planning permission 19/01285/FUL	06/02/2020	AOD - Application for approval of details reserved by condition	02/04/2020	15/12/2020	Kathryn McAllister	
20/00162/VAR	91	Bull Public House, 2 - 4 North Street, Barking, Barking And Dagenham, IG11 8ET	Refused	Application for variation of condition 2 (plan numbers) following the grant of planning permission 18/00078/FUL and the reconstruction of chimney stacks in light weight construction.	09/09/2020	Q23. Listed building consents (to alter / extend)	04/11/2020	03/11/2020	Kathryn McAllister	Angela Lopez
20/00171/FUL	92	54 Rose Lane, Chadwell Heath, Romford, Barking And Dagenham, RM6 5JU	Approved	Erection of single storey ground floor extension	27/03/2020	Q21. Householder developments	22/05/2020	17/07/2020	Kathryn McAllister	Ela King
20/00172/CDN	93	Bull Public House, 2 - 4 North Street, Barking, Barking And Dagenham, IG11 8ET	Refused	Application for approval of details reserved by condition 4 (Submission of Materials) and condition 5 (Windows Removal) in respect of planning permission 18/00078/FUL	12/02/2020	AOD - Application for approval of details reserved by condition	08/04/2020	03/11/2020	Kathryn McAllister	
20/00187/CDN	94	Ymca, Rush Green Road, Essex, RM7 0PH	Condition(s) Fully Discharged	Application for approval of details reserved by condition 7 (Cycle Parking) and condition 8 (Refuse and Recycling) in respect of planning permission 19/00095/FUL	14/02/2020	AOD - Application for approval of details reserved by condition	10/04/2020	23/11/2020	Grace Liu	
20/00189/FUL	95	11 Hobart Road, Dagenham, Barking And Dagenham, RM9 5NH	Refused	Erection of first floor side extension above existing side garage	03/02/2020	Q21. Householder developments	30/03/2020	27/10/2020	Kathryn McAllister	Angela Lopez
20/00200/CDN	96	Gascoigne Estate East King Edwards Road, Barking, Barking And Dagenham,	Condition(s) Partially Discharged	Application for approval of details reserved by conditions 5 (Construction Method Statement) and 7 (Construction Logistics Plan) in respect of planning permission 19/00310/FUL for Phase 2A, Development Parcel G).	19/03/2020	AOD - Application for approval of details reserved by condition	14/05/2020	08/09/2020	Nasser Farooq	Angela Lopez
20/00221/NMA	97	Ymca, Rush Green Road, Essex, RM7 0PH	Approved	Application for non-material amendment following grant of planning permission 19/00095/FUL: Amend the disabled access ramp and expose the pipework to the north elevation facade.	12/02/2020	NONMAT - Non-material amendment following a grant of planning permission	11/03/2020	24/11/2020	Kathryn McAllister	
20/00258/HSE	98	31 Halsham Crescent, Barking, Barking And Dagenham, IG11 9HG	Approved	Double storey side and rear extension.	25/02/2020	Q21. Householder developments	21/04/2020	12/10/2020	Kathryn McAllister	Angela Lopez
x 20/00272/FUL	99	4 Dronfield Gardens, Dagenham, Barking And Dagenham, RM8 2YD	Approved	Erection of a side garage in-line with existing semi-detached property	28/02/2020	Q13. MINOR Dwellings	24/04/2020	31/07/2020	Kathryn McAllister	Angela Lopez
20/00283/FUL	100	40 Seagull Close, Barking, Barking And Dagenham, IG11 0GX	Approved	ERECTION OF SINGLE STOREY REAR EXTENSION	28/02/2020	Q21. Householder developments	24/04/2020	02/09/2020	Kathryn McAllister	Angela Lopez
20/00289/CLU_P	101	15 Mayesbrook Road, Dagenham, Barking And Dagenham, RM8 2EA	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a hip-to-gable roof extension to accommodate a rear dormer extension including four roof lights to the front and two Juliette balconies to facilitate conversion of roof space into habitable accommodation.	17/11/2020	CLUP - Lawful development: Proposed use	12/01/2021	24/11/2020	Lauren Carroll	Ela King
20/00314/FUL	102	London East Business And Technical Park Yewtree Avenue, Dagenham, Barking And Dagenham,	Approved Subject To Legal Agreement	Change of use and refurbishment of two existing on-site workshops to flexible workshop space with ancillary offices; construction of new sound stages with ancillary offices, storage and toilets; construction of a new office building; construction of new workshops; and associated works, including landscaping, plant, services, refuse store, external cycle store and vehicle parking.	05/03/2020	Q03. MAJOR General industry / storage / warehousing	04/06/2020	03/11/2020	Olivia St-Amour	
20/00338/CLU_P	103	26 East Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6XP	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the erection of rear dormer windows, hip to gable roof alteration and three front rooflights.	10/03/2020	CLUE - Lawful development: Existing use	05/05/2020	26/10/2020	Nathaniel Soneye-Thomas	
20/00382/FUL	104	12 Upney Lane, Barking, Barking And Dagenham, IG11 9LW	Refused	Erection of a roof above existing side extension	16/03/2020	Q21. Householder developments	11/05/2020	27/10/2020	Kathryn McAllister	
20/00463/HSE	105	133 Bromhall Road, Dagenham, Barking And Dagenham, RM9 4PJ	Approved	Construction of a front porch (Retrospective).	21/10/2020	Q21. Householder developments	16/12/2020	01/12/2020	Kathryn McAllister	Ela King
20/00469/CDN	106	Gascoigne Estate West Abbey Road, Barking, Barking And Dagenham,	Condition(s) Fully Discharged	Application for approval of details reserved by condition 12 (Accessibility statement and Management Plan) in respect of Phase 1 of 19/01320/QUIT	31/03/2020	AOD - Application for approval of details reserved by condition	26/05/2020	14/10/2020	Nasser Farooq	
20/00475/CDN	107	Site No 4 Dagenham Dock Thunderer Road, Dagenham, Barking And Dagenham,	Condition(s) Fully Discharged	Application for approval of details reserved by condition 7 (external materials) of 19/01178/FUL	01/04/2020	AOD - Application for approval of details reserved by condition	27/05/2020	21/08/2020	Nasser Farooq	
20/00478/FUL	108	Manor Infant, School Site Sandringham Road, Barking, Barking And Dagenham, IG11 9AG	Approved	Erection of a small single storey extension to provide additional storage for the school.	01/04/2020	Q18. MINOR All other developments	27/05/2020	15/12/2020	Kathryn McAllister	
20/00479/HSE	109	48 Temple Avenue, Dagenham, Barking And Dagenham, RM8 1LP	Approved	Erection of part single/part two storey rear and single storey along side rear extension.	08/06/2020	Q21. Householder developments	03/08/2020	31/07/2020	Carl Jones	Angela Lopez
20/00487/CDN	110	Abbey Retail Park Abbey Road, Barking, Barking And Dagenham,	Condition(s) Fully Discharged	Application for approval of details reserved by condition 12 (Verification Report) in respect of planning permission 15/01635/FUL	06/04/2020	AOD - Application for approval of details reserved by condition	01/06/2020	16/09/2020	Olivia St-Amour	
20/00507/CDN	111	Stolthaven Terminal Hindmans Way, Dagenham, Barking And Dagenham,	Condition(s) Partially Discharged	Application for approval of details reserved by condition, 3 (Lighting and Biodiversity), 11 (Cycle Parking details) and 12 (Car charging points) in respect of planning permission 18/00781/FUL	09/04/2020	AOD - Application for approval of details reserved by condition	04/06/2020	21/08/2020	Nasser Farooq	
20/00517/CDN	112	Fresh Wharf Estate Fresh Wharf Road, Barking, Barking And Dagenham,	Condition(s) Partially Discharged	Application for approval of details reserved by condition 28 (Signage) in respect of planning permission 14/01196/QUIT	15/04/2020	AOD - Application for approval of details reserved by condition	10/06/2020	29/09/2020	Olivia St-Amour	
20/00518/FUL	113	The Wedding Bureau, 85 High Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6PB	Refused	To convert storage space to the rear of No 85 and the outbuilding of No 85 into self contained dwellings (1 studio flat, 1x 3 bedroom flat and 1 x 1 bedroom flat)	20/08/2020	Q13. MINOR Dwellings	15/10/2020	13/10/2020	Grace Liu	Angela Lopez
20/00523/NMA	114	129 Upney Lane, Barking, Barking And Dagenham, IG11 9LE	Approved	Application for non-material amendment following grant of planning permission 17/01060/FUL - Alteration to first floor side extension roof detail.	10/04/2020	NONMAT - Non-material amendment following a grant of planning permission	08/05/2020	08/09/2020	Kathryn McAllister	

20/00534/NMA	115	Gascoigne Estate East King Edwards Road, Barking, Barking And Dagenham,	Approved	Application for non-material amendment following grant of planning permission 19/00318/REM; Amendments proposed updates to Block 1 only including: 1.Re configuring the deck access walkway; 2.Replacing clay cover tiles with projecting brick every 4th course; 3.Adjustments to the ground floor layout of 2 no. apartments and adjacent plant rooms; 4.Adjustments to the access steps to ground floor apartments; 5.Minor fenestration adjustments; 6.Omission of ground floor domestic balcony doors to NE elevation; 7.Adjustments to the courtyard landscape layout and buffer planting.	21/04/2020	NONMAT - Non-material amendment following a grant of planning permission	19/05/2020	08/09/2020	Nasser Farooq		
20/00543/CDN	116	Gascoigne Estate West Abbey Road, Barking, Barking And Dagenham,	Condition(s) Fully Discharged	Application for approval of details reserved by condition 44 (Fire Safety) in relation to Phase 1 in respect of planning permission 19/01320/OUT.	24/04/2020	AOD - Application for approval of details reserved by condition	19/06/2020	08/07/2020	Nasser Farooq		
20/00550/FUL	117	82 Oval Road South, Dagenham, Barking And Dagenham, RM10 9DS	Approved	Conversion of property back to a single dwelling house and change of use from Class C3 (Dwelling House) to Class use C2 (Residential Care Home).	21/04/2020	Q20. Change of use	16/06/2020	21/07/2020	Kathryn McAllister	Angela Lopez	
20/01018/FULL	118	70a Thatches Grove, Chadwell Heath, Romford, Barking And Dagenham, RM6 5LH	Refused	Conversion of a Dwellinghouse to a HMO	15/07/2020	Q20. Change of use	09/09/2020	31/08/2020	Cari Jones	Ela King	
20/01023/CLUP	119	530 Valence Avenue, Dagenham, Barking And Dagenham, RM8 3QH	Lawful (Certificate)	A Certificate of Lawfulness for a Proposed Use - Erection of single storey rear extension and loft conversion into habitable room incorporating rear Dormer	29/05/2020	CLUP - Lawful development: Proposed use	24/07/2020	10/07/2020	Lauren Carroll	Lauren Carroll	
20/01024/ADVERT	120	Barking Cricket Club, Dagenham, RM8 2JR	Approved	Erection of a Sign for Barking Cricket Club	22/06/2020	ADVERT - Consent to display an advertisement(s)	17/08/2020	04/08/2020	Harry Moorhouse	Ela King	
20/01033/FULL	121	Curfew Tower, Barking And Dagenham, IG11 8ET	Approved	Curfew Tower Public Realm and Landscaping Improvement : The proposed landscaping works will provide an attractive open space for residents and visitors. It will provide a platform to educate people of all ages about Barking's rich history. In addition, the works are likely to provide a welcomed aesthetic upgrade to the quieter end of East Street and entice shoppers, visitors and local residents to explore the area and understand the history in more detail.	05/05/2020	LBC - Listed Building Consent	30/06/2020	11/08/2020	Kathryn McAllister	Angela Lopez	
20/01036/CDN	122	Unit 1, Fresh Wharf Estate Fresh Wharf Road, Barking, Barking And Dagenham, IG11 7BW	Condition(s) Fully Discharged	Application for approval of details reserved by condition 48 (Bus Stops) in respect of Planning permission 14/01196/OUT	29/04/2020	AOD - Application for approval of details reserved by condition	24/06/2020	12/10/2020	Olivia St-Amour	Angela Lopez	
20/01047/FUL	123	Riverside Grill, 6a River Road, Barking, Barking And Dagenham, IG11 0EY	Refused	Loft conversion involving the construction of a rear dormer window, hip to gable roof alteration and installation of two front rooflights	11/05/2020	Q18. MINOR All other developments	06/07/2020	17/07/2020	Kathryn McAllister	Angela Lopez	
20/01050/FULL	124	Hair Clips, 68 High Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6PP	Approved	Erection of a Single Storey Rear Extension	01/07/2020	Q13. MINOR Dwellings	26/08/2020	18/08/2020	Lauren Carroll	Lauren Carroll	
20/01052/HSE	125	149 Campden Crescent, Dagenham, Barking And Dagenham, RM8 2SJ	Approved	Erection of a two-part rear extension	21/05/2020	Q21. Householder developments	16/07/2020	17/07/2020	Kathryn McAllister	Angela Lopez	
20/01053/HSE	126	16 Buller Road, Barking, Barking And Dagenham, IG11 9UA	Approved	Erection of a single storey side and rear ground floor extension.	25/05/2020	Q21. Householder developments	20/07/2020	17/07/2020	Harry Moorhouse	Angela Lopez	
20/01054/CLUP	127	58 Orchard Road, Dagenham, Barking And Dagenham, RM10 9PX	Lawful (Certificate)	Application for a Certificate of Lawfulness for a Proposed Development - Conversion of a Hip into Gable Loft conversion with a Rear Dormer and 3No. Velux Windows at the front	21/05/2020	CLUP - Lawful development: Proposed use	16/07/2020	06/07/2020	Kathryn McAllister	Lauren Carroll	
20/01055/CLUP	128	68 Great Cullings, Rush Green, Romford, Barking And Dagenham, RM7 0YL	Lawful (Certificate)	Application for a Certificate of Lawfulness for a Proposed Development - Single Storey Rear Extension	21/05/2020	CLUP - Lawful development: Proposed use	16/07/2020	06/07/2020	Kathryn McAllister	Lauren Carroll	
20/01058/CLUP	129	59 Heathway, Dagenham, Barking And Dagenham, RM9 6AY	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the construction of a rear dormer window, hip to gable roof and installation of three front rooflights.	07/05/2020	CLUP - Lawful development: Proposed use	02/07/2020	03/07/2020	Kathryn McAllister	Angela Lopez	
20/01059/FULL	130	Shell Service Station, 514 Ripple Road, Barking, Barking And Dagenham, IG11 9PG	Approved	Demolition of existing commercial buildings and erection of 3 no. Commercial Units (Class E (light industrial), B2 & B8), new vehicular access arrangement, car parking, electric vehicle charging points, cycle storage,landscaping and associated external works.	12/06/2020	Q06. MAJOR All other major developments	11/09/2020	11/09/2020	Grace Liu	Ela King	
20/01060/FULL	131	Best In Food And Wine, 3 Station Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 4BE	Approved	Erection of 3 storey extension and alterations to existing property in connection with the formation of 9 flats together with associated cycle and refuse storage	04/05/2020	Q13. MINOR Dwellings	29/06/2020	19/11/2020	Grace Liu	Angela Lopez	
20/01061/CLUP	132	77 Woodbridge Road, Barking, Barking And Dagenham, IG11 9ES	Not Lawful (Certificate)	Application for a Certificate of Lawfulness for a Proposed Development - Loft conversion and construction of rear dormer	13/05/2020	CLUP - Lawful development: Proposed use	08/07/2020	08/07/2020	Kathryn McAllister	Angela Lopez	
x	20/01063/CLUP	133	482 Lodge Avenue, Dagenham, Barking And Dagenham, RM9 4QR	Lawful (Certificate)	Certificate of Lawfulness for a Proposed Development - Erection of a single storey rear extension (depth: 6.0 metres; height to eaves: 3.0 metres and maximum height: 3.12 metres)	13/05/2020	CLUP - Lawful development: Proposed use	08/07/2020	03/07/2020	Kathryn McAllister	Lauren Carroll
	20/01064/CLUP	134	99 Melford Avenue, Barking, Barking And Dagenham, IG11 9HR	Lawful (Certificate)	Certificate of Lawfulness for a Proposed Development - Erection of a Single Storey Side Extension	29/05/2020	CLUP - Lawful development: Proposed use	24/07/2020	10/07/2020	Harry Moorhouse	Angela Lopez
	20/01067/HSE	135	32 Wroxall Road, Dagenham, Barking And Dagenham, RM9 4NJ	Refused	Erection of a Two storey side extension	13/05/2020	Q21. Householder developments	08/07/2020	17/07/2020	Kathryn McAllister	Angela Lopez
	20/01071/AOD	136	Barking Riverside Development Site River Road, Barking, Barking And Dagenham,	Condition(s) Fully Discharged	Application for approval of details reserved by condition 47 (Geotechnical and Geoenvironmental Interpretive Report)& 48 (Quantitative Risk Assessment fro controlled Waters) in respect of planning permission 08/00887/FUL for Plots 201, 202A, 202B, 202C and 203 within Stage 2 North of the Barking Riverside site	07/05/2020	AOD - Application for approval of details reserved by condition	02/07/2020	27/10/2020	Nasser Farooq	Angela Lopez
	20/01072/AOD	137	Abbey Sports Centre, Abbey Sports Centre, Barking, Barking And Dagenham, IG11 7LX	Condition(s) Fully Discharged	Application for approval of details reserved by condition 7 (Construction Environmental Management Plan and Site Waste Management Plan, condition 8 (Construction Logistics Plan) and 35 (Bat Surveys) in respect of planning permission 18/00331/FUL.	15/05/2020	AOD - Application for approval of details reserved by condition	10/07/2020	28/07/2020	Kathryn McAllister	Angela Lopez
	20/01075/FULL	138	277a Wood Lane, Dagenham, Barking And Dagenham, RM8 3NH	Refused	Erection of a Part first floor rear extension and Conversion of three-bedroom first floor flat into 2-bed flat and second floor studio flat.	13/05/2020	Q13. MINOR Dwellings	08/07/2020	17/07/2020	Kathryn McAllister	Angela Lopez
	20/01077/PRICOM	139	Abbey Road, Barking, IG11 7BZ	Prior Approval Refused	Proposed telecommunications installation: Proposed 20m Phase 8 Monopole C/W wraparound Cabinet at base and associated ancillary works	14/05/2020	PRICOM - Prior Approval: Development for electronic communications network	09/07/2020	08/07/2020	Kathryn McAllister	Angela Lopez
	20/01079/CLUP	140	86 Oulton Crescent, Barking, Barking And Dagenham, IG11 9HF	Lawful (Certificate)	Certificate of Lawfulness for a Proposed Development - Loft Conversion	26/05/2020	CLUP - Lawful development: Proposed use	21/07/2020	17/07/2020	Kathryn McAllister	Angela Lopez
	20/01081/FULL	141	C & Select Beds & Furniture, 685 Green Lane, Dagenham, Barking And Dagenham, RM8 1UU	Refused	Change of use from A1 to A3/A5 (pizza takeaway with eat in facilities) and an Erection of a 15m x 3.5m single storey rear extension for use as a storage room	29/05/2020	Q16. MINOR Retail and service	24/07/2020	24/07/2020	Vineeta Sharma	Angela Lopez
	20/01083/CLUE	142	The Beaver Centre Selinas Lane, Dagenham, Barking And Dagenham, RM8 1QH	Lawful (Certificate)	Application for a certificate of lawfulness for an existing use: Seeking to confirm that works in relation to Planning Application 17/01259/FUL have commenced.	19/05/2020	CLUE - Lawful development: Existing use	14/07/2020	09/07/2020	Grace Liu	Angela Lopez
	20/01084/FULL	143	140 Arden Crescent, Dagenham, Barking And Dagenham, RM9 4SA	Refused	Conversion of existing dwelling house into two 1x bedroom flats.	02/09/2020	Q13. MINOR Dwellings	28/10/2020	27/10/2020	Kathryn McAllister	Angela Lopez
	20/01086/FULL	144	Massala Parlour, 445 Porters Avenue, Dagenham, Barking And Dagenham, RM9 4ND	Approved	Conversion of existing 3-Bedroom Dwelling into 1No. 1 Bedroom Flat and 1No. 2 Bedroom Flat. Including, Loft Conversion with 2No. Front roof lights & installation of a Rear Dormer.	06/06/2020	Q13. MINOR Dwellings	01/08/2020	31/07/2020	Vineeta Sharma	Angela Lopez
	20/01087/FULL	145	197a Hunters Hall Road, Barking And Dagenham, RM10 8LH	Refused	Erection of outbuilding in rear garden	01/06/2020	Q13. MINOR Dwellings	27/07/2020	22/07/2020	Lauren Carroll	Angela Lopez
	20/01090/CLUP	146	62 Beccles Drive, Barking, Barking And Dagenham, IG11 9HY	Lawful (Certificate)	Application for a Certification of Lawfulness for a Proposed Development - Loft Conversion and Erection of a Single Storey Side Extension with a flat roof	27/05/2020	CLUP - Lawful development: Proposed use	22/07/2020	10/07/2020	Vineeta Sharma	Angela Lopez
	20/01091/CLUE	147	538 Heathway, Dagenham, Barking And Dagenham, RM10 7RU	Lawful (Certificate)	Certificate of Lawfulness for an Existing Development - Loft Conversion	28/05/2020	CLUE - Lawful development: Existing use	23/07/2020	21/07/2020	Kathryn McAllister	Angela Lopez
	20/01098/HSE	148	18 Verney Gardens, Dagenham, Barking And Dagenham, RM9 5LR	Refused	ERECTOR OF TWO STOREY SIDE & REAR EXTENSION AND GROUND FLOOR FRONT EXTENSION.	19/05/2020	Householder	14/07/2020	21/07/2020	Kathryn McAllister	Angela Lopez
	20/01099/CLUE	149	74 Oxlow Lane, Dagenham, Barking And Dagenham, RM9 5XD	Not Lawful (Certificate)	Application for a certificate of lawfulness for a Existing development: Loft conversion involving the construction of a rear dormer window, hip to gable roof and installation of two front rooflights.	20/05/2020	CLUE - Lawful development: Existing use	15/07/2020	15/07/2020	Kathryn McAllister	Angela Lopez
	20/01100/CLUP	150	104 Ballard's Road, Dagenham, Barking And Dagenham, RM10 9AB	Lawful (Certificate)	Application for a Certificate of Lawfulness for a Proposed Development - Loft Conversion including a Rear Dormer	19/06/2020	CLUP - Lawful development: Proposed use	14/08/2020	24/07/2020	Cari Jones	Ela King
	20/01101/PRIEXT	151	76 Saville Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6DT	Prior Approval Not Required	Application for prior approval of proposed single storey rear extension (depth: 6.0 metres; height to eaves: 3.0 metres and maximum height: 3.0 metres)	01/06/2020	PRIEXT - Prior Approval: Larger Home Extension	13/07/2020	03/07/2020	Kathryn McAllister	Lauren Carroll
	20/01104/PRIEXT	152	37 Finnymore Road, Dagenham, Barking And Dagenham, RM9 6JD	Prior Approval Not Required	Application for prior approval of proposed single storey rear extension (depth: 3.70 metres; height to eaves: 3.00 metres and maximum height: 3.70 metres).	28/05/2020	PRIEXT - Prior Approval: Larger Home Extension	09/07/2020	03/07/2020	Kathryn McAllister	Lauren Carroll
	20/01105/PRIEXT	153	50 Stanhope Road, Dagenham, Barking And Dagenham, RM8 3DJ	Prior Approval Not Required	Application for prior approval of proposed single storey rear extension (depth: 6.00 metres; height to eaves: 2.80 metres and maximum height: 3.00 metres).	28/05/2020	PRIEXT - Prior Approval: Larger Home Extension	09/07/2020	03/07/2020	Kathryn McAllister	Lauren Carroll

	20/01106/HSE	154	6 Alibon Road, Dagenham, Barking And Dagenham, RM9 5QU	Refused	Demolition of existing garage and an erection of a two storey side extension including Part ground & first floor rear extension	19/05/2020	Q21. Householder developments	14/07/2020	17/07/2020	Kathryn McAllister	Angela Lopez
	20/01107/PRICOM	155	High View House, London, RM6 5NT	Prior Approval Granted	Erection of 6 No. pole mounted antennas, at a height of 6.5 metres from the main roof level overall height to top of antennas 53.10 metres	18/05/2020	PRICOM - Prior Approval: Development for electronic communications network	13/07/2020	10/07/2020	Kathryn McAllister	Angela Lopez
	20/01109/FULL	156	90 Upney Lane, Barking, Barking And Dagenham, IG11 9LR	Refused	Proposed reconfiguration of residential property into 3 no. Self-contained flats. Associated refuse/recycling and cycle provision.	20/05/2020	Q13. MINOR Dwellings	15/07/2020	15/07/2020	Kathryn McAllister	Angela Lopez
	20/01111/PRIEXT	157	660 Longbridge Road, Dagenham, Barking And Dagenham, RM8 2AJ	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The details submitted are as follows: The proposed extension will extend beyond the rear wall by 6.0m, The maximum height of the proposed extension from the natural ground level is 4.0m, The height at eaves level of the proposed extension measured from the natural ground level is 3.0m	01/06/2020	PRIEXT - Prior Approval: Larger Home Extension	13/07/2020	03/07/2020	Kathryn McAllister	Angela Lopez
	20/01113/AOD	158	Former Site Of Assembly Plant, Beam Park Development Site Thames Avenue, Dagenham, Barking And Dagenham,	Condition(s) Partially Discharged	Application for approval of details reserved by condition 74 (Positioning of Crane's) in respect of Phase 2 only of planning permission 19/01241/OUT	29/05/2020	AOD - Application for approval of details reserved by condition	24/07/2020	08/09/2020	Grace Liu	Angela Lopez
	20/01114/NONMATT	159	Gascoigne Estate West Abbey Road, Barking, Barking And Dagenham,	Approved	Application for non-material amendment following grant of planning permission 19/01321/REM: Amendment to drawings listed in Condition (1) of application 19/01321/REM proposing a number of changes including the following: • Alterations to balcony locations, • Alterations to internal layouts to correspond to the above • Revised windows to reflect brick dimensions • Internal layout changes • Balustrade replaced with metal railings • Enlarged cycle store in Block C • replacement of hit and miss brickwork with metal perforated screen • Replacement deck access balustrade with metal plate and decorative railing	20/05/2020	NONMAT - Non-material amendment following a grant of planning permission	17/06/2020	08/07/2020	Nasser Farooq	Angela Lopez
	20/01115/AOD	160	London East Business And Technical Park Yewtree Avenue, Dagenham, Barking And Dagenham,	Condition(s) Partially Discharged	Application for approval of details reserved by condition 1 (Decommissioning and staged removal of the Permeable Reactive Barrier) in respect of planning permission 16/01017/FUL for PHASE 1	28/05/2020	AOD - Application for approval of details reserved by condition	23/07/2020	07/09/2020	Nasser Farooq	Angela Lopez
	20/01116/FULL	161	169 Hardie Road, Dagenham, Barking And Dagenham, RM10 7BT	Refused	ERECTION OF A NEW TWO STOREY TWO-BEDROOM END TERRACE DWELLING HOUSE.	13/08/2020	Q13. MINOR Dwellings	08/10/2020	05/10/2020	Kathryn McAllister	Angela Lopez
	20/01117/AOD	162	Former Site Of Assembly Plant, Beam Park Development Site Thames Avenue, Dagenham, Barking And Dagenham,	Condition(s) Partially Discharged	Application for partial discharge of details reserved by condition 54 (Piling Methodology) in relation to Phase 2 only in respect of planning permission 19/01241/OUT	29/05/2020	AOD - Application for approval of details reserved by condition	24/07/2020	25/08/2020	Grace Liu	Angela Lopez
	20/01118/FULL	163	19 Dawson Avenue, Barking, Barking And Dagenham, IG11 9PX	Refused	Erection of an outbuilding for the use of main dwelling residents only	25/05/2020	Q21. Householder developments	20/07/2020	17/07/2020	Vineeta Sharma	Angela Lopez
	20/01123/PRIEXT	164	84 Dunkeld Road, Dagenham, Barking And Dagenham, RM8 2PT	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 2.50 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.25 metres.	03/06/2020	PRIEXT - Prior Approval: Larger Home Extension	15/07/2020	06/07/2020	Kathryn McAllister	Lauren Carroll
	20/01124/HSE	165	61 Western Avenue, Dagenham, Barking And Dagenham, RM10 8UD	Refused	Alterations and enlargement of existing front porch	03/06/2020	Q21. Householder developments	29/07/2020	24/07/2020	Lauren Carroll	Lauren Carroll
	20/01125/FULL	166	43 Basedale Road, Dagenham, Barking And Dagenham, RM9 4QA	Refused	Erection of a Proposed two bedroom dwelling house on land adjacent	03/06/2020	Q13. MINOR Dwellings	29/07/2020	27/07/2020	Kathryn McAllister	Angela Lopez
	20/01126/FULL	167	104 Chelmer Crescent, Barking, Barking And Dagenham, IG11 0QA	Refused	Erection of single storey rear extension to be used as conservatory; conversion of existing dwelling into 1x one bed flat and 2x two bed flats; addition of an external staircase at the rear; minor alteration to windows to the rear of the property.	06/08/2020	Q13. MINOR Dwellings	01/10/2020	29/09/2020	Orla Bermingham	Ela King
	20/01127/FULL	168	1 Baron Road, Dagenham, Barking And Dagenham, RM8 1UB	Approved	Erection of two 2 Bedroom Houses and modifications to the roof of the existing house.	04/06/2020	Q13. MINOR Dwellings	30/07/2020	11/08/2020	Kathryn McAllister	Angela Lopez
	20/01129/CLUP	169	149 Campden Crescent, Dagenham, Barking And Dagenham, RM8 2SJ	Lawful (Certificate)	Application for a Certificate of Lawfulness - Proposed Use: Loft Conversion, including installation of a Rear Dormer	21/05/2020	CLUP - Lawful development: Proposed use	16/07/2020	06/07/2020	Kathryn McAllister	Lauren Carroll
	20/01131/PRIEXT	170	41 Orchard Road, Dagenham, Barking And Dagenham, RM10 9PT	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The details submitted are as follows: The proposed extension will extend beyond the rear wall by 4.50m, The maximum height of the proposed extension from the natural ground level is 3.04m, The height at eaves level of the proposed extension measured from the natural ground level is 2.70m	27/05/2020	PRIEXT - Prior Approval: Larger Home Extension	08/07/2020	03/07/2020	Kathryn McAllister	Angela Lopez
	20/01132/CLUP	171	6 Trefarne Road, Dagenham, Barking And Dagenham, RM10 7QS	Lawful (Certificate)	Erection of a Single Storey Front, Side and Rear Extensions	01/06/2020	CLUP - Lawful development: Proposed use	27/07/2020	10/07/2020	Orla Bermingham	Angela Lopez
	20/01133/AOD	172	Building No D35b, Aventis Pharma Rainham Road South, Dagenham, Barking And Dagenham, RM10 7XS	Condition(s) Fully Discharged	Application for approval of details reserved by condition 3 (Details of External Materials) in relation to planning permission 19/01369/FUL	15/06/2020	AOD - Application for approval of details reserved by condition	10/08/2020	24/07/2020	Grace Liu	Ela King
	20/01135/FULL	173	Vacant Land Adjoining Unit 13, Riverside Industrial Estate, Thames Road, Barking, IG11 0ND	Approved	Erection of new industrial building	16/07/2020	Q15. MINOR General industry / storage / warehousing	10/09/2020	08/09/2020	Nasser Farooq	Angela Lopez
	20/01136/FULL	174	59 Harrow Road, Barking, Barking And Dagenham, IG11 7QZ	Refused	Change of Use. HMO conversion from a single dwelling house (C3) to multiple occupancies (C4)	12/06/2020	Q20. Change of use	07/08/2020	05/08/2020	Kathryn McAllister	Angela Lopez
	20/01137/HSE	175	15 Tenby Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6NB	Refused	Demolition of the existing extension and erection of single storey rear extension.	24/07/2020	Q21. Householder developments	18/09/2020	14/09/2020	Lauren Carroll	Angela Lopez
	20/01138/CLUP	176	36 Greenway, Dagenham, Barking And Dagenham, RM8 1UL	Lawful (Certificate)	Application for a Certificate of Lawfulness for a Proposed Development - Outbuilding to the rear of the house (Ancillary to main house)	04/06/2020	CLUP - Lawful development: Proposed use	30/07/2020	24/07/2020	Vineeta Sharma	Angela Lopez
	20/01140/AOD	177	Trinity School, School Site Heathway, Dagenham, Barking And Dagenham, RM10 7SJ	Condition(s) Fully Discharged	Application for approval of details reserved by condition 6 (Drainage Scheme) in relation to planning permission 19/01587/FUL	01/06/2020	AOD - Application for approval of details reserved by condition	27/07/2020	31/07/2020	Kathryn McAllister	Angela Lopez
	20/01141/FULL	178	Springs News, 678 Rainham Road South, Dagenham, Barking And Dagenham, RM10 8YS	Approved	Change of use from A1 to A3 (Restaurants and Cafe's).	23/05/2020	Q20. Change of use	18/07/2020	21/07/2020	Kathryn McAllister	Angela Lopez
	20/01142/FULL	179	68 Central Park Avenue, Dagenham, Barking And Dagenham, RM10 7BU	Refused	Conversion of the single dwelling into two 2x bedroom self-contained apartments on two floors.	26/08/2020	Q18. MINOR All other developments	21/10/2020	20/10/2020	Kathryn McAllister	Angela Lopez
	20/01143/HSE	180	2 Stamford Gardens, Dagenham, Barking And Dagenham, RM9 4ET	Refused	Erection of single storey and part two storey rear extension	26/05/2020	Q21. Householder developments	21/07/2020	18/07/2020	Lauren Carroll	Angela Lopez
	20/01144/ADVERT	181	Spar At Texaco Petrol Station, Barking, IG11 0TT	Refused	Replacement of internally illuminated advertisement board with a double - sided digital illuminated advert.	28/05/2020	Q22. Advertisements	23/07/2020	10/08/2020	Harry Moorhouse	Angela Lopez
	20/01145/HSE	182	65 Keppel Road, Dagenham, Barking And Dagenham, RM9 5LU	Refused	first-floor wrap-around extension	28/05/2020	Q21. Householder developments	23/07/2020	17/07/2020	Orla Bermingham	Angela Lopez
	20/01146/AOD	183	Ford Motor Company Estate, Assembly Plant, Thames Avenue, Dagenham, RM9 6SA	Condition(s) Partially Discharged	Application for approval of details reserved by condition 34 (Protection of the tree roots and the provision of permeable surfaces) for Beam Park Phase 2 in respect of planning permission 19/01241/OUT	29/05/2020	AOD - Application for approval of details reserved by condition	24/07/2020	02/11/2020	Grace Liu	Angela Lopez
	20/01147/AOD	184	Former Site Of Assembly Plant, Beam Park Development Site Thames Avenue, Dagenham, Barking And Dagenham,	Condition(s) Partially Discharged	Application for approval of details for the partial discharge of condition 61 (Construction Management Plan, Wrap Lite SWMP and Site Waste Management Plans) for Beam Park Phase 2b only in respect of planning permission 19/01241/OUT	29/05/2020	AOD - Application for approval of details reserved by condition	24/07/2020	11/09/2020	Grace Liu	Angela Lopez
	20/01148/FULL	185	66 Burdetts Road, Dagenham, Barking And Dagenham, RM9 6XY	Refused	Erection of a 2 bedroom dwelling on vacant plot at the end of terrace	12/06/2020	Q13. MINOR Dwellings	07/08/2020	31/07/2020	Lauren Carroll	Lauren Carroll
x	20/01149/PRIEXT	186	253 Grafton Road, Dagenham, Barking And Dagenham, RM8 1QP	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	07/06/2020	PRIEXT - Prior Approval: Larger Home Extension	19/07/2020	16/07/2020	Kathryn McAllister	Angela Lopez
	20/01150/CLUP	187	73 Manor Road, Dagenham, Barking And Dagenham, RM10 8BB	Lawful (Certificate)	Application for a Certificate of Lawfulness - Proposed Use: Erection of a Single Storey Outbuilding	02/06/2020	CLUP - Lawful development: Proposed use	28/07/2020	21/07/2020	Cari Jones	Angela Lopez
	20/01151/PRICOM	188	4-82 Gosfield Road, Becontree, RM10 7JE	Prior Approval Refused	The installation of 6no. antennas on 3no. 3.4m high support poles at an overall height of 18.7m agl, the installation of 1no. 600mm and 1no. 300mm microwave dishes, the installation of 3no. equipment cabinets and ancillary equipment thereto.	01/06/2020	PRICOM - Prior Approval: Development for electronic communications network	27/07/2020	10/08/2020	Harry Moorhouse	Angela Lopez
	20/01152/FULL	189	38 Lynnett Road, Dagenham, Barking And Dagenham, RM8 1RL	Refused	Erection of a new two storey three-bedroom end of terrace dwelling house.	09/07/2020	Q13. MINOR Dwellings	03/09/2020	25/08/2020	Cari Jones	Ela King
	20/01153/HSE	190	18 Upney Lane, Barking, Barking And Dagenham, IG11 9LW	Approved	Erection of a Front Porch Extension, Conversion of garage to a habitable room, Part double storey side extension and a double storey rear extension for 18 & 20 Upney Lane	04/06/2020	Q13. MINOR Dwellings	30/07/2020	30/07/2020	Kathryn McAllister	Angela Lopez

20/01154/AOD	191	Abbey Retail Park Abbey Road, Barking, Barking And Dagenham,	Condition(s) Fully Discharged	Application for approval of details reserved by condition 44 (Deliveries Plan) in relation to planning permission 15/01635/FUL	04/06/2020	AOD - Application for approval of details reserved by condition	30/07/2020	29/09/2020	Olivia St-Amour	Angela Lopez
20/01156/HSE	192	24 Hewett Road, Dagenham, Barking And Dagenham, RM8 2XT	Refused	Erection of a 1st Floor Side Extension and installation of a new 1X1 window at the Front	05/06/2020	Q13. MINOR Dwellings	31/07/2020	27/07/2020	Cari Jones	Angela Lopez
20/01157/AOD	193	Grays Court Hospital John Parker Close, Dagenham, Barking And Dagenham, RM10 9SR	Condition(s) Fully Discharged	Application for approval of details reserved by condition 3 (Boundary Treatment) in relation to planning permission 19/01486/FUL	05/06/2020	AOD - Application for approval of details reserved by condition	31/07/2020	11/08/2020	Kathryn McAllister	Angela Lopez
20/01158/HSE	194	172 Woodward Road, Dagenham, Barking And Dagenham, RM9 4SU	Approved	Erection of a Single storey rear extension and loft conversion with rear dormer window. Resubmission (20/00381/FUL)	05/06/2020	Q13. MINOR Dwellings	31/07/2020	23/07/2020	Orla Bermingham	Angela Lopez
20/01159/CLUP	195	15 Wadeville Avenue, Chadwell Heath, Romford, Barking And Dagenham, RM6 6HA	Lawful (Certificate)	Application for a Certificate of Lawfulness for a Proposed Development - Hip to gable loft conversion with rear dormer and velux windows to the front	06/06/2020	CLUP - Lawful development: Proposed use	01/08/2020	23/07/2020	Harry Moorhouse	Angela Lopez
20/01160/HSE	196	24 Hewett Road, Dagenham, Barking And Dagenham, RM8 2XT	Refused	Erection of a Single Storey side Extension	07/06/2020	Q13. MINOR Dwellings	02/08/2020	31/07/2020	Lauren Carroll	Lauren Carroll
20/01161/CLUP	197	8 Longhays Avenue, Chadwell Heath, Romford, Barking And Dagenham, RM6 5HD	Lawful (Certificate)	Application for a Certificate of Lawfulness for a Proposed Development - Erection of a Ground Floor Extension (3m depth) with two roof lights, on the flat roof, loft conversion, installation of a rear dormer and two roof lights to the front of the dwelling	16/06/2020	CLUP - Lawful development: Proposed use	11/08/2020	31/07/2020	Harry Moorhouse	Ela King
20/01162/HSE	198	17 Stockdale Road, Dagenham, Barking And Dagenham, RM8 3PS	Approved	Conversion of flat roof to pitched roof	01/06/2020	Q21. Householder developments	27/07/2020	10/07/2020	Cari Jones	Angela Lopez
20/01163/CLUP	199	Ripple News, 36 Ripple Road, Barking, Barking And Dagenham, IG11 7PG	Lawful (Certificate)	The Money Transfer Business, which is ancillary to the main A1 use, is classified under Schedule A2 (Financial and Professional Services). This ancillary business has been in existence for a period exceeding 13 years.	25/06/2020	CLUP - Lawful development: Proposed use	20/08/2020	27/07/2020	Cari Jones	Angela Lopez
20/01164/HSE	200	87 Cartwright Road, Dagenham, Barking And Dagenham, RM9 6JJ	Approved	Erection of single storey rear extension	02/06/2020	Q21. Householder developments	28/07/2020	24/07/2020	Vineeta Sharma	Angela Lopez
20/01165/HSE	201	217 Padnall Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 5EP	Approved	Demolition of existing garage and erection of new garage with a pitched roof to match existing roof level.	03/06/2020	Q21. Householder developments	29/07/2020	23/07/2020	Harry Moorhouse	Angela Lopez
20/01166/HSE	202	122 St Georges Road, Dagenham, Barking And Dagenham, RM9 5JB	Refused	Double storey side extension (including extension forward of the front elevation at ground floor level to incorporate a porch) and single storey rear extension.	04/06/2020	Q21. Householder developments	30/07/2020	23/07/2020	Orla Bermingham	Angela Lopez
20/01168/FULL	203	816 Rainham Road South, Dagenham, Barking And Dagenham, RM10 8AE	Refused	PROPOSED CONVERSION OF EXISTING FOUR BEDROOM SEMI DETACHED HOUSE INTO 2No. FLATS (1 x ONE BEDROOM AND 1 x TWO BEDROOM), INCLUDING SINGLE STOREY FRONT AND SIDE EXTENSIONS.	17/06/2020	Q13. MINOR Dwellings	12/08/2020	12/08/2020	Vineeta Sharma	Angela Lopez
20/01169/HSE	204	98 Maplestead Road, Dagenham, Barking And Dagenham, RM9 4XT	Approved	Alteration to the front house, including bin storage relocation and installation of a double glazed window.	05/06/2020	Q21. Householder developments	31/07/2020	22/07/2020	Cari Jones	Angela Lopez
20/01170/HSE	205	15 Wadeville Avenue, Chadwell Heath, Romford, Barking And Dagenham, RM6 6HA	Approved	Construction of a front dormer window.	08/06/2020	Q21. Householder developments	03/08/2020	27/07/2020	Orla Bermingham	Angela Lopez
20/01171/HSE	206	72 Farmway, Dagenham, Barking And Dagenham, RM8 2SP	Approved	Loft conversion involving the construction of a rear dormer window and hip to gable.	08/06/2020	Q21. Householder developments	03/08/2020	31/07/2020	Lauren Carroll	Angela Lopez
20/01172/FULL	207	Brush Strokes, 16 - 18 Whalebone Lane South, Dagenham, Barking And Dagenham, RM8 1BJ	Approved	Change of use from A1 (retail) to A3 (restaurant) and installation of an external flue to north flank elevation.	29/05/2020	Q20. Change of use	24/07/2020	23/07/2020	Kathryn McAllister	Angela Lopez
20/01173/HSE	208	54 Rowlands Road, Dagenham, Barking And Dagenham, RM8 3DS	Approved	Erection of a Bike storage shed in front garden	08/06/2020	Q21. Householder developments	03/08/2020	09/07/2020	Grace Liu	Angela Lopez
20/01174/CLUP	209	26 East Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6XP	Lawful (Certificate)	Application for a Certificate of Lawfulness for a Proposed Development - Erection of an Outbuilding	08/06/2020	CLUP - Lawful development: Proposed use	03/08/2020	22/07/2020	Lauren Carroll	Lauren Carroll
20/01176/PRIEXT	210	172 Woodward Road, Dagenham, Barking And Dagenham, RM9 4SU	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 2.40 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.20 metres.	05/06/2020	PRIEXT - Prior Approval: Larger Home Extension	17/07/2020	10/07/2020	Kathryn McAllister	Angela Lopez
20/01177/CLUP	211	1 Rose Glen, Rush Green, Romford, Barking And Dagenham, RM7 0SL	Lawful (Certificate)	Application for a Certification of Lawfulness for a Proposed Development - Loft Conversion with Rear Dormer, Front Roof Lights and Hip to Gable End Roof alteration	10/06/2020	CLUP - Lawful development: Proposed use	05/08/2020	23/07/2020	Orla Bermingham	Ela King
20/01178/AOD	212	London East Business And Technical Park Yewtree Avenue, Dagenham, Barking And Dagenham,	Condition(s) Fully Discharged	Application for approval of details reserved by condition 22 (Travel Plan) in respect of planning permission 18/00161/FUL	08/06/2020	AOD - Application for approval of details reserved by condition	03/08/2020	14/07/2020	Nasser Farooq	Angela Lopez
20/01179/PRICOM	213	Ballards Road, Dagenham , RM10 9AJ	Prior Approval Granted	Proposed telecommunications installation: Proposed 20m Phase 8 Monopole C/W wraparound Cabinet at base and associated ancillary works	10/06/2020	PRICOM - Prior Approval: Development for electronic communications network	05/08/2020	24/07/2020	Harry Moorhouse	Ela King
20/01180/FULL	214	225a Oxlow Lane, Dagenham, Dagenham, RM10 7YA	Approved	Loft conversion involving the construction of a rear dormer window and two front rooflights.	08/06/2020	Q13. MINOR Dwellings	03/08/2020	23/07/2020	Orla Bermingham	Angela Lopez
20/01181/HSE	215	2 Havering Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 5AA	Approved	Demolition of existing conservatory and erection of a ground floor single storey front, double storey side and part single, part double storey rear extension, installation of two roof lights at the rear and conversion of garage into a habitable room.	08/06/2020	Q21. Householder developments	03/08/2020	24/07/2020	Harry Moorhouse	Angela Lopez
20/01182/HSE	216	31 Sedgemoor Drive, Dagenham, Barking And Dagenham, RM10 7JL	Approved	Erection of two storey side and rear extension and installation of a new front window and door	08/06/2020	Q21. Householder developments	03/08/2020	31/07/2020	Vineeta Sharma	Angela Lopez
20/01183/HSE	217	23 Bainbridge Road, Dagenham, Barking And Dagenham, RM9 5UJ	Approved	Erection of two storey side and single storey front extension.	09/06/2020	Q21. Householder developments	04/08/2020	27/07/2020	Orla Bermingham	Angela Lopez
20/01184/HSE	218	119 Tilney Road, Dagenham, Barking And Dagenham, RM9 6HS	Approved	Erection of single storey rear extension	09/06/2020	Q21. Householder developments	04/08/2020	31/07/2020	Lauren Carroll	Angela Lopez
20/01187/CLUP	219	86 Ellerton Road, Dagenham, RM9 4HR	Lawful (Certificate)	Application for a Certification of lawfulness for a Proposed Development - Loft Conversion with two side dormer windows	11/06/2020	CLUP - Lawful development: Proposed use	06/08/2020	23/07/2020	Harry Moorhouse	Ela King
20/01188/AOD	220	Former Site Of Assembly Plant, Beam Park Development Site Thames Avenue, Dagenham, Barking And Dagenham,	Condition(s) Partially Discharged	Application for partial approval of details reserved by condition 22 (Refuse Strategy) in relation to Phase 2 of planning permission 19/01241/OUT	10/06/2020	AOD - Application for approval of details reserved by condition	05/08/2020	09/10/2020	Grace Liu	Angela Lopez
20/01189/AOD	221	Former Site Of Assembly Plant, Beam Park Development Site Thames Avenue, Dagenham, Barking And Dagenham,	Condition(s) Partially Discharged	Application for approval of details reserved by condition 14 (Cycle Parking) in relation to Phase 2 (buildings N, S and Z) of planning permission 19/01241/OUT	10/06/2020	AOD - Application for approval of details reserved by condition	05/08/2020	15/12/2020	Grace Liu	Angela Lopez
20/01190/HSE	222	358 Becontree Avenue, Dagenham, Barking And Dagenham, RM8 2TL	Refused	Erection of a 1st Floor Side & Rear Extension	09/06/2020	Q21. Householder developments	04/08/2020	23/07/2020	Harry Moorhouse	Angela Lopez
20/01191/HSE	223	4 Whiting Avenue, Barking, Barking And Dagenham, IG11 8JH	Refused	Erection of a Rear Extension	09/06/2020	Q21. Householder developments	04/08/2020	28/07/2020	Vineeta Sharma	Angela Lopez
20/01192/HSE	224	67 Bell Farm Avenue, Dagenham, Barking And Dagenham, RM10 7BB	Refused	Erection of a 1st Floor Rear Extension	09/07/2020	Q21. Householder developments	03/09/2020	24/08/2020	Orla Bermingham	Ela King
20/01193/FULL	225	47, 47a, 47b, 47c Flat, Thornhill Gardens, Barking, IG11 9TX	Refused	Erection of a Two Storey Side Extension, Part Single Storey/Two Storey Rear Extension, Loft Conversion including a Rear Dormer & 3No. Sky Lights and Conversion of 3 Studio Flats and 1x1 Bedroom flat into 4No. 1 Bedroom Flats	02/07/2020	Q13. MINOR Dwellings	27/08/2020	25/08/2020	Vineeta Sharma	Ela King
20/01194/PRIEXT	226	144 Manor Road, Dagenham, Barking And Dagenham, RM10 8BJ	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.20 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	12/06/2020	PRIEXT - Prior Approval: Larger Home Extension	24/07/2020	21/07/2020	Vineeta Sharma	Ela King
20/01195/CLUP	227	144 Manor Road, Dagenham, Barking And Dagenham, RM10 8BJ	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development : Erection of outbuilding in the rear garden	11/06/2020	CLUP - Lawful development: Proposed use	06/08/2020	24/07/2020	Vineeta Sharma	Angela Lopez
20/01197/PRICOM	228	Rainham Road South, Dagenham, RM10 8AH	Prior Approval Granted	Proposed telecommunications installation: Proposed Phase 8 Monopole C/W wraparound Cabinet at base and associated ancillary works.	11/06/2020	PRICOM - Prior Approval: Development for electronic communications network	06/08/2020	31/07/2020	Harry Moorhouse	Angela Lopez
20/01198/PRICOM	229	Whalebone Lane South, Becontree Heath, Becontree, London, RM8 1at, Becontree, RM8 1AT	Prior Approval Granted	Proposed telecommunications installation: of 15 m Phase 8 Monopole C/W wraparound Cabinet at base and associated ancillary works.	11/06/2020	PRICOM - Prior Approval: Development for electronic communications network	06/08/2020	25/08/2020	Harry Moorhouse	Angela Lopez
20/01199/FULL	230	Ladbroke Bookmakers, 213 High Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6NY	Refused	Change of Use from A3 (Restaurants and Cafes) with ancillary A5 to A5 (Hot foods takeaway)	11/06/2020	Q20. Change of use	06/08/2020	04/08/2020	Cari Jones	Angela Lopez
20/01201/CLUP	231	64 Galleons Drive, Barking, Barking And Dagenham, IG11 0GU	Lawful (Certificate)	Application for a Certification of Lawfulness for a Proposed Development - Combining 2 existing structural openings in the external wall that form a ground floor double door and window to the rear elevation to form a single structural opening	11/06/2020	CLUP - Lawful development: Proposed use	06/08/2020	23/07/2020	Cari Jones	Ela King
20/01202/S106	232	Job Centre Plus Chequers Lane, Dagenham, Barking And Dagenham, RM9 6PS	Approved	Deed of Variation to S106 approved under 19/01724/FUL	11/06/2020	Q18. MINOR All other developments	06/08/2020	23/07/2020	Nasser Farooq	Nasser Farooq
20/01203/AOD	233	Merrields Development Site, Barking And Dagenham ,	Refused	Application for approval of details reserved by condition 27 (Delivery & Servicing Plan) in relation to planning permission 17/02111/FUL	12/06/2020	AOD - Application for approval of details reserved by condition	07/08/2020	15/12/2020	Grace Liu	Ela King
20/01204/FULL	234	30 Dewey Road, Dagenham, Barking And Dagenham, RM10 8AR	Refused	Change of use - C3 Dwelling house to C4 HMO	14/07/2020	Q13. MINOR Dwellings	08/09/2020	01/09/2020	Cari Jones	Ela King
20/01205/FULL	235	Unit 3b, Merrields Retail Park, Ripple Road, Barking And Dagenham , RM9 6SJ	Approved	Use of Unit 3B for unrestricted retail sales (Class A1)	12/06/2020	Q16. MINOR Retail and service	07/08/2020	31/07/2020	Vineeta Sharma	Angela Lopez
20/01206/HSE	236	113 Great Cullings, Rush Green, Romford, Barking And Dagenham, RM7 0YP	Refused	Erection of part two storey/part single storey rear extension	12/06/2020	Q21. Householder developments	07/08/2020	06/08/2020	Vineeta Sharma	Angela Lopez
20/01207/HSE	237	40 Bakery Close, Romford, Barking And Dagenham, RM6 5AN	Refused	Construction of a first floor rear balcony	12/06/2020	Q21. Householder developments	07/08/2020	31/07/2020	Cari Jones	Angela Lopez

20/01208/FULL	238	149 Alibon Road, Dagenham, Barking And Dagenham, RM10 8DE	Refused	Demolition of existing garage and erection of two storey, three bedroom dwelling house including changes to the roof geometry of the existing dwelling, subdivision of front yard space and installation of cycle and refuse store.	31/07/2020	Q13. MINOR Dwellings	25/09/2020	18/09/2020	Kathryn McAllister	Angela Lopez
20/01209/HSE	239	40 Westrow Drive, Barking, Barking And Dagenham, IG11 9BJ	Refused	Erection of a first floor side extension	11/08/2020	Q21. Householder developments	06/10/2020	18/09/2020	Orla Bermingham	Ela King
20/01210/HSE	240	130 Waldegrave Road, Dagenham, Barking And Dagenham, RM8 2QJ	Approved	Erection of a ground floor rear single storey extension with flat roof and replacement of garage door with a window.	13/06/2020	Q21. Householder developments	08/08/2020	31/07/2020	Harry Moorhouse	Ela King
20/01211/HSE	241	29 Marston Avenue, Dagenham, Barking And Dagenham, RM10 7JX	Approved	Proposed Ground Floor Rear Extension.	18/06/2020	Q21. Householder developments	13/08/2020	31/07/2020	Orla Bermingham	Angela Lopez
20/01212/HSE	242	33 Keel Close, Barking, Barking And Dagenham, IG11 0XR	Approved	Conversion of existing garage into habitable room and erection of part side and rear extension.	15/06/2020	Q21. Householder developments	10/08/2020	10/08/2020	Lauren Carroll	Angela Lopez
20/01213/PRICOM	243	Lullington Road, Dagenham, RM9 6EJ	Prior Approval Refused	Proposed telecommunications installation: Proposed 20m Phase 8 Monopole C/W wraparound Cabinet at base and associated ancillary works	15/06/2020	PRICOM - Prior Approval: Development for electronic communications network	10/08/2020	31/07/2020	Harry Moorhouse	Angela Lopez
20/01214/PRIEXT	244	19 Longhayes Avenue, Chadwell Heath, Romford, Barking And Dagenham, RM6 5HB	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.00 metres. The maximum height of the proposed extension from the natural ground level is 3.36 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.97 metres.	02/07/2020	PRIEXT - Prior Approval: Larger Home Extension	13/08/2020	28/07/2020	Orla Bermingham	Ela King
20/01215/CLUP	245	D S T Output London Ltd, Evolution House, 12 Choats Road, Dagenham, Barking And Dagenham, RM9 6BF	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: installation of windows on west elevation	15/06/2020	CLUP - Lawful development: Proposed use	10/08/2020	23/07/2020	Lauren Carroll	Angela Lopez
20/01216/CLUP	246	27 Blake Avenue, Barking, Barking And Dagenham, IG11 9SQ	Lawful (Certificate)	Application for a Certificate of Lawfulness for a Proposed Development - Erection of a Front Porch	16/06/2020	CLUP - Lawful development: Proposed use	11/08/2020	23/07/2020	Harry Moorhouse	Ela King
20/01217/PRIEXT	247	25 Felhurst Crescent, Dagenham, Barking And Dagenham, RM10 7XT	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.0 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.	17/06/2020	PRIEXT - Prior Approval: Larger Home Extension	29/07/2020	22/07/2020	Cari Jones	Ela King
20/01218/PRIEXT	248	57 Lindisfarne Road, Dagenham, Barking And Dagenham, RM8 2QX	Lawful (Certificate)	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.50 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	08/06/2020	PRIEXT - Prior Approval: Larger Home Extension	20/07/2020	16/07/2020	Cari Jones	Angela Lopez
20/01219/PRIEXT	249	91 Hewett Road, Dagenham, Barking And Dagenham, RM8 2XS	Lawful (Certificate)	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	10/06/2020	PRIEXT - Prior Approval: Larger Home Extension	22/07/2020	16/07/2020	Cari Jones	Angela Lopez
20/01220/PRIEXT	250	33 Champness Road, Barking, Barking And Dagenham, IG11 9PD	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 5.50 metres. The maximum height of the proposed extension from the natural ground level is 2.80 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.80 metres.	10/06/2020	PRIEXT - Prior Approval: Larger Home Extension	22/07/2020	16/07/2020	Orla Bermingham	Angela Lopez
20/01221/PRIEXT	251	1 Rose Glen, Rush Green, Romford, Barking And Dagenham, RM7 0SL	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.85 metres.	10/06/2020	PRIEXT - Prior Approval: Larger Home Extension	22/07/2020	17/07/2020	Lauren Carroll	Lauren Carroll
20/01222/PRIEXT	252	7 Foxlands Road, Dagenham, Barking And Dagenham, RM10 8XU	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 2.70 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.70 metres.	10/06/2020	PRIEXT - Prior Approval: Larger Home Extension	22/07/2020	20/07/2020	Harry Moorhouse	Angela Lopez
20/01225/PRIEXT	253	15 Cranmer Gardens, Dagenham, Barking And Dagenham, RM10 7TJ	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	06/06/2020	PRIEXT - Prior Approval: Larger Home Extension	18/07/2020	16/07/2020	Kathryn McAllister	Angela Lopez
20/01226/CLUP	254	90 Thorntons Farm Avenue, Rush Green, Romford, Barking And Dagenham, RM7 0TS	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the construction of a rear dormer window, hip to gable end roof and installation of three front rooflights.	16/06/2020	CLUP - Lawful development: Proposed use	11/08/2020	23/07/2020	Cari Jones	Angela Lopez
20/01227/HSE	255	64 Beccles Drive, Barking, Barking And Dagenham, IG11 9HY	Refused	Erection of a two storey side and single storey/part first floor rear extensions.	08/07/2020	Q21. Householder developments	02/09/2020	28/08/2020	Vineeta Sharma	Angela Lopez
20/01228/HSE	256	11 Panyers Gardens, Dagenham, Barking And Dagenham, RM10 7FG	Refused	Erection of single storey rear extension	16/06/2020	Q21. Householder developments	11/08/2020	31/07/2020	Harry Moorhouse	Angela Lopez
20/01229/CLUP	257	536 Heathway, Dagenham, Barking And Dagenham, RM10 7RU	Lawful (Certificate)	Application for a Certificate of Lawfulness for a Proposed Development - Loft Conversion	17/06/2020	CLUP - Lawful development: Proposed use	12/08/2020	23/07/2020	Lauren Carroll	Lauren Carroll
20/01230/HSE	258	104 Lyndhurst Gardens, Barking, Barking And Dagenham, IG11 9XZ	Approved	Erection of single storey rear extension	16/06/2020	Q21. Householder developments	11/08/2020	11/08/2020	Vineeta Sharma	Angela Lopez
20/01231/HSE	259	104 Lyndhurst Gardens, Barking, Barking And Dagenham, IG11 9XZ	Approved	Demolition of front garden wall and erection of a front porches and rear extension. Loft conversion involving a construction of a rear dormer window and hip to gable roof alteration.	16/06/2020	Q21. Householder developments	11/08/2020	10/08/2020	Cari Jones	Angela Lopez
20/01233/PRIEXT	260	7 Legon Avenue, Rush Green, Romford, Barking And Dagenham, RM7 0UJ	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 3.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.80 metres.	17/06/2020	PRIEXT - Prior Approval: Larger Home Extension	29/07/2020	23/07/2020	Orla Bermingham	Ela King
20/01234/FULL	261	1, Hawkwell House, 2 Gosfield Road, Dagenham, Barking And Dagenham, RM8 1DN	Approved	The installation of one 0.9m and one 0.6m microwave dishes and wall mounted equipment cabinet.	17/06/2020	COM - Telecommunications notification	12/08/2020	11/08/2020	Cari Jones	Angela Lopez
20/01235/CLUP	262	78 Farmway, Dagenham, Barking And Dagenham, RM8 2SP	Not Lawful (Certificate)	Loft conversion involving the construction of a rear dormer window and hip to gable an installation of three front rooflights	16/06/2020	CLUP - Lawful development: Proposed use	11/08/2020	10/08/2020	Orla Bermingham	Angela Lopez
20/01236/HSE	263	83 Mill Lane, Chadwell Heath, Romford, Barking And Dagenham, RM6 6YH	Approved	Erection of a single storey rear extension	16/06/2020	Q21. Householder developments	11/08/2020	27/07/2020	Orla Bermingham	Angela Lopez
20/01237/FULL	264	689a Green Lane, Dagenham, Barking And Dagenham, RM8 1UU	Approved	Loft conversion involving the construction of rear dormer window, hip to gable end roof, and installation of two front rooflights.	17/06/2020	Q13. MINOR Dwellings	12/08/2020	11/08/2020	Orla Bermingham	Angela Lopez
20/01238/HSE	265	88 Western Avenue, Dagenham, Barking And Dagenham, RM10 8XH	Approved	Erection single storey side extension, rear conservatory, front porch and Loft conversion involving the construction of rear dormer window and hip to gable.	26/08/2020	Q21. Householder developments	21/10/2020	20/10/2020	Kathryn McAllister	Angela Lopez
20/01239/PRIEXT	266	2 Stockdale Road, Dagenham, Barking And Dagenham, RM8 3PS	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.50 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.	15/06/2020	PRIEXT - Prior Approval: Larger Home Extension	27/07/2020	20/07/2020	Orla Bermingham	Ela King
20/01240/PRIEXT	267	20 Davington Road, Dagenham, Barking And Dagenham, RM8 2LS	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.50 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	15/06/2020	PRIEXT - Prior Approval: Larger Home Extension	27/07/2020	22/07/2020	Lauren Carroll	Lauren Carroll

x	20/01241/PRIEXT	268	202 Hedgemans Road, Dagenham, Barking And Dagenham, RM9 6DJ	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3:00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.74 metres.	16/06/2020	PRIEXT - Prior Approval: Larger Home Extension	28/07/2020	21/07/2020	Harry Moorhouse	Ela King
	20/01242/PRIEXT	269	26 Pemberton Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 6SH	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 5.00 metres. The maximum height of the proposed extension from the natural ground level is 3:00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3:00 metres.	15/06/2020	PRIEXT - Prior Approval: Larger Home Extension	27/07/2020	21/07/2020	Harry Moorhouse	Ela King
	20/01243/PRIEXT	270	109 Movers Lane, Barking, Barking And Dagenham, IG11 7UQ	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.70 metres.	16/06/2020	PRIEXT - Prior Approval: Larger Home Extension	28/07/2020	24/07/2020	Vineeta Sharma	Ela King
	20/01244/PRICOM	271	The Heathway, Dagenham, RM9 5AE	Prior Approval Refused	The proposed development will include the installation of a 20 metre phase 8 pole with wrap around cabinet built around the base, 3no. new equipment cabinets and ancillary development thereto.	17/06/2020	PRICOM - Prior Approval: Development for electronic communications network	12/08/2020	31/07/2020	Harry Moorhouse	Angela Lopez
	20/01245/PRIEXT	272	83 Mill Lane, Chadwell Heath, Romford, Barking And Dagenham, RM6 6YH	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.00 metres. The maximum height of the proposed extension from the natural ground level is 2.80 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.70 metres.	16/06/2020	PRIEXT - Prior Approval: Larger Home Extension	28/07/2020	22/07/2020	Cari Jones	Ela King
	20/01246/PRIEXT	273	30 Bentry Road, Dagenham, Barking And Dagenham, RM8 3PA	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 5.00 metres. The maximum height of the proposed extension from the natural ground level is 2.95 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.95 metres.	17/06/2020	PRIEXT - Prior Approval: Larger Home Extension	29/07/2020	22/07/2020	Lauren Carroll	Lauren Carroll
	20/01247/HSE	274	78 Dawson Avenue, Barking, Barking And Dagenham, IG11 9DQ	Refused	Erection of front extension and two storey side extension.	17/06/2020	Q21. Householder developments	12/08/2020	11/08/2020	Lauren Carroll	Angela Lopez
	20/01248/FULL	275	Presbytery, 41 Linton Road, Barking, Barking And Dagenham, IG11 8HG	Approved	New fixed and operable glazed screens to existing balcony area	18/06/2020	Q18. MINOR All other developments	13/08/2020	11/08/2020	Cari Jones	Angela Lopez
	20/01249/FULL	276	280 Lodge Avenue, Dagenham, RM8 2JP	Refused	CHANGE OF USE OF UPPER FLOORS FROM ONE RESIDENTIAL UNIT TO TWO FLATS, CONSTRUCTION OF A SINGLE STOREY BUILDING TO REAR TO CREATE TWO ADDITIONAL RESIDENTIAL UNITS, INFILL REAR EXTENSION TO FIRST AND SECOND FLOORS, ALTERATIONS TO SHOP FRONTS, AND ASSOCIATED WORKS	18/06/2020	Q20. Change of use	13/08/2020	12/08/2020	Orla Bermingham	Angela Lopez
	20/01250/REM	277	Gascoigne Estate East King Edwards Road, Barking, Barking And Dagenham,	Approved	Application for the approval of reserved matters following outline approval for Phase 3a of 20/01251/VAR - Development parcels I and J. Outline application was not an EIA application.	18/06/2020	Q01. MAJOR Dwellings	17/09/2020	26/01/2021	Nasser Farooq	Ela King
	20/01251/VAR	278	Gascoigne Estate East King Edwards Road, Barking, Barking And Dagenham,	Approved Subject To Legal Agreement	Application for variation of condition 2 (approved parameter plans) in respect of permission 19/00310/FUL. To amend approved parameter plans in relation to Development Parcels I and J. Consented development Hybrid (part full/part outline) application for the phased comprehensive redevelopment of the site for a maximum of 1,575 residential dwellings (Use Class C3); 21,550 sq. m of Education (Use Class D1); 1,355 sq. m of Medical facility (Use Class D1); 1,200 sq. m of Employment (Use Class B1); 1,400 sq. m of Community facilities (Use Class D1/D2); 1,850 sq. m of flexible commercial floor space (within Use Classes A1, A2, A3, and B1); 1,000 sq. m to be used as a place of worship (Use Class D1) or employment (Use Class B1); and Energy Centre (all figures given as maximum gross external area); with associated means of access, car parking, landscaping, service infrastructure and other associated works and improvements. Full planning permission sought on Phase 1A comprising 2.39 Ha. of the site for 348 residential dwellings; 1,355 sq. m floor space to be used as a medical centre (Use Class D1) or Residential (Use Class C3); 300 sq. m of flexible commercial floor space (within Use Classes A1, A2, A3, B1); Energy Centre; internal road layout and associated means of access, car parking, landscaping and other works and improvements.	17/06/2020	Q01. MAJOR Dwellings	16/09/2020	26/01/2021	Nasser Farooq	Ela King
	20/01252/AOD	279	House For Artists, 36-40 Linton Road, London, IG11 8HG	Condition(s) Fully Discharged	Application for approval of details reserved by Condition 12 (Construction Logistics Plan) Condition 22 (Construction Method Statement) in respect of planning permission 18/00555/FUL	18/06/2020	AOD - Application for approval of details reserved by condition	13/08/2020	11/08/2020	Lauren Carroll	Angela Lopez
	20/01253/FULL	280	Dental Surgery, 833a Longbridge Road, Dagenham, Barking And Dagenham, RM8 2DA	Approved	Change of Use of former first floor dental surgery as a two bedroom flat.	18/06/2020	Q20. Change of use	13/08/2020	11/08/2020	Harry Moorhouse	Angela Lopez
	20/01254/PRIEXT	281	314 Wood Lane, Dagenham, Barking And Dagenham, RM9 5TB	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension and installation of two rooflights. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.85 metres.	20/06/2020	PRIEXT - Prior Approval: Larger Home Extension	01/08/2020	23/07/2020	Harry Moorhouse	Ela King
	20/01255/CLUP	282	7 Grafton Gardens, Dagenham, Barking And Dagenham, RM8 1QR	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the construction of a rear dormer window, hip to gable roof and installation of three front rooflights.	18/06/2020	CLUP - Lawful development: Proposed use	13/08/2020	24/07/2020	Orla Bermingham	Angela Lopez
	20/01256/HSE	283	31 Lyndhurst Gardens, Barking, Barking And Dagenham, IG11 9YB	Approved	ERECTION OF SINGLE STOREY REAR EXTENSION	19/06/2020	Q21. Householder developments	14/08/2020	12/08/2020	Vineeta Sharma	Angela Lopez
	20/01257/PRIEXT	284	4 Eliot Road, Dagenham, Barking And Dagenham, RM9 5XT	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 2.70 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.60 metres.	20/06/2020	PRIEXT - Prior Approval: Larger Home Extension	01/08/2020	24/07/2020	Vineeta Sharma	Ela King
	20/01258/HSE	285	72 Tanner Street, Barking, Barking And Dagenham, IG11 8QF	Refused	ALTERATION OF FLAT ROOF REAR EXTENSION APPROVED UNDER PLANNING REF NO 19/01423/FUL TO PITCHED ROOF REAR EXTENSION	19/06/2020	Q21. Householder developments	14/08/2020	11/08/2020	Cari Jones	Angela Lopez
	20/01259/FULL	286	44 Blackborne Road, Dagenham, Barking And Dagenham, RM10 8SS	Refused	Subdivision of Existing Plot with Alterations to Existing Property, and Erection of New 1-Bedroom Two-storey Dwelling House.	30/06/2020	Q13. MINOR Dwellings	25/08/2020	19/08/2020	Kathryn McAllister	Angela Lopez
	20/01261/CLUP	287	4 Review Road, Dagenham, Barking And Dagenham, RM10 9DH	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the construction of a rear dormer window and installation of three front rooflights.	20/06/2020	CLUP - Lawful development: Proposed use	15/08/2020	24/07/2020	Vineeta Sharma	Angela Lopez
	20/01262/PRIEXT	288	5 Woodlands Avenue, Chadwell Heath, Romford, Barking And Dagenham, RM6 6EA	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.25 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.80 metres.	09/03/2020	PRIEXT - Prior Approval: Larger Home Extension	20/04/2020	17/07/2020	Kathryn McAllister	Angela Lopez
	20/01263/HSE	289	41 Harris Road, Dagenham, Barking And Dagenham, RM9 5DT	Approved	Erection of a single storey rear extension	22/06/2020	Q21. Householder developments	17/08/2020	31/07/2020	Orla Bermingham	Angela Lopez
	20/01264/FULL	290	Aria, 31 Longbridge Road, Barking, Barking And Dagenham, IG11 8TN	Approved	Erection of first floor rear extension including a change of the external finishes to the shisha area.	22/06/2020	Q18. MINOR All other developments	17/08/2020	17/08/2020	Vineeta Sharma	Angela Lopez
	20/01265/FULL	291	Autocare And Direct Taxi Repairs, Unit L7, Chadwell Heath Industrial Park Kemp Road, Dagenham, Barking And Dagenham, RM8 1SL	Approved	Side extension to existing industrial unit.	22/06/2020	Q15. MINOR General industry / storage / warehousing	17/08/2020	11/08/2020	Harry Moorhouse	Angela Lopez

20/01266/CLUP	292	45 Lincoln Avenue, Rush Green, Romford, Barking And Dagenham, RM7 0SJ	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the construction of a rear dormer window, hip to gable end roof and installation of four front rooflights and side window.	21/06/2020	CLUP - Lawful development: Proposed use	16/08/2020	23/07/2020	Harry Moorhouse	Angela Lopez
20/01267/PRIEXT	293	56 Third Avenue, Dagenham, Barking And Dagenham, RM10 9BA	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 2.88 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.88 metres.	22/06/2020	PRIEXT - Prior Approval: Larger Home Extension	03/08/2020	23/07/2020	Orla Bermingham	Ela King
20/01268/HSE	294	2 Clare Gardens, Barking, Barking And Dagenham, IG11 9JG	Approved	Conversion of Loft to create a habitable room	02/07/2020	Q21. Householder developments	27/08/2020	21/08/2020	Cari Jones	Ela King
20/01269/AOD	295	Ford Motor Company Estate, Assembly Plant, Thames Avenue,, Dagenham, RM9 6SA	Condition(s) Partially Discharged	Application for approval of details reserved by Condition 51 (Surface Water Drainage Scheme), Condition 52 (Drainage Strategy), Condition 53 (Maintenance Plan) and Condition 56 (details of Petrol and Oil interceptors) in respect of planning permission 19/01241/OUT to phased 2 only.	22/06/2020	AOD - Application for approval of details reserved by condition	17/08/2020	08/09/2020	Grace Liu	Angela Lopez
20/01270/PRIEXT	296	161 Sheppey Road, Dagenham, Barking And Dagenham, RM9 4JS	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.	22/06/2020	PRIEXT - Prior Approval: Larger Home Extension	03/08/2020	22/07/2020	Lauren Carroll	Lauren Carroll
20/01271/HSE	297	44 Clare Gardens, Barking, Barking And Dagenham, IG11 9JH	Refused	FIRST FLOOR SIDE EXTENSION AND GROUND FLOOR FRONT EXTENSION	22/06/2020	Q21. Householder developments	17/08/2020	14/08/2020	Lauren Carroll	Angela Lopez
20/01272/CLUP	298	44 Clare Gardens, Barking, Barking And Dagenham, IG11 9JH	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the construction of a rear dormer window, hip to gable roof and installation of three front rooflights.	22/06/2020	CLUP - Lawful development: Proposed use	17/08/2020	24/07/2020	Orla Bermingham	Angela Lopez
20/01273/CLUP	299	314 Wood Lane, Dagenham, Barking And Dagenham, RM9 5TB	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the construction of a rear dormer window, hip to gable roof and installation of two front rooflights and side window and an erection of single storey side extension	22/06/2020	CLUP - Lawful development: Proposed use	17/08/2020	23/07/2020	Lauren Carroll	Angela Lopez
20/01274/HSE	300	154 Glenny Road, Barking, Barking And Dagenham, IG11 8QQ	Approved	Erection of single storey rear extension.	22/06/2020	Q21. Householder developments	17/08/2020	11/08/2020	Cari Jones	Angela Lopez
20/01275/HSE	301	2 Adomar Road, Dagenham, Barking And Dagenham, RM8 3LR	Refused	Erection of a ground floor extension to the front and rear and a double storey front extension.	23/06/2020	Q21. Householder developments	18/08/2020	14/08/2020	Harry Moorhouse	Ela King
20/01276/HSE	302	61 Winifred Road, Dagenham, Barking And Dagenham, RM8 1PP	Approved	Erection of a single storey outbuilding with pitched roof	23/06/2020	Q21. Householder developments	18/08/2020	17/08/2020	Vineeta Sharma	Ela King
20/01277/PRIEXT	303	59 Southwold Drive, Barking, Barking And Dagenham, IG11 9AT	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.30 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	24/06/2020	PRIEXT - Prior Approval: Larger Home Extension	05/08/2020	24/07/2020	Vineeta Sharma	Ela King
20/01279/TPO	304	Tulasi Medical Centre, 10 Bennetts Castle Lane, Dagenham, Barking And Dagenham, RM8 3XU	Approved	T1 - 1 x Lime tree - Crown reduce by 2.5 Metres and shape Thin crown by 15% Lift crown to 5 metres This is due to the tree located in a small area close to the Health centre entrance & overhangs the high way pavement casing obstruction	02/07/2020	TPO - Works to trees subject to a tree preservation order	27/08/2020	24/08/2020	Vineeta Sharma	Ela King
20/01280/CLUP	305	38 Glenmore Way, Barking, Barking And Dagenham, IG11 0LY	Lawful (Certificate)	Application for a Certification of Lawfulness for a Proposed Development - Loft Conversion including installation of a Rear Dormer with Juliette balcony & 3 Velux Windows at the front	24/06/2020	CLUP - Lawful development: Proposed use	19/08/2020	24/07/2020	Cari Jones	Ela King
20/01281/HSE	306	38 Glenmore Way, Barking, Barking And Dagenham, IG11 0LY	Refused	Erection of a Single Storey Front Extension, ground floor and Part 1st Floor Rear Extension.	24/06/2020	Q21. Householder developments	19/08/2020	14/08/2020	Cari Jones	Ela King
20/01282/FULL	307	28 Darcy Gardens, Dagenham, Barking And Dagenham, RM9 6BS	Refused	Proposed Conversion of existing 2 storey side extension into a 1 Bedroom Dwelling.	24/06/2020	Q13. MINOR Dwellings	19/08/2020	14/08/2020	Harry Moorhouse	Ela King
20/01283/HSE	308	33 Keel Close, Barking, Barking And Dagenham, IG11 0XR	Refused	Loft Conversion including West-side facing dormer	24/06/2020	Q21. Householder developments	19/08/2020	31/07/2020	Orla Bermingham	Ela King
20/01284/FULL	309	Lithuanica, 23a Thames Road, Barking, Barking And Dagenham, IG11 0HN	Approved	Change of use from Flexible B1/B2 use to Sui Generis use (Purchase processing and sale of scrap ferrous and nonferrous metals)	25/06/2020	Q15. MINOR General industry / storage / warehousing	20/08/2020	19/08/2020	Kathryn McAllister	Ela King
20/01285/CLUP	310	463 Whalebone Lane North, Romford, Barking And Dagenham, RM6 6RB	Lawful (Certificate)	Application for a Certification of Lawfulness for a Proposed Development - Loft Conversion including Rear Dormer with Juliette Style Balcony	24/06/2020	CLUP - Lawful development: Proposed use	19/08/2020	24/07/2020	Vineeta Sharma	Ela King
20/01286/CLUP	311	27 Beccles Drive, Barking, Barking And Dagenham, IG11 9HX	Lawful (Certificate)	Application for a Certification of Lawfulness for a Proposed Development - Loft Conversion including Rear Dormer	25/06/2020	CLUP - Lawful development: Proposed use	20/08/2020	24/07/2020	Orla Bermingham	Ela King
20/01287/CLUP	312	4 Fordyke Road, Dagenham, Barking And Dagenham, RM8 1PJ	Lawful (Certificate)	Application for a Certification of Lawfulness for a Proposed Development - Loft Conversion including Rear Dormer and 2 Velux Windows	25/06/2020	CLUP - Lawful development: Proposed use	20/08/2020	23/07/2020	Lauren Carroll	Lauren Carroll
20/01288/CLUP	313	5 Kingston Hill Avenue, Chadwell Heath, Romford, Barking And Dagenham, RM6 5QA	Lawful (Certificate)	Application for a Certification of Lawfulness for a Proposed Development - Loft Conversion including Rear Dormer & Roof Lights	24/06/2020	CLUP - Lawful development: Proposed use	19/08/2020	24/07/2020	Cari Jones	Ela King
20/01289/HSE	314	28 Coombewood Drive, Chadwell Heath, Romford, Barking And Dagenham, RM6 6AB	Approved	Ramped access front of property for disabled occupant	24/06/2020	Q21. Householder developments	19/08/2020	31/07/2020	Lauren Carroll	Lauren Carroll
20/01290/AOD	315	A House For Artists, 36 - 40 Linton Road, Barking, Barking And Dagenham,	Condition(s) Fully Discharged	Application for approval of details reserved by condition 13 (Surface water Drainage Scheme) in respect of planning permission 18/00555/FUL	25/06/2020	AOD - Application for approval of details reserved by condition	20/08/2020	25/08/2020	Lauren Carroll	Lauren Carroll
20/01291/AOD	316	Merriellands Development Site Merriellands Crescent, Dagenham, Barking And Dagenham,	Condition(s) Fully Discharged	Application for approval of details reserved by condition 42 (Solar Panels) in respect of planning permission 17/02113/FUL	25/06/2020	AOD - Application for approval of details reserved by condition	20/08/2020	24/07/2020	Grace Liu	Ela King
20/01292/CLUP	317	60 Review Road, Dagenham, Barking And Dagenham, RM10 9DH	Lawful (Certificate)	Application for a Certification of Lawfulness for a Proposed Development - Loft conversion involving the construction of a rear dormer and proposed hip to gable end roof and installation of two roof lights a side window and Juliette balcony	26/06/2020	CLUP - Lawful development: Proposed use	21/08/2020	23/07/2020	Harry Moorhouse	Ela King
20/01293/AOD	318	Merriellands Development Site Merriellands Crescent, Dagenham, Barking And Dagenham,	Condition(s) Fully Discharged	Application for approval of details reserved by condition 30 (Cycle Parking) in respect of planning permission 17/02113/FUL	25/06/2020	AOD - Application for approval of details reserved by condition	20/08/2020	08/09/2020	Grace Liu	Ela King
20/01294/PRIEXT	319	171 Ilchester Road, Dagenham, Barking And Dagenham, RM8 2YX	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 4.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	24/06/2020	PRIEXT - Prior Approval: Larger Home Extension	05/08/2020	27/07/2020	Cari Jones	Ela King
20/01295/HSE	320	29 Strathfield Gardens, Barking, Barking And Dagenham, IG11 9UJ	Approved	Erection of a Single Storey rear extension	25/06/2020	Q21. Householder developments	20/08/2020	17/08/2020	Vineeta Sharma	Ela King
20/01296/PRICOM	321	Rooftop Telecomms Station, Enterprise House Curzon Crescent, Barking, Barking And Dagenham, IG11 0JZ	Prior Approval Granted	Installation of 6 No. antennas on support poles 4.8 metres above lower roof level. - over all height 29 metres AGL	25/06/2020	PRICOM - Prior Approval: Development for electronic communications network	20/08/2020	17/08/2020	Harry Moorhouse	Ela King
20/01298/CLUP	322	3 Henley Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 6SX	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the construction of a rear dormer window , hip to gable roof and installation of three front rooflights.	26/06/2020	CLUP - Lawful development: Proposed use	21/08/2020	24/07/2020	Vineeta Sharma	Angela Lopez
20/01299/HSE	323	3 Henley Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 6SX	Approved	Erection single storey rear infill extension and single storey front porch infill extension	26/06/2020	Q21. Householder developments	21/08/2020	11/09/2020	Orla Bermingham	Angela Lopez
20/01300/PRIEXT	324	60 Review Road, Dagenham, Barking And Dagenham, RM10 9DH	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.50 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	26/06/2020	PRIEXT - Prior Approval: Larger Home Extension	07/08/2020	24/07/2020	Orla Bermingham	Ela King
20/01301/AOD	325	Abbey Retail Park Abbey Road, Barking, Barking And Dagenham ,	Condition(s) Fully Discharged	Application for approval of details reserved by Condition 7 Part b (Archaeological works) in respect of planning permission 18/02013 /FUL	26/06/2020	AOD - Application for approval of details reserved by condition	21/08/2020	16/08/2020	Lauren Carroll	Angela Lopez
20/01302/FULL	326	62 Keir Hardie Way, Barking, Barking And Dagenham, IG11 9NY	Approved	Erection of two storey side and rear and part single rear extension to create two new flats (1 x two bedroom flat and 1 x one bedroom flat.	26/06/2020	Q13. MINOR Dwellings	21/08/2020	16/08/2020	Lauren Carroll	Angela Lopez
20/01303/AOD	327	Plots 202b - 203, Barking Riverside, Barking, IG11 0DS	Condition(s) Fully Discharged	Application for approval of details reserved by Condition 52 (Construction Methodology) for Plots 202b and 203 only, in respect of planning permission 08/00887/FUL, Stage 2 North of Barking Riverside.	26/06/2020	AOD - Application for approval of details reserved by condition	21/08/2020	21/08/2020	Nasser Farooq	Angela Lopez
20/01304/HSE	328	28 Levine Gardens, Barking, Barking And Dagenham, IG11 0UH	Approved	Erection of two Storey Side & Single Storey Rear Extension.	26/06/2020	Q21. Householder developments	21/08/2020	16/08/2020	Lauren Carroll	Angela Lopez

20/01305/HSE	329	10 Halsham Crescent, Barking, Barking And Dagenham, IG11 9HQ	Approved	Erection of first floor rear extension	26/06/2020	Q21. Householder developments	21/08/2020	19/08/2020	Harry Moorhouse	Angela Lopez
20/01306/CLUP	330	10 Neville Road, Dagenham, Barking And Dagenham, RM8 3QS	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the construction of a rear dormer window, hip to gable end roof and installation of two front rooflights	27/06/2020	CLUP - Lawful development: Proposed use	22/08/2020	28/07/2020	Orla Bermingham	Angela Lopez
20/01307/CLUE	331	100 Sterry Road, Dagenham, Barking And Dagenham, RM10 8NT	Lawful (Certificate)	Application for a certificate of existing use: an outbuilding in rear garden.	28/06/2020	CLUE - Lawful development: Existing use	23/08/2020	18/08/2020	Orla Bermingham	Angela Lopez
20/01308/PRIEXT	332	463 Whalebone Lane North, Romford, Barking And Dagenham, RM6 6RB	Prior Approval Granted	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.20 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.	29/06/2020	PRIEXT - Prior Approval: Larger Home Extension	10/08/2020	31/07/2020	Cari Jones	Ela King
20/01309/PRIEXT	333	11 Waverley Gardens, Barking, Barking And Dagenham, IG11 0BQ	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 4.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	29/06/2020	PRIEXT - Prior Approval: Larger Home Extension	10/08/2020	24/07/2020	Vineeta Sharma	Ela King
20/01310/PRIEXT	334	67 Faircross Avenue, Barking, Barking And Dagenham, IG11 8QZ	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.00 metres. The maximum height of the proposed extension from the natural ground level is 2.90 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.70 metres.	26/06/2020	PRIEXT - Prior Approval: Larger Home Extension	07/08/2020	31/07/2020	Lauren Carroll	Lauren Carroll
20/01311/PRIEXT	335	40 Stratton Drive, Barking, Barking And Dagenham, IG11 9HJ	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension with a roof lantern. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.76 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	26/06/2020	PRIEXT - Prior Approval: Larger Home Extension	07/08/2020	23/07/2020	Harry Moorhouse	Ela King
20/01312/PRIEXT	336	220 Westrow Drive, Barking, Barking And Dagenham, IG11 9BT	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.50 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	29/06/2020	PRIEXT - Prior Approval: Larger Home Extension	10/08/2020	31/07/2020	Cari Jones	Ela King
20/01313/NONMATT	337	Former Site Of Sebastian Court Meadow Road, IG11 9PE	Approved	Application for non-material amendment following grant of planning permission 19/00624/FUL: Amendment to approved drawing list	29/06/2020	NONMAT - Non-material amendment following a grant of planning permission	27/07/2020	24/07/2020	Grace Liu	Ela King
20/01314/FULL	338	Land Rear Of 20 Frizlands Lane, Dagenham, RM10 7YH	Refused	ERECTION OF TWO BED NEW BUILT ON REAR OF 20 FRIZLANDS LANE, DAGENHAM, RM10 7YH	30/07/2020	Q13. MINOR Dwellings	24/09/2020	17/09/2020	Lauren Carroll	Angela Lopez
20/01315/HSE	339	123 Westrow Drive, Barking, Barking And Dagenham, IG11 9BW	Approved	Erection of single storey ground floor front and rear extension.	29/06/2020	Q21. Householder developments	24/08/2020	17/08/2020	Lauren Carroll	Angela Lopez
20/01316/FULL	340	519 - 527 Gale Street, Dagenham, Barking And Dagenham,	Approved	Alterations to existing first floor flat, incorporating a rear infill extension, and the erection of a roof extension to create 5 additional units (2 x 1 bedroom flats and 3 x 2 bedroom flats)	29/06/2020	Q13. MINOR Dwellings	24/08/2020	19/08/2020	Kathryn McAllister	Angela Lopez
20/01317/CLUP	341	66 Haydon Road, Dagenham, Barking And Dagenham, RM8 3RP	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the construction of a rear dormer window, hip to gable end roof and installation of two front rooflights	29/06/2020	Q21. Householder developments	24/08/2020	28/07/2020	Orla Bermingham	Angela Lopez
20/01318/CLUP	342	59 Sparsholt Road, Barking, Barking And Dagenham, IG11 7YG	Not Lawful (Certificate)	Application for a Certification of Lawfulness for a Proposed Development: Erection of a single storey rear extension and Loft Conversion with Rear Dormer and 2 Front Roof lights	30/06/2020	CLUP - Lawful development: Proposed use	25/08/2020	19/08/2020	Vineeta Sharma	Ela King
20/01319/HSE	343	109 Valentines Way, Rush Green, Romford, Barking And Dagenham, RM7 0YD	Refused	Erection of two storey side extension	29/06/2020	Q21. Householder developments	24/08/2020	19/08/2020	Vineeta Sharma	Angela Lopez
20/01320/FULL	344	796 Spar At Texaco Petrol Station, Ripple Road, Barking, IG11 0TT	Approved	Erection of single storey side extension to provide male-female toilets for visitors	29/06/2020	Q18. MINOR All other developments	24/08/2020	19/08/2020	Vineeta Sharma	Angela Lopez
20/01321/CLUP	345	110 Farmway, Dagenham, Barking And Dagenham, RM8 2SP	Lawful (Certificate)	Application for a certificate of lawfulness for a Proposed Development: Loft Conversion with a rear dormer and 3No roof lights to the front elevation.	30/06/2020	CLUP - Lawful development: Proposed use	25/08/2020	27/07/2020	Cari Jones	Ela King
20/01322/HSE	346	31 Lowry Road, Dagenham, Barking And Dagenham, RM8 2NL	Refused	Erection of part single part two storey rear extension, loft conversion involving the construction of a rear dormer window, hip to gable, site garage extension to convert it into a habitable room and outbuilding in rear garden.	29/06/2020	Q21. Householder developments	24/08/2020	16/08/2020	Cari Jones	Angela Lopez
20/01323/FULL	347	59 Kingston Hill Avenue, Chadwell Heath, Romford, Barking And Dagenham, RM6 5QJ	Refused	Erection of a new three bedroom end of terrace dwelling house on the side to the land 59, with associated parking and amenity, re-location of existing doorway to no.59 with new front porch extension.	17/09/2020	Q13. MINOR Dwellings	12/11/2020	10/11/2020	Kathryn McAllister	Angela Lopez
20/01324/TPO	348	St Teresas Primary School, School Site Bowes Road, Dagenham, Barking And Dagenham, RM8 2XJ	Approved	T1 Sycamore Crown reduction. Reducing the height and spread by up to 2m back to previous cuts due to excessive honey dew and bird droppings causing a health issue.	17/08/2020	TPO - Works to trees subject to a tree preservation order	12/10/2020	15/09/2020	Grace Liu	Angela Lopez
20/01325/FULL	349	58 Morley Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6XB	Approved	Demolition of Existing 2-storey dwelling house and associated garage outbuildings and erection of 3 2-storey dwellings	15/07/2020	Q13. MINOR Dwellings	09/09/2020	15/09/2020	Kathryn McAllister	Angela Lopez
20/01326/CLUP	350	293 Salisbury Avenue, Barking, Barking And Dagenham, IG11 9XY	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the construction of a rear dormer window, and installation of three front rooflights	30/06/2020	CLUP - Lawful development: Proposed use	25/08/2020	27/07/2020	Cari Jones	Angela Lopez
20/01327/PRIEXT	351	110 Farmway, Dagenham, Barking And Dagenham, RM8 2SP	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.20 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.85 metres.	30/06/2020	PRIEXT - Prior Approval: Larger Home Extension	11/08/2020	04/08/2020	Lauren Carroll	Lauren Carroll
20/01329/HSE	352	37 Lyndhurst Gardens, Barking, Barking And Dagenham, IG11 9YB	Approved	Erection of single storey rear extension and conversion of garage into habitable room	03/09/2020	Q21. Householder developments	29/10/2020	03/11/2020	Kathryn McAllister	Angela Lopez
20/01330/FULL	353	83 And 85, Westrow Drive, Barking, IG11 9BL	Approved	ERECTION OF SINGLE STOREY REAR EXTENSION AT No.85 AND ERECTION OF FIRST FLOOR REAR EXTENSION TO NUMBERS 83 & 85 WESTROW DRIVE	30/06/2020	Q13. MINOR Dwellings	25/08/2020	24/08/2020	Vineeta Sharma	Angela Lopez
20/01331/PRIEXT	354	72a Victoria Road, Barking, Barking And Dagenham, IG11 8PY	Prior Approval Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 2.95 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.95 metres.	01/07/2020	PRIEXT - Prior Approval: Larger Home Extension	12/08/2020	12/08/2020	Vineeta Sharma	Ela King
20/01332/HSE	355	7a Weston Green, Dagenham, Barking And Dagenham, RM9 5UB	Approved	Loft conversion involving the construction of a rear dormer window.	30/06/2020	Q21. Householder developments	25/08/2020	18/08/2020	Orla Bermingham	Angela Lopez
20/01333/PRIEXT	356	12 Mead Grove, Chadwell Heath, Romford, Barking And Dagenham, RM6 5PU	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.	01/07/2020	PRIEXT - Prior Approval: Larger Home Extension	12/08/2020	31/07/2020	Cari Jones	Ela King
20/01335/PRIEXT	357	15 Charles Road, Dagenham, Barking And Dagenham, RM10 8BA	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.80 metres.	01/07/2020	PRIEXT - Prior Approval: Larger Home Extension	12/08/2020	31/07/2020	Orla Bermingham	Ela King
20/01337/HSE	358	37 Rosedale Road, Dagenham, Barking And Dagenham, RM9 4DP	Refused	Erection of a Double Storey Side Extension	01/07/2020	Q21. Householder developments	26/08/2020	25/08/2020	Vineeta Sharma	Ela King
20/01338/CLUP	359	33 Spurling Road, Dagenham, Barking And Dagenham, RM9 5RH	Lawful (Certificate)	Application for a Certification of Lawfulness for a Proposed Development - Loft Conversion with Rear Dormer & Erection of an Outbuilding	01/07/2020	CLUP - Lawful development: Proposed use	26/08/2020	31/07/2020	Orla Bermingham	Ela King
20/01339/HSE	360	33 Spurling Road, Dagenham, Barking And Dagenham, RM9 5RH	Refused	Demolition of front bay window roof and porch gable roof. Erection of front hip roof with two columns on each end. Part single storey rear extension	01/07/2020	Q21. Householder developments	26/08/2020	19/08/2020	Cari Jones	Ela King

20/01340/CLUP	361	470a Whalebone Lane North, Romford, Barking And Dagenham, RM6 6RJ	Not Lawful (Certificate)	Application for a Certification of Lawfulness for a Proposed Development - Erection of an Outbuilding	02/07/2020	CLUP - Lawful development: Proposed use	27/08/2020	28/07/2020	Lauren Carroll	Lauren Carroll
20/01341/HSE	362	11 Rockwell Road, Dagenham, Barking And Dagenham, RM10 8JA	Approved	Erection of a Single storey rear extension	02/07/2020	Q21. Householder developments	27/08/2020	18/08/2020	Carl Jones	Ela King
20/01342/AOD	363	95 - 97 Tanner Street, Barking, Barking And Dagenham, IG11 8PT	Condition(s) Partially Discharged	Application for Part Discharge of Condition 17a (Archaeological Evaluation) in respect of planning permission 18/00677/FUL	01/07/2020	AOD - Application for approval of details reserved by condition	26/08/2020	06/08/2020	Grace Liu	Angela Lopez
20/01343/PRIEXT	364	10 Kemp Road, Dagenham, Barking And Dagenham, RM8 1ST	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 5.30 metres. The maximum height of the proposed extension from the natural ground level is 3.15 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	06/03/2020	PRIEXT - Prior Approval: Larger Home Extension	17/04/2020	10/08/2020	Kathryn McAllister	Ela King
20/01344/CLUP	365	Brook Court, Crick Court, Fetherston Court, Rill Court, And Runnel Court, Barking, IG11 7GH	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: The proposal involves re-cladding the site's five residential blocks in order to replace the existing, non-compliant cladding systems with A1-fire-rated cladding systems. The new cladding systems will be designed to aesthetically match the existing cladding systems.	02/07/2020	CLUP - Lawful development: Proposed use	27/08/2020	31/07/2020	Lauren Carroll	Angela Lopez
20/01345/AOD	366	A House For Artists, 36 - 40 Linton Road, Barking, Barking And Dagenham,	Condition(s) Fully Discharged	Application for approval of details reserved by condition 5 (Bird Management & Rainwater Strategy) in respect of planning permission 18/00555/FUL	02/07/2020	AOD - Application for approval of details reserved by condition	27/08/2020	18/08/2020	Lauren Carroll	Lauren Carroll
20/01346/HSE	367	45 Burnham Road, Dagenham, Barking And Dagenham, RM9 4RB	Refused	Conversion of Loft into a habitable room and hip to gable roof alteration.	02/07/2020	Q21. Householder developments	27/08/2020	31/07/2020	Orla Bermingham	Ela King
20/01347/PRIEXT	368	160 Halbutt Street, Dagenham, Barking And Dagenham, RM9 5AH	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.20 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	02/07/2020	PRIEXT - Prior Approval: Larger Home Extension	13/08/2020	31/07/2020	Lauren Carroll	Lauren Carroll
20/01348/CLUP	369	160 Halbutt Street, Dagenham, Barking And Dagenham, RM9 5AH	Approved	Application for a certificate of lawfulness for a proposed development: Loft conversion with rear dormer and velux windows to the front.	02/07/2020	CLUP - Lawful development: Proposed use	27/08/2020	28/07/2020	Harry Moorhouse	Angela Lopez
20/01350/HSE	370	2, Warren Terrace, Chadwell Heath, Romford, Barking And Dagenham, RM6 5SB	Refused	Retrospective Loft conversion - involving reduction of built loft conversion.	03/07/2020	Q21. Householder developments	28/08/2020	19/08/2020	Kathryn McAllister	Angela Lopez
20/01351/PRIEXT	371	23 Ashton Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 6RT	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.80 metres	02/07/2020	PRIEXT - Prior Approval: Larger Home Extension	13/08/2020	31/07/2020	Orla Bermingham	Ela King
20/01352/FULL	372	1-18 Jervis Court, Church Elm Lane And 1-4 Rectory Road, Barking, RM10 9SH	Approved Subject To Legal Agreement	Demolition of existing buildings and structures and construction of buildings ranging from 3 to 8 storeys, to provide 64 residential units (Use Class C3), flexible non-residential floorspace (Use Class F1, Class E (medical, health services, creche, day nursery or day centre) or Class F2 (Halls or meeting places for the principal use of the local community) (644sqm), associated means of access, ancillary plant, servicing, car parking, landscape and associated works.	02/07/2020	Q01. MAJOR Dwellings	01/10/2020	22/01/2021	Grace Liu	Ela King
20/01353/HSE	373	161 Sheppey Road, Dagenham, Barking And Dagenham, RM9 4JS	Refused	Erection of front porch	02/07/2020	Q21. Householder developments	27/08/2020	25/08/2020	Orla Bermingham	Angela Lopez
20/01354/CLUP	374	126 Upney Lane, Barking, Barking And Dagenham, IG11 9LT	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the construction of a rear dormer window, hip to gable roof alteration and installation of two front rooflights	03/07/2020	CLUP - Lawful development: Proposed use	28/08/2020	24/08/2020	Vineeta Sharma	Angela Lopez
20/01355/HSE	375	62 Blake Avenue, Barking, Barking And Dagenham, IG11 9SG	Approved	Erection of outbuilding with flat roof in rear garden.	03/07/2020	Q21. Householder developments	28/08/2020	26/08/2020	Vineeta Sharma	Angela Lopez
20/01356/PRIEXT	376	49 Chadville Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 5UB	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	03/07/2020	PRIEXT - Prior Approval: Larger Home Extension	14/08/2020	12/08/2020	Vineeta Sharma	Ela King
20/01357/PRIEXT	377	11 North Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6XU	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension with two rooflights. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 2.80 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.65 metres.	03/07/2020	PRIEXT - Prior Approval: Larger Home Extension	14/08/2020	31/07/2020	Harry Moorhouse	Ela King
x 20/01358/HSE	378	16 Fourth Avenue, Rush Green, Romford, Barking And Dagenham, RM7 0UB	Approved	ERECTION OF SINGLE STOREY SIDE EXTENSION.	03/07/2020	Q21. Householder developments	28/08/2020	26/08/2020	Harry Moorhouse	Angela Lopez
20/01359/CLUP	379	49 Chadville Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 5UB	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the construction of a rear dormer window, hip to gable roof alteration	03/08/2020	CLUP - Lawful development: Proposed use	28/09/2020	18/08/2020	Harry Moorhouse	Angela Lopez
20/01360/PRIEXT	380	20 Lambourne Road, Barking, Barking And Dagenham, IG11 9PR	Prior Approval Granted	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	03/07/2020	PRIEXT - Prior Approval: Larger Home Extension	14/08/2020	31/07/2020	Lauren Carroll	Ela King
20/01361/PRIEXT	381	37 Finnymore Road, Dagenham, Barking And Dagenham, RM9 6JD	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.70 metres. The maximum height of the proposed extension from the natural ground level is 3.75 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.89 metres.	03/07/2020	PRIEXT - Prior Approval: Larger Home Extension	14/08/2020	31/07/2020	Orla Bermingham	Ela King
20/01362/PRIEXT	382	120 Stratton Drive, Barking, Barking And Dagenham, IG11 9HB	Prior Approval Granted	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 5.00 metres. The maximum height of the proposed extension from the natural ground level is 2.75 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.55 metres.	06/07/2020	PRIEXT - Prior Approval: Larger Home Extension	17/08/2020	04/08/2020	Carl Jones	Ela King
20/01363/PRIEXT	383	213 Charlton Crescent, Barking, Barking And Dagenham, IG11 0NH	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.00 metres. The maximum height of the proposed extension from the natural ground level is 3.20 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	06/07/2020	PRIEXT - Prior Approval: Larger Home Extension	17/08/2020	12/08/2020	Vineeta Sharma	Ela King
20/01364/CLUP	384	116 Oxlow Lane, Dagenham, Barking And Dagenham, RM10 7ST	Lawful (Certificate)	Application for a Certification of Lawfulness for a Proposed Development - Erection of Outbuilding containing Gym and Bathroom	06/07/2020	CLUP - Lawful development: Proposed use	31/08/2020	24/08/2020	Vineeta Sharma	Ela King
20/01365/PRIEXT	385	116 Oxlow Lane, Dagenham, Barking And Dagenham, RM10 7ST	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	06/07/2020	PRIEXT - Prior Approval: Larger Home Extension	17/08/2020	31/07/2020	Harry Moorhouse	Ela King
20/01366/PRIEXT	386	35 The Drive, Barking, Barking And Dagenham, IG11 9JE	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 5.50 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	06/07/2020	PRIEXT - Prior Approval: Larger Home Extension	17/08/2020	31/07/2020	Orla Bermingham	Ela King

20/01367/PRIEXT	387	77 Chadville Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 5UB	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 2.86 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.86 metres.	06/07/2020	PRIEXT - Prior Approval: Larger Home Extension	17/08/2020	14/08/2020	Cari Jones	Ela King
20/01368/CLUP	388	62 Blake Avenue, Barking, Barking And Dagenham, IG11 9SG	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Erection of a single-storey side extension	06/07/2020	CLUP - Lawful development: Proposed use	31/08/2020	26/08/2020	Harry Moorhouse	Ela King
20/01369/CLUP	389	77 Chadville Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 5UB	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the construction of a rear dormer window, hip to gable roof and the installation of three front rooflights.	06/07/2020	CLUP - Lawful development: Proposed use	31/08/2020	28/07/2020	Lauren Carroll	Ela King
20/01370/CLUP	390	135 Burdetts Road, Dagenham, Barking And Dagenham, RM9 6YB	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Erection of a loft conversion including the construction of rear dormer window and hip to gable roof.	06/07/2020	CLUP - Lawful development: Proposed use	31/08/2020	28/07/2020	Orla Bermingham	Ela King
20/01371/FULL	391	5 Norton And Co 72 -76 Land To The Rear Of River Road, Barking, IG11 0DS	Approved	Erection of a workshop building, non FE shed, weighbridge, 6m high steel fence to form storage bays, new concrete hardstanding, floodlighting, new manholes and underground drainage, a palisade fence to the western boundary and associated works.	17/07/2020	Q15. MINOR General industry / storage / warehousing	11/09/2020	16/09/2020	Harry Moorhouse	Angela Lopez
20/01372/HSE	392	39 St Erkenwald Road, Barking, Barking And Dagenham, IG11 7XA	Approved	Erection of single storey rear extension.	03/07/2020	Q21. Householder developments	28/08/2020	18/08/2020	Lauren Carroll	Angela Lopez
20/01373/CLUP	393	29 Mayfair Avenue, Chadwell Heath, Romford, Barking And Dagenham, RM6 6UB	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Erection of a single storey outbuilding in the rear garden.	06/07/2020	CLUP - Lawful development: Proposed use	31/08/2020	28/07/2020	Cari Jones	Ela King
20/01374/FULL	394	16 Beccles Drive, Barking, Barking And Dagenham, IG11 9HX	Refused	ERECTION OF A NEW TWO STOREY TWO - BEDROOM END OF TERRACE HOUSE.	07/07/2020	Q13. MINOR Dwellings	01/09/2020	25/08/2020	Orla Bermingham	Angela Lopez
20/01375/HSE	395	11 Rugby Road, Dagenham, Barking And Dagenham, RM9 4AJ	Refused	ERECTION OF TWO STOREY SIDE EXTENSION INCLUDING NEW PORCH	03/07/2020	Q21. Householder developments	28/08/2020	18/08/2020	Orla Bermingham	Angela Lopez
20/01376/PRICOM	396	Area Of Footpath Junction Of Wood Lane & Heathway, London, RM10 7RU	Prior Approval Refused	Application for prior approval telecommunication: Installation of 20metre high Phase 8 Monopole C/W wraparound Cabinet at base and associated ancillary works	03/07/2020	PRICOM - Prior Approval: Development for electronic communications network	28/08/2020	26/08/2020	Harry Moorhouse	Angela Lopez
20/01377/HSE	397	135 Burdetts Road, Dagenham, Barking And Dagenham, RM9 6YB	Refused	ERECTION OF TWO STOREY SIDE EXTENSION; PART SINGLE PART TWO STOREY REAR EXTENSION, AND DEMOLITION OF THE EXISTING GARAGE	04/07/2020	Q21. Householder developments	29/08/2020	21/08/2020	Cari Jones	Angela Lopez
20/01378/FULL	398	36 Dewey Road, Dagenham, Barking And Dagenham, RM10 8AR	Refused	Change of use: Doctors surgery to Residential dwelling	11/08/2020	Q20. Change of use	06/10/2020	05/10/2020	Lauren Carroll	Angela Lopez
20/01379/HSE	399	120 Stratton Drive, Barking, Barking And Dagenham, IG11 9HB	Refused	Erection of First Floor Rear Extension	04/07/2020	Q21. Householder developments	29/08/2020	28/08/2020	Vineeta Sharma	Angela Lopez
20/01380/FULL	400	32 Holgate Road, Dagenham, Barking And Dagenham, RM10 8LX	Refused	Erection of two storey side and single storey rear extension to create a new one x 1 bedroom dwelling house and erection of single storey rear to land adjacent to 32 Holgate Road	06/07/2020	Q13. MINOR Dwellings	31/08/2020	25/08/2020	Cari Jones	Angela Lopez
20/01381/PRIEXT	401	42 Victoria Road, Dagenham, Barking And Dagenham, RM10 7XL	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	06/07/2020	PRIEXT - Prior Approval: Larger Home Extension	17/08/2020	04/08/2020	Lauren Carroll	Ela King
20/01382/CLUE	402	22 Calverley Crescent, Dagenham, Barking And Dagenham, RM10 7QU	Not Lawful (Certificate)	Application for a certificate of lawfulness for an existing use: Erection of a single storey side extension	07/07/2020	CLUE - Lawful development: Existing use	01/09/2020	21/08/2020	Lauren Carroll	Ela King
20/01383/CLUP	403	19 Campsey Road, Dagenham, Barking And Dagenham, RM9 4DS	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the construction of a rear dormer window and hip to gable roof.	06/07/2020	CLUP - Lawful development: Proposed use	31/08/2020	27/07/2020	Harry Moorhouse	Ela King
20/01384/HSE	404	215 Charlton Crescent, Barking, Barking And Dagenham, IG11 0NH	Approved	Erection of single storey rear, and double storey side extension including front porch & conversion of garage into habitable room, installation of two sky lights and three Velux windows	06/07/2020	Q21. Householder developments	31/08/2020	26/08/2020	Harry Moorhouse	Angela Lopez
20/01385/CLUP	405	76 Saville Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6DT	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the construction of a rear dormer window, hip to gable roof and two front rooflights.	07/07/2020	CLUP - Lawful development: Proposed use	01/09/2020	18/08/2020	Lauren Carroll	Ela King
20/01386/HSE	406	64 Orchard Road, Dagenham, Barking And Dagenham, RM10 9FX	Approved	Conversion of garage into habitable room and involving rear and front access ramp.	06/07/2020	Q21. Householder developments	31/08/2020	18/08/2020	Orla Bermingham	Angela Lopez
20/01387/HSE	407	76 Saville Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6DT	Approved	Erection of single storey rear and part first floor rear extension	06/07/2020	Q21. Householder developments	31/08/2020	18/08/2020	Cari Jones	Angela Lopez
20/01388/HSE	408	24 Gordon Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6DD	Approved	Erection of a single storey ground and single storey first floor rear extension.	07/07/2020	Q21. Householder developments	01/09/2020	28/08/2020	Vineeta Sharma	Ela King
20/01389/HSE	409	111 Rogers Road, Dagenham, Barking And Dagenham, RM10 8JU	Approved	Erection of access ramp with handrails to the rear of property.	07/07/2020	Q21. Householder developments	01/09/2020	26/08/2020	Harry Moorhouse	Ela King
20/01390/HSE	410	116 Oxlow Lane, Dagenham, Barking And Dagenham, RM10 7ST	Refused	Erection of a first floor single storey side extension with the insertion of a window to ground floor bedroom and relocation of ground floor entrance.	07/07/2020	Q21. Householder developments	01/09/2020	18/08/2020	Lauren Carroll	Ela King
20/01391/PRIEXT	411	378 Valence Avenue, Dagenham, Barking And Dagenham, RM8 3QU	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.50 metres. The maximum height of the proposed extension from the natural ground level is 3.25 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	08/07/2020	PRIEXT - Prior Approval: Larger Home Extension	19/08/2020	17/08/2020	Vineeta Sharma	Ela King
20/01392/PRIEXT	412	171 Lichfield Road, Dagenham, Barking And Dagenham, RM8 2BA	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension with four rooflights. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.30 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	08/07/2020	PRIEXT - Prior Approval: Larger Home Extension	19/08/2020	31/07/2020	Harry Moorhouse	Ela King
20/01393/CLUP	413	19 Marston Avenue, Dagenham, Barking And Dagenham, RM10 7LA	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the construction of a rear dormer window, hip to gable roof and the installation of three front rooflights.	08/07/2020	CLUP - Lawful development: Proposed use	02/09/2020	31/07/2020	Orla Bermingham	Ela King
20/01394/PRIEXT	414	31 Raydons Road, Dagenham, Barking And Dagenham, RM9 5JP	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 5.50 metres. The maximum height of the proposed extension from the natural ground level is 3.22 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.70 metres.	08/07/2020	PRIEXT - Prior Approval: Larger Home Extension	19/08/2020	04/08/2020	Lauren Carroll	Ela King
20/01395/CLUP	415	Post Centre, 36 - 38 Station Parade, Barking, Barking And Dagenham, IG11 8DR	Not Lawful (Certificate)	Application for certificate of lawfulness for proposed development: Change of use from A1 to A2 (conversion of basement into offices)	08/07/2020	CLUP - Lawful development: Proposed use	02/09/2020	31/07/2020	Cari Jones	Ela King
20/01396/CLUP	416	43 Beccles Drive, Barking, Barking And Dagenham, IG11 9HX	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the construction of a rear dormer window, hip to gable roof alteration and installation of three front rooflights.	08/07/2020	CLUP - Lawful development: Proposed use	02/09/2020	19/08/2020	Vineeta Sharma	Ela King
20/01397/FULL	417	33 Rowney Gardens, Dagenham, Barking And Dagenham, RM9 4PR	Refused	Erection of two store side and rear extension to enlarge the existing flats and create a new two storey dwellinghouse.	15/07/2020	Q13. MINOR Dwellings	09/09/2020	08/09/2020	Harry Moorhouse	Angela Lopez
20/01398/FULL	418	London Fire Brigade, Fire Station Alfreds Way, Barking, Barking And Dagenham, IG11 0BB	Approved	Provision of community engagement facilities within Barking Fire Station site, consisting of a double decker bus, adjoining decked area and new external accessible WC.	08/07/2020	Q18. MINOR All other developments	02/09/2020	27/08/2020	Orla Bermingham	Angela Lopez
20/01399/HSE	419	78 Clemence Road, Dagenham, Barking And Dagenham, RM10 9YQ	Approved	Erection of a single storey rear extension	08/07/2020	Q21. Householder developments	02/09/2020	18/08/2020	Lauren Carroll	Angela Lopez
20/01400/PRICOM	420	Green Lane, London, RM8 3XX	Prior Approval Refused	The proposed development will include the installation of a 18 metre phase 8 monopole with wrap cabinet around the base and associated ancillary works.	08/07/2020	PRICOM - Prior Approval: Development for electronic communications network	02/09/2020	09/09/2020	Harry Moorhouse	Ela King
20/01401/CLUP	421	68 Stratton Drive, Barking, Barking And Dagenham, IG11 9HD	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the construction of a rear dormer, hip to gable and installation of two front rooflights.	09/07/2020	CLUP - Lawful development: Proposed use	03/09/2020	28/07/2020	Harry Moorhouse	Ela King
20/01402/CLUP	422	89 Shirley Gardens, Barking, Barking And Dagenham, IG11 9XB	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the construction of a rear dormer with Juliet Style Balcony, installation of two front rooflights and the erection of a single storey rear extension.	09/07/2020	CLUP - Lawful development: Proposed use	03/09/2020	28/07/2020	Lauren Carroll	Ela King

20/01403/AOD	423	Abbey Sports Centre, Abbey Sports Centre, Barking, Barking And Dagenham, IG11 7LX	Condition(s) Fully Discharged	Application for approval of details reserved by Condition 9 (Archaeological Works) and Condition 23 (London City Airport Safeguarding) in respect of planning permission 18/00331/FUL	08/07/2020	AOD - Application for approval of details reserved by condition	02/09/2020	01/09/2020	Cari Jones	Angela Lopez
20/01404/HSE	424	16 Manor Road, Barking, Barking And Dagenham, IG11 9JA	Refused	ERECTION OF DOUBLE STOREY SIDE EXTENSION	07/07/2020	Q21. Householder developments	01/09/2020	31/08/2020	Harry Moorhouse	Angela Lopez
20/01405/CLUP	425	282 Becontree Avenue, Dagenham, Barking And Dagenham, RM8 2TR	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the construction of a rear dormer window, hip to gable roof and installation of two front rooflights.	09/07/2020	CLUP - Lawful development: Proposed use	03/09/2020	28/07/2020	Orla Bermingham	Ela King
20/01406/AOD	426	2 St Awdrys Road, Barking, Barking And Dagenham, IG11 7QD	Condition(s) Fully Discharged	Application for approval of details reserved by Condition 4 (Soft and Hard Landscaping), Condition 6 (Tree Works), Condition 12 (Air Quality Assessment), Condition 13 (Noise Assessment) and Condition 14 (Foundations) in respect of planning permission 19/01711 /FUL.	09/07/2020	AOD - Application for approval of details reserved by condition	03/09/2020	01/10/2020	Orla Bermingham	Angela Lopez
20/01407/TPO	427	40 Manor Longbridge School, Scholars Way, Longbridge Road, Essex, RM8 2FL	Approved	Application for tree works subject to a tree preservation order: Fell to the walnut tree due to the health and safety of children suffering from nut allergies in the playground and to be replaced by a standard field maple.	09/07/2020	TPO - Works to trees subject to a tree preservation order	03/09/2020	02/09/2020	Vineeta Sharma	Angela Lopez
20/01408/FULL	428	Food And Wine, 122 Church Elm Lane, Dagenham, Barking And Dagenham, RM10 9RL	Approved	Erection of a single storey ground floor A1 rear extension.	14/07/2020	Q16. MINOR Retail and service	08/09/2020	07/09/2020	Vineeta Sharma	Ela King
20/01409/CLUP	429	51 Blake Avenue, Barking, Barking And Dagenham, IG11 9SG	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Erection of a single storey rear extension.	09/07/2020	CLUP - Lawful development: Proposed use	03/09/2020	28/07/2020	Orla Bermingham	Ela King
20/01410/PRICOM	430	Gurdwara Way, Barking, IG11 8QS	Prior Approval Granted	Application for prior approval telecommunication: Proposed 20m Phase 8 Monopole C/W wraparound Cabinet at base and associated ancillary works.	09/07/2020	PRICOM - Prior Approval: Development for electronic communications network	03/09/2020	26/08/2020	Harry Moorhouse	Angela Lopez
20/01411/PRICOM	431	Maplestead Road, Dagenham, RM9 4QJ	Prior Approval Refused	Application for prior approval telecommunication: Proposed Phase 8 Monopole C/W wraparound Cabinet at base & associated ancillary works.	09/07/2020	PRICOM - Prior Approval: Development for electronic communications network	03/09/2020	09/09/2020	Harry Moorhouse	Angela Lopez
20/01412/CLUP	432	91 Heath Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6LH	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the construction of a rear dormer window, hip to gable roof and the installation of three front rooflights.	10/07/2020	CLUP - Lawful development: Proposed use	04/09/2020	28/07/2020	Cari Jones	Ela King
20/01413/PRIEXT	433	9 The Drive, Barking, Barking And Dagenham, IG11 9JE	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 5.50 metres. The maximum height of the proposed extension from the natural ground level is 3.08 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.95 metres.	10/07/2020	PRIEXT - Prior Approval: Larger Home Extension	21/08/2020	12/08/2020	Orla Bermingham	Ela King
20/01414/HSE	434	216 Sterry Road, Dagenham, Barking And Dagenham, RM10 8PT	Approved	RETROSPECTIVE APPLICATION FOR GROUND FLOOR REAR AND PART FIRST FLOOR EXTENSION	15/07/2020	Q21. Householder developments	09/09/2020	07/09/2020	Orla Bermingham	Angela Lopez
20/01415/PRIEXT	435	9 Amidas Gardens, Dagenham, Barking And Dagenham, RM8 2HX	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 4.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	10/07/2020	PRIEXT - Prior Approval: Larger Home Extension	21/08/2020	11/08/2020	Cari Jones	Ela King
20/01417/AOD	436	Plot 70, RM9 6RJ	Condition(s) Fully Discharged	Application for approval of details reserved by Condition 15b (Archaeological Interest and Investigation) and Condition 15c (Development Under 15b) in respect of planning permission 19/01178/FUL	10/07/2020	AOD - Application for approval of details reserved by condition	04/09/2020	26/08/2020	Harry Moorhouse	Ela King
20/01418/AOD	437	Plot 63, London, RM6 6PU	Condition(s) Partially Discharged	Application for approval of details reserved by Condition 17 (Partial Discharge for Stage 1 - Archaeological Evaluation) in respect of planning permission 20/00388/FUL	10/07/2020	AOD - Application for approval of details reserved by condition	04/09/2020	28/08/2020	Nasser Farooq	Ela King
20/01419/AOD	438	Gascoigne Estate West Abbey Road, Barking, Barking And Dagenham,	Condition(s) Fully Discharged	Application for approval of details reserved by Condition 10a (Green/Brown Roofs, Landscaping and Bird Hazard Management) in respect of planning permission 19/01321/REM.	10/07/2020	AOD - Application for approval of details reserved by condition	04/09/2020	11/09/2020	Nasser Farooq	Ela King
20/01420/CLUP	439	4 Horace Avenue, Rush Green, Romford, Barking And Dagenham, RM7 0XA	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the construction of a rear dormer window and the installation of three front rooflights.	10/07/2020	CLUP - Lawful development: Proposed use	04/09/2020	18/08/2020	Vineeta Sharma	Ela King
20/01421/HSE	440	5 West Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6YA	Approved	Erection of a Single Storey Rear Extension	10/07/2020	Q21. Householder developments	04/09/2020	18/08/2020	Lauren Carroll	Angela Lopez
20/01422/PRIEXT	441	37, Dagenham, RM8 1XH	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 2.50 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.25 metres.	13/07/2020	PRIEXT - Prior Approval: Larger Home Extension	24/08/2020	17/08/2020	Vineeta Sharma	Ela King
20/01423/PRIEXT	442	2, Warren Terrace, Chadwell Heath, Romford, Barking And Dagenham, RM6 5SB	Prior Approval Granted	Prior notification application for the construction of a single storey rear extension with the insertion of 2 rooflights. The proposed extension will extend beyond the rear wall by 4.50 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.85 metres.	13/07/2020	PRIEXT - Prior Approval: Larger Home Extension	24/08/2020	19/08/2020	Harry Moorhouse	Ela King
20/01424/HSE	443	77 Chadville Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 5UB	Refused	Erection of a single storey front extension including change of entrance.	13/07/2020	Q21. Householder developments	07/09/2020	31/08/2020	Cari Jones	Ela King
20/01425/HSE	444	121 Sterry Road, Dagenham, Barking And Dagenham, RM10 8QA	Refused	Erection of two storey side extension and part single storey and part double storey rear extension.	13/07/2020	Q21. Householder developments	07/09/2020	02/09/2020	Vineeta Sharma	Ela King
20/01426/AOD	445	Abbey Retail Park Abbey Road, Barking, Barking And Dagenham,	Condition(s) Fully Discharged	Application for approval of details reserved by Condition 5 (Landscaping) in respect of planning permission 15/01635/FUL	10/07/2020	AOD - Application for approval of details reserved by condition	04/09/2020	19/10/2020	Olivia St-Amour	Angela Lopez
20/01427/AOD	446	Plot 63, 65, 67 And 70, At Segro Park Dagenham, Dagenham Docks, London, RM9 6PU	Condition(s) Partially Discharged	Application for approval of details reserved by Condition 4 (Contamination and Remediation) Partially discharge Part A and B in respect of planning permission 19/00904/FUL, in relation to Plot 70 only.	10/07/2020	AOD - Application for approval of details reserved by condition	04/09/2020	15/09/2020	Nasser Farooq	Angela Lopez
20/01428/CLUP	447	23 Cartwright Road, Dagenham, Barking And Dagenham, RM9 6HX	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Erection of single storey rear extension.	20/07/2020	CLUP - Lawful development: Proposed use	14/09/2020	11/09/2020	Kathryn McAllister	Angela Lopez
20/01429/CLUP	448	95 Beccles Drive, Barking, Barking And Dagenham, IG11 9HY	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the construction of a rear dormer window, hip to gable roof and installation of two front rooflights and a side window.	13/07/2020	CLUP - Lawful development: Proposed use	07/09/2020	28/07/2020	Harry Moorhouse	Ela King
20/01430/CLUP	449	33 Butler Road, Dagenham, Barking And Dagenham, RM8 2DR	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the construction of a rear dormer and installation of three front rooflights.	13/07/2020	CLUP - Lawful development: Proposed use	07/09/2020	28/07/2020	Lauren Carroll	Ela King
20/01431/HSE	450	35 Coleman Road, Dagenham, Barking And Dagenham, RM9 6JU	Refused	Erection of a part first floor rear extension.	13/07/2020	Q21. Householder developments	07/09/2020	01/09/2020	Harry Moorhouse	Ela King
20/01432/CLUE	451	67 Bell Farm Avenue, Dagenham, Barking And Dagenham, RM10 7BB	Lawful (Certificate)	Application for a certificate of lawfulness for an existing use: Erection of ground floor side extension	12/07/2020	CLUE - Lawful development: Existing use	06/09/2020	26/08/2020	Lauren Carroll	Angela Lopez
20/01433/PRIEXT	452	74 Ford Road, Dagenham, Barking And Dagenham, RM10 9JP	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.50 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.80 metres.	14/07/2020	PRIEXT - Prior Approval: Larger Home Extension	25/08/2020	24/08/2020	Orla Bermingham	Ela King
20/01434/PRIEXT	453	54 Pemberton Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 6SJ	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.20 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.	14/07/2020	PRIEXT - Prior Approval: Larger Home Extension	25/08/2020	18/08/2020	Cari Jones	Ela King
20/01435/AOD	454	Crown House, 6 Cambridge Road, Barking, Barking And Dagenham, IG11 8HQ	Condition(s) Fully Discharged	Application for approval of details reserved by condition 26 (noise insulation of party construction) in respect of Phase 1 of planning permission 18/01972/FUL	14/07/2020	AOD - Application for approval of details reserved by condition	08/09/2020	24/07/2020	Adele Lawrence	Ela King
20/01436/AOD	455	Crown House, 6 Cambridge Road, Barking, Barking And Dagenham, IG11 8HQ	Condition(s) Fully Discharged	Application for approval of details reserved by Condition 38 (Fire Statement) in respect of Phase 1 of planning permission 18/01972/FUL	14/07/2020	AOD - Application for approval of details reserved by condition	08/09/2020	07/09/2020	Olivia St-Amour	Ela King

20/01437/AOD	456	Crown House, 6 Cambridge Road, Barking, Barking And Dagenham, IG11 8HQ	Condition(s) Fully Discharged	Application for approval of details reserved by Condition 10 (External Materials) in respect of Phase 1 of planning permission 18/01972/FUL	14/07/2020	AOD - Application for approval of details reserved by condition	08/09/2020	24/07/2020	Adele Lawrence	Ela King
20/01438/FULL	457	79e Raydons Road, Dagenham, Barking And Dagenham, RM9 5JL	Approved	LOFT CONVERSION INVOLVING THE CONSTRUCTION OF A REAR DORMER WINDOW.	06/08/2020	Q18. MINOR All other developments	01/10/2020	29/09/2020	Orla Bermingham	Angela Lopez
20/01439/FULL	458	Cromwell Centre, Units 1 & 2, Dagenham, RM8 1QH	Approved	Change of Use of Unit 2 from B1, B2 or B8 to Sui Generis - Trade Only Cash and Carry. Change of Use of Unit 1 from Sui Generis - Trade Only Cash & Carry to B1, B2 or B8. Alteration to external elevations on both units including removal of windows, new cladding, new roof on Unit 2 (with solar panels), alterations to entrance doors and new signage	13/07/2020	Q20. Change of use	07/09/2020	07/09/2020	Vineeta Sharma	Angela Lopez
20/01440/AOD	459	Plots 206a And 208b, Barking, IG11 0YP	Condition(s) Fully Discharged	Application for approval of details reserved by Condition 13 (Wheelchair Parking) and Condition 14 (Water Efficiency) in respect of planning permission 18/02227/REM In respect of plots 206a and 208b	14/07/2020	AOD - Application for approval of details reserved by condition	08/09/2020	29/09/2020	Nasser Farooq	Angela Lopez
20/01441/FULL	460	T-jetty, Barking, IG11 0DS	Approved	Change of use of the existing T-jetty to provide for a riverboat service, including the construction of a new canting brow, pontoon and boardwalk, with associated interim access and landscaping works.	21/07/2020	Q18. MINOR All other developments	15/09/2020	11/11/2020	Nasser Farooq	Angela Lopez
20/01442/FULL	461	News Plus, 786 Green Lane, Dagenham, Barking And Dagenham, RM8 1YT	Refused	Refurbishment of the existing retail area and converting of existing dwelling with new flattened dormers to the rear to provide four new self-contained flats (2 x 1B 2P & 2 x Studios).	23/07/2020	Q13. MINOR Dwellings	17/09/2020	14/09/2020	Lauren Carroll	Angela Lopez
20/01443/HSE	462	54 Bosworth Road, Dagenham, Barking And Dagenham, RM10 7NU	Approved	Erection of double Storey Side, Ground Floor Rear and Part First Floor Rear Extension.	27/07/2020	Q21. Householder developments	21/09/2020	15/09/2020	Cari Jones	Angela Lopez
20/01444/PRIEXT	463	41 Edgefield Avenue, Barking, Barking And Dagenham, IG11 9JL	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	14/07/2020	PRIEXT - Prior Approval: Larger Home Extension	25/08/2020	19/08/2020	Vineeta Sharma	Ela King
20/01445/CLUP	464	42 Victoria Road, Dagenham, Barking And Dagenham, RM10 7XL	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the construction of a rear dormer window and installation of two front rooflights.	14/07/2020	CLUP - Lawful development: Proposed use	08/09/2020	31/07/2020	Orla Bermingham	Ela King
20/01446/FULL	465	59 Marston Avenue, Dagenham, Barking And Dagenham, RM10 7JX	Refused	Removal of porch, alterations to the front elevations and construction of a new two storey 2 bedroom house to the existing attached land to the property.	08/09/2020	Q13. MINOR Dwellings	03/11/2020	28/10/2020	Orla Bermingham	Angela Lopez
20/01447/CLUP	466	53 Dagenham Avenue, Dagenham, Barking And Dagenham, RM9 6LD	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: single storey 3m rear extension.	20/07/2020	CLUP - Lawful development: Proposed use	14/09/2020	31/07/2020	Cari Jones	Ela King
20/01448/VAR	467	31 -35 Mill Lane, Romford, RM6 6TT	Approved	Application to vary condition 2 (Approved Plans/Documents) of Planning permission 20/00483/FUL to replace approved plans with revised plans seeking the following amendments: - Pitched roof added to stair core to accommodate second floor access; - Stair core reconfiguration - Amendment to access between Apartments 1 and 2; Approved development: Demolition of existing buildings and erection of 9 self-contained units, incorporating four 1x bedroom flats and five 2x bedroom flats, including communal cycle storage in rear courtyard and communal refuse	14/07/2020	Q13. MINOR Dwellings	08/09/2020	07/09/2020	Nasser Farooq	Angela Lopez
20/01450/FULL	468	Bixby's, 927 Green Lane, Dagenham, Barking And Dagenham, RM8 1DJ	Approved	Installation of extract ducting over the existing flat roof at the rear elevation	15/07/2020	Q18. MINOR All other developments	09/09/2020	08/09/2020	Vineeta Sharma	Angela Lopez
20/01451/FULL	469	Unit 4b Sterling Industrial Estate, Dagenham, RM10 8TX	Approved	Alterations to front and side elevations, including larger sign board, larger front opening and removal of a side door.	15/07/2020	Q15. MINOR General industry / storage / warehousing	09/09/2020	09/09/2020	Harry Moorhouse	Ela King
20/01452/CLUP	470	74 Ford Road, Dagenham, Barking And Dagenham, RM10 9JP	Not Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the construction of a dormer window and the installation of three front rooflights.	15/07/2020	CLUP - Lawful development: Proposed use	09/09/2020	28/07/2020	Orla Bermingham	Ela King
20/01453/PRIEXT	471	11 Hitherfield Road, Dagenham, Barking And Dagenham, RM8 3PD	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension and installation of a roof light. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 2.50 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.75 metres.	15/07/2020	PRIEXT - Prior Approval: Larger Home Extension	26/08/2020	19/08/2020	Harry Moorhouse	Ela King
20/01454/NONMATT	472	Abbey Retail Park, Abbey Road, Barking, IG11 7BB	Approved	Application for non-material amendment following grant of planning permission 15/01635/FUL : Amendment Condition (3 - Vehicle and Pedestrian Access) of application 15/01635/FUL	10/07/2020	NONMAT - Non-material amendment following a grant of planning permission	07/08/2020	18/11/2020	Olivia St-Amour	Ela King
20/01455/HSE	473	1c Pemberton Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 6SH	Approved	Erection of a single storey front extension and the conversion of garage into a habitable room.	20/07/2020	Q21. Householder developments	14/09/2020	11/09/2020	Cari Jones	Ela King
20/01456/CLUP	474	97 Second Avenue, Dagenham, Barking And Dagenham, RM10 9EA	Lawful (Certificate)	Application for a Certificate of Lawfulness for a Proposed Development: Erection of a single storey outbuilding in the rear garden.	15/07/2020	CLUP - Lawful development: Proposed use	09/09/2020	18/08/2020	Lauren Carroll	Ela King
20/01457/HSE	475	14 Norfolk Road, Dagenham, Barking And Dagenham, RM10 8EX	Refused	Erection of a two storey rear extension.	16/07/2020	Q21. Householder developments	10/09/2020	09/09/2020	Orla Bermingham	Ela King
20/01458/PRIEXT	476	110 Raydons Road, Dagenham, Barking And Dagenham, RM9 5JL	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 2.90 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.	16/07/2020	PRIEXT - Prior Approval: Larger Home Extension	27/08/2020	18/08/2020	Orla Bermingham	Ela King
20/01459/HSE	477	65 Chaplin Road, Dagenham, Barking And Dagenham, RM9 6EP	Refused	Erection of a single storey side extension.	16/07/2020	Q21. Householder developments	10/09/2020	10/09/2020	Lauren Carroll	Ela King
20/01460/HSE	478	93 Kenneth Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6LR	Approved	Erection of a single storey side extension.	16/07/2020	Q21. Householder developments	10/09/2020	31/08/2020	Cari Jones	Ela King
20/01461/CLUP	479	110 Raydons Road, Dagenham, Barking And Dagenham, RM9 5JL	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the construction of a rear dormer window, hip to gable roof alteration and installation of two front rooflights	15/07/2020	CLUP - Lawful development: Proposed use	09/09/2020	28/07/2020	Orla Bermingham	Angela Lopez
20/01462/HSE	480	51 Thorntons Farm Avenue, Rush Green, Romford, Barking And Dagenham, RM7 0TT	Approved	construction of a new first floor window to front elevation	16/07/2020	Q21. Householder developments	10/09/2020	08/09/2020	Cari Jones	Angela Lopez
20/01463/PRIEXT	481	1 Adelaide Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 6SR	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 8.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	16/07/2020	PRIEXT - Prior Approval: Larger Home Extension	27/08/2020	18/08/2020	Cari Jones	Ela King
20/01464/HSE	482	259 Ivyhouse Road, Dagenham, Barking And Dagenham, RM9 5RT	Refused	Erection of a first floor rear extension.	17/07/2020	Q21. Householder developments	11/09/2020	11/09/2020	Harry Moorhouse	Ela King
20/01465/HSE	483	6 Trefgarne Road, Dagenham, Barking And Dagenham, RM10 7QS	Approved	Erection of single storey front and rear extensions and a first floor side extension.	17/07/2020	Q21. Householder developments	11/09/2020	01/09/2020	Orla Bermingham	Ela King
20/01466/FULL	484	21 Hurstbourne Gardens, Barking, Barking And Dagenham, IG11 9UY	Approved	Loft conversion, installation of 2 rear dormer windows and 4 front rooflights in connection with the subdivision of existing C3 dwelling into two family houses.	17/07/2020	Q13. MINOR Dwellings	11/09/2020	31/08/2020	Cari Jones	Ela King
20/01467/PRICOM	485	River Road, Barking Riverside, Barking, IG11 0JU	Prior Approval Granted	Application for prior approval telecommunication: proposed installation of a 20m Phase 8 Monopole C/W wraparound Cabinet at base and associated ancillary works.	21/07/2020	PRICOM - Prior Approval: Development for electronic communications network	15/09/2020	11/09/2020	Harry Moorhouse	Angela Lopez
20/01468/PRICOM	486	Bad13681 - St Marks Place Sw, RM10 8GT	Prior Approval Refused	Application for prior approval telecommunication: proposed installation of 18m phase 8 monopole with 3no cabinets and ancillary works located within adopted Public footpath.	21/07/2020	PRICOM - Prior Approval: Development for electronic communications network	15/09/2020	14/09/2020	Harry Moorhouse	Angela Lopez
20/01469/CLUP	487	39 Albany Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6BS	Not Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: demolition of existing rear conservatory and erection of a single storey rear conservatory and the installation of 3 skylights on the first floor side flat roof and changes to front ground floor window.	20/07/2020	CLUP - Lawful development: Proposed use	14/09/2020	03/09/2020	Harry Moorhouse	Ela King
20/01470/PRIEXT	488	5 Winifred Road, Dagenham, Barking And Dagenham, RM8 1PL	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.175 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.95 metres.	20/07/2020	PRIEXT - Prior Approval: Larger Home Extension	31/08/2020	28/08/2020	Vineeta Sharma	Ela King

	20/01471/HSE	489	7 Maybury Road, Barking, Barking And Dagenham, IG11 0PH	Refused	Erection of a single storey front extension.	20/07/2020	Q21. Householder developments	14/09/2020	31/08/2020	Cari Jones	Ela King
	20/01472/PRICOM	490	Bad13683 - Renwick Road Sw, London, IG11 0XF	Prior Approval Refused	Application for prior approval telecommunication: proposed installation of 20m high streetpole with 3no cabinets and ancillary works located within adopted public footpath.	20/07/2020	PRICOM - Prior Approval: Development for electronic communications network	14/09/2020	11/09/2020	Harry Moorhouse	Ela King
	20/01473/FULL	491	2 Maybury Road, Barking, Barking And Dagenham, IG11 0PJ	Refused	Part demolition of a two storey side extension to be replaced by the construction of a two bedroom, two storey dwellinghouse and the erection of single storey rear extensions.	20/07/2020	Q13. MINOR Dwellings	14/09/2020	11/09/2020	Kathryn McAllister	Ela King
	20/01474/PRIEXT	492	262 Valence Avenue, Dagenham, Barking And Dagenham, RM8 3QX	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.20 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.	20/07/2020	PRIEXT - Prior Approval: Larger Home Extension	31/08/2020	28/08/2020	Vineeta Sharma	Ela King
	20/01476/PRIEXT	493	16 Norfolk Road, Barking, Barking And Dagenham, IG11 7QR	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension and installation of a roof lantern. The proposed extension will extend beyond the rear wall by 4.00 metres. The maximum height of the proposed extension from the natural ground level is 3.90 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.40 metres.	20/07/2020	PRIEXT - Prior Approval: Larger Home Extension	31/08/2020	26/08/2020	Harry Moorhouse	Ela King
	20/01477/CLUP	494	35 Stevens Road, Dagenham, Barking And Dagenham, RM8 2QP	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Erection of a single storey outbuilding in the rear garden.	20/07/2020	CLUP - Lawful development: Proposed use	14/09/2020	31/07/2020	Orla Bermingham	Ela King
	20/01478/FULL	495	251 Morley Road, Barking, Barking And Dagenham, IG11 7DL	Refused	Change of use - C3 dwelling to HMO	20/07/2020	Q13. MINOR Dwellings	14/09/2020	11/09/2020	Orla Bermingham	Ela King
	20/01479/NONMATT	496	2 St Awdrys Road, Barking, Barking And Dagenham, IG11 7QD	Approved	Application for non-material amendment following grant of planning permission 19/01711/FUL : A additional dormer to the rear, second floor, bathroom to enlarge the consented dwelling (unit 3).	17/07/2020	NONMAT - Non-material amendment following a grant of planning permission	14/08/2020	11/08/2020	Kathryn McAllister	Ela King
	20/01480/PRIEXT	497	33 Champness Road, Barking, Barking And Dagenham, IG11 9PD	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.30 metres. The maximum height of the proposed extension from the natural ground level is 2.80 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.80 metres.	19/07/2020	PRIEXT - Prior Approval: Larger Home Extension	30/08/2020	18/08/2020	Orla Bermingham	Ela King
	20/01481/FULL	498	31 Aldersey Gardens, Barking, Barking And Dagenham, IG11 9UG	Refused	The erection of a terrace on first floor level.	17/07/2020	Q13. MINOR Dwellings	11/09/2020	10/09/2020	Lauren Carroll	Ela King
	20/01482/HSE	499	85 Langhorne Road, Dagenham, Barking And Dagenham, RM10 9RA	Refused	Erection of a double storey side extension and construction of a front porch.	21/07/2020	Q21. Householder developments	15/09/2020	11/09/2020	Harry Moorhouse	Ela King
x	20/01483/PRIEXT	500	12 Nutbrowne Road, Dagenham, Barking And Dagenham, RM9 6BQ	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 2.65 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.50 metres.	20/07/2020	PRIEXT - Prior Approval: Larger Home Extension	31/08/2020	18/08/2020	Orla Bermingham	Ela King
	20/01484/PRIEXT	501	13 Waverley Gardens, Barking, Barking And Dagenham, IG11 0BQ	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 4.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	21/07/2020	PRIEXT - Prior Approval: Larger Home Extension	01/09/2020	21/08/2020	Cari Jones	Ela King
	20/01485/CLUP	502	20 Greenway, Dagenham, Barking And Dagenham, RM8 1UL	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the construction of a rear dormer window, hip to gable roof and installation of three front rooflights and removal of chimney	21/07/2020	CLUP - Lawful development: Proposed use	15/09/2020	31/07/2020	Lauren Carroll	Ela King
	20/01486/HSE	503	164 Canonsleigh Road, Dagenham, Barking And Dagenham, RM9 4DH	Approved	Demolition of existing garage for the erection of a proposed single storey side infill extension and internal reconfigurations.	21/07/2020	Q21. Householder developments	15/09/2020	27/08/2020	Lauren Carroll	Ela King
	20/01487/HSE	504	100 East Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6VJ	Approved	Erection of ground and first floor rear extension and loft conversion involving the construction of a rear dormer window and the installation of two front rooflights.	04/08/2020	Q21. Householder developments	29/09/2020	29/09/2020	Lauren Carroll	Ela King
	20/01488/AOD	505	Former Site Of Assembly Plant, Beam Park Development Site Thames Avenue, Dagenham, Barking And Dagenham,	Condition(s) Partially Discharged	Application for approval of details reserved by Condition 9 (Access) in respect of Phase 2b of planning permission 19/01241/OUT.	21/07/2020	AOD - Application for approval of details reserved by condition	15/09/2020	14/10/2020	Grace Liu	Ela King
	20/01489/AOD	506	Former Site Of Assembly Plant, Beam Park Development Site Thames Avenue, Dagenham, Barking And Dagenham,	Condition(s) Partially Discharged	Application for approval of details reserved by Condition 17 (Proposed Site Levels and Finished Floor Levels) in respect of Phase 2 of planning permission 19/01241/OUT.	21/07/2020	AOD - Application for approval of details reserved by condition	15/09/2020	01/12/2020	Grace Liu	Ela King
	20/01490/PRIEXT	507	105 Kingston Hill Avenue, Chadwell Heath, Romford, Barking And Dagenham, RM6 5QL	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.89 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.85 metres.	22/07/2020	PRIEXT - Prior Approval: Larger Home Extension	02/09/2020	21/08/2020	Cari Jones	Ela King
	20/01491/HSE	508	105 Kingston Hill Avenue, Chadwell Heath, Romford, Barking And Dagenham, RM6 5QL	Approved	Erection of a single storey front extension with mono pitched roof.	22/07/2020	Q21. Householder developments	16/09/2020	11/09/2020	Orla Bermingham	Ela King
	20/01492/CLUP	509	89 Haydon Road, Dagenham, Barking And Dagenham, RM8 3RR	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the construction of a rear dormer, hip to gable roof and the installation of three front rooflights and a Juliette Style Balcony	22/07/2020	CLUP - Lawful development: Proposed use	16/09/2020	18/08/2020	Lauren Carroll	Ela King
	20/01493/PRIEXT	510	121 Sterry Road, Dagenham, Barking And Dagenham, RM10 8QA	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.	21/07/2020	PRIEXT - Prior Approval: Larger Home Extension	01/09/2020	24/08/2020	Orla Bermingham	Ela King
	20/01494/AOD	511	Former Site Of Assembly Plant, Beam Park Development Site Thames Avenue, Dagenham, Barking And Dagenham,	Condition(s) Partially Discharged	Application for approval of details reserved by Condition 5 (Contamination) in respect of planning permission 18/00349/FUL.	22/07/2020	AOD - Application for approval of details reserved by condition	16/09/2020	02/11/2020	Grace Liu	Ela King
	20/01495/FULL	512	Launderette Services, 115 Rose Lane, Chadwell Heath, Romford, Barking And Dagenham, RM6 5NR	Approved	Erection of a single storey rear extension to a shop.	24/07/2020	Q16. MINOR Retail and service	18/09/2020	14/09/2020	Lauren Carroll	Ela King
	20/01496/HSE	513	39 Goodey Road, Barking, Barking And Dagenham, IG11 9PB	Approved	Conversion of garage into habitable room and change of garage door to window	22/07/2020	Q21. Householder developments	16/09/2020	11/09/2020	Lauren Carroll	Ela King
	20/01497/HSE	514	65a Mayswood Gardens, 65 Mayswood Gardens, Dagenham, Barking And Dagenham, RM10 8JU	Approved	Erection of single storey rear extension and loft conversion.	22/07/2020	Q21. Householder developments	16/09/2020	11/09/2020	Cari Jones	Ela King
	20/01498/HSE	515	56 Third Avenue, Dagenham, Barking And Dagenham, RM10 9BA	Refused	Erection of a first floor rear extension.	23/07/2020	Q21. Householder developments	17/09/2020	15/09/2020	Orla Bermingham	Ela King
	20/01499/FULL	516	145a Broad Street, Dagenham, Barking And Dagenham, RM10 9HX	Approved	Change of Use: First floor B1 Tattoo studio to C3 residential flat.	22/07/2020	Q13. MINOR Dwellings	16/09/2020	14/09/2020	Harry Moorhouse	Ela King
	20/01500/PRICOM	517	Bad14873, Dagenham, RM10 8PS	Prior Approval Granted	Application for prior approval telecommunication: proposed installation of a 20m Phase 8 Monopole C/W wraparound Cabinet at base and associated ancillary works.	22/07/2020	PRICOM - Prior Approval: Development for electronic communications network	16/09/2020	14/09/2020	Harry Moorhouse	Ela King
	20/01501/HSE	518	70 Stratton Drive, Barking, Barking And Dagenham, IG11 9HD	Approved	Erection of a single storey outbuilding in the rear garden.	23/07/2020	Q21. Householder developments	17/09/2020	14/09/2020	Harry Moorhouse	Ela King
	20/01502/PRIEXT	519	7 Foxlands Road, Dagenham, Barking And Dagenham, RM10 8XU	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 2.70 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.70 metres.	23/07/2020	PRIEXT - Prior Approval: Larger Home Extension	03/09/2020	02/09/2020	Vineeta Sharma	Ela King
	20/01503/PRIEXT	520	25 Temple Avenue, Dagenham, Barking And Dagenham, RM8 1LL	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.00 metres. The maximum height of the proposed extension from the natural ground level is 2.90 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.	23/07/2020	PRIEXT - Prior Approval: Larger Home Extension	03/09/2020	24/08/2020	Harry Moorhouse	Ela King

20/01504/HSE	521	87 Clemence Road, Dagenham, Barking And Dagenham, RM10 9YQ	Approved	Demolition of existing rear conservatory for the erection of a single storey rear extension with pitched roof and velux lights. Conversion of garage into habitable room with the installation of flank wall ground floor windows and a single storey front extension to form a porch.	23/07/2020	Q21. Householder developments	17/09/2020	27/08/2020	Lauren Carroll	Ela King
20/01505/HSE	522	393 Ripple Road, Barking, Barking And Dagenham, IG11 9PN	Refused	Erection of a single storey outbuilding in the rear garden	23/07/2020	Q21. Householder developments	17/09/2020	15/09/2020	Orla Bermingham	Ela King
20/01506/CLUP	523	83 Burnside Road, Dagenham, Barking And Dagenham, RM8 1YD	Not Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Erection of a single storey outbuilding in the rear garden.	23/07/2020	CLUP - Lawful development: Proposed use	17/09/2020	18/08/2020	Harry Moorhouse	Ela King
20/01507/PRIEXT	524	6 Greatfields Road, Barking, Barking And Dagenham, IG11 7TX	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.	23/07/2020	PRIEXT - Prior Approval: Larger Home Extension	03/09/2020	24/08/2020	Harry Moorhouse	Ela King
20/01508/PRIEXT	525	11 Foxlands Crescent, Dagenham, Barking And Dagenham, RM10 7TB	Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.00 metres. The maximum height of the proposed extension from the natural ground level is 3.20 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	23/07/2020	PRIEXT - Prior Approval: Larger Home Extension	03/09/2020	02/09/2020	Lauren Carroll	Ela King
20/01509/CLUP	526	33 Suffolk Road, Barking, Barking And Dagenham, IG11 7QP	Not Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Erection of a single storey outbuilding in the rear garden.	24/07/2020	CLUP - Lawful development: Proposed use	18/09/2020	28/07/2020	Lauren Carroll	Ela King
20/01510/CLUP	527	11 Foxlands Crescent, Dagenham, Barking And Dagenham, RM10 7TB	Not Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the construction of a rear dormer, hip to gable roof and the installation of two front velux rooflights.	24/07/2020	CLUP - Lawful development: Proposed use	18/09/2020	17/09/2020	Lauren Carroll	Ela King
20/01511/HSE	528	27 Purland Close, Dagenham, Barking And Dagenham, RM8 1AS	Refused	Demolition of existing Garage and Erection of single storey outbuilding in garden.	24/07/2020	Q21. Householder developments	18/09/2020	31/08/2020	Cari Jones	Ela King
20/01512/PRIEXT	529	35 Pemberton Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 6SJ	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 2.80 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.80 metres.	24/07/2020	PRIEXT - Prior Approval: Larger Home Extension	04/09/2020	26/08/2020	Lauren Carroll	Ela King
20/01513/HSE	530	86 East Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6YT	Refused	Erection of a double storey rear and side extension.	27/07/2020	Q21. Householder developments	21/09/2020	14/09/2020	Lauren Carroll	Ela King
20/01514/AOD	531	Plot 63, 65, 67 And 70, At Segro Park Dagenham, Dagenham Docks, London, RM9 6PU	Condition(s) Partially Discharged	Application for the partial discharge of details reserved by Condition 4 (Contamination and Remediation) in respect of plot 63 of planning permission 19/00904/FUL.	24/07/2020	AOD - Application for approval of details reserved by condition	18/09/2020	29/09/2020	Nasser Farooq	Ela King
20/01515/PRIEXT	532	135 Hatfield Road, Dagenham, Barking And Dagenham, RM9 6JT	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.80 metres.	24/07/2020	PRIEXT - Prior Approval: Larger Home Extension	04/09/2020	26/08/2020	Lauren Carroll	Ela King
20/01516/PRIEXT	533	54 Waverley Gardens, Barking, Barking And Dagenham, IG11 0BH	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.	24/07/2020	PRIEXT - Prior Approval: Larger Home Extension	04/09/2020	21/08/2020	Lauren Carroll	Ela King
20/01517/CLUP	534	205 Sheppey Road, Dagenham, Barking And Dagenham, RM9 4JS	Not Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of an outbuilding.	10/09/2020	CLUP - Lawful development: Proposed use	05/11/2020	13/10/2020	Orla Bermingham	Ela King
20/01518/PRIEXT	535	40 Greenway, Dagenham, Barking And Dagenham, RM8 1UL	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.00 metres. The maximum height of the proposed extension from the natural ground level is 4.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	27/07/2020	PRIEXT - Prior Approval: Larger Home Extension	07/09/2020	31/08/2020	Cari Jones	Ela King
20/01519/FULL	536	65 Clementhorpe Road, Dagenham, Barking And Dagenham, RM9 4BJ	Refused	Change of use of Dwellinghouse C3(a) to Specialist Housing	17/08/2020	Q20. Change of use	12/10/2020	12/10/2020	Lauren Carroll	Ela King
20/01520/FULL	537	20 Tenby Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6NB	Refused	Construction of a two storey, three bedroom dwellinghouse to side of existing dwellinghouse and construction of a first floor rear extension to existing dwellinghouse.	28/08/2020	Q13. MINOR Dwellings	23/10/2020	20/10/2020	Kathryn McAllister	Ela King
20/01521/HSE	538	24 Keir Hardie Way, Barking, Barking And Dagenham, IG11 9NY	Approved	Erection of access ramp with handrails in front of property for disabled occupant.	27/07/2020	Q21. Householder developments	21/09/2020	15/09/2020	Orla Bermingham	Ela King
20/01522/CLUP	539	40 Greenway, Dagenham, Barking And Dagenham, RM8 1UL	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the construction of a rear dormer window, hip to gable roof and the installation of two front rooflights.	27/07/2020	CLUP - Lawful development: Proposed use	21/09/2020	04/08/2020	Orla Bermingham	Ela King
20/01523/PRIEXT	540	314 Wood Lane, Dagenham, Barking And Dagenham, RM9 5TB	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.85 metres.	27/07/2020	PRIEXT - Prior Approval: Larger Home Extension	07/09/2020	02/09/2020	Vineeta Sharma	Ela King
20/01524/HSE	541	24 Central Park Avenue, Dagenham, Barking And Dagenham, RM10 7DA	Refused	Demolition of existing outbuilding and an erection of ancillary granny annex.	27/07/2020	Q21. Householder developments	21/09/2020	15/09/2020	Orla Bermingham	Ela King
20/01525/HSE	542	9 Albert Road, Dagenham, Barking And Dagenham, RM8 1LR	Approved	Conversion of flat roof to hipped roof to match and extend the existing hipped roof	27/07/2020	Q21. Householder developments	21/09/2020	31/08/2020	Cari Jones	Ela King
20/01526/HSE	543	20 Jasmine Road, Rush Green, Romford, Barking And Dagenham, RM7 0WZ	Approved	Erection of a single storey rear extension	27/07/2020	Q21. Householder developments	21/09/2020	15/09/2020	Cari Jones	Ela King
20/01527/PRIEXT	544	24 Brendon Road, Dagenham, Barking And Dagenham, RM8 1LT	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.	27/07/2020	PRIEXT - Prior Approval: Larger Home Extension	07/09/2020	27/08/2020	Lauren Carroll	Ela King
20/01528/CLUP	545	2b Ashton Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 6RT	Lawful (Certificate)	An Application for a Certification of Lawfulness for a Proposed Development - Erection of a single storey ground floor rear extension and loft conversion with rear dormer and two front rooflights	27/07/2020	CLUP - Lawful development: Proposed use	21/09/2020	18/08/2020	Lauren Carroll	Ela King
20/01529/CLUP	546	15 Cranmer Gardens, Dagenham, Barking And Dagenham, RM10 7TJ	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the construction of a rear dormer window, hip to gable roof and the installation of three front rooflights.	27/07/2020	CLUP - Lawful development: Proposed use	21/09/2020	18/08/2020	Cari Jones	Ela King
20/01530/HSE	547	184 Westrow Drive, Barking, Barking And Dagenham, IG11 9BT	Approved	PROPOSED SINGLE STOREY SIDE & REAR EXTENSIONS AND TWO STOREY REAR EXTENSION.	27/07/2020	Q21. Householder developments	21/09/2020	17/09/2020	Lauren Carroll	Ela King
20/01531/PRIEXT	548	2b Ashton Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 6RT	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.30 metres. The maximum height of the proposed extension from the natural ground level is 2.95 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.85 metres.	27/07/2020	PRIEXT - Prior Approval: Larger Home Extension	07/09/2020	02/09/2020	Lauren Carroll	Ela King
20/01532/HSE	549	73 Valentines Way, Rush Green, Romford, Barking And Dagenham, RM7 0YD	Approved	Erection of a ground floor rear extension to provide a bedroom and bathroom for the disabled occupant	30/07/2020	Q21. Householder developments	24/09/2020	15/09/2020	Cari Jones	Ela King
20/01533/PRIEXT	550	23 Brittain Road, Dagenham, Barking And Dagenham, RM8 3DB	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 2.90 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.80 metres.	27/07/2020	PRIEXT - Prior Approval: Larger Home Extension	07/09/2020	31/08/2020	Cari Jones	Ela King
20/01534/HSE	551	23 Brittain Road, Dagenham, Barking And Dagenham, RM8 3DB	Refused	Erection of part-single/part-two storey rear extension and installation of window on side elevation.	07/08/2020	Q21. Householder developments	02/10/2020	30/09/2020	Lauren Carroll	Ela King
20/01535/CLUP	552	83 Fieldway, Dagenham, Barking And Dagenham, RM8 2BB	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Erection of a single storey outbuilding in the rear garden.	28/07/2020	CLUP - Lawful development: Proposed use	22/09/2020	15/09/2020	Orla Bermingham	Ela King

20/01536/FULL	553	Aria, 31 Longbridge Road, Barking, Barking And Dagenham, IG11 8TN	Refused	Installation of retractable canopy and timber enclosure to the front of the property in order to create external seating area	29/07/2020	Q16. MINOR Retail and service	23/09/2020	17/09/2020	Kathryn McAllister	Ela King
20/01538/AOD	554	Former Site Of Assembly Plant, Beam Park Development Site Thames Avenue, Dagenham, Barking And Dagenham,	Condition(s) Partially Discharged	Application for approval of details reserved by condition 69 (Bird Hazard Management Plan), in respect of planning permission 19/01241/OUT, phase 2 only.	29/07/2020	AOD - Application for approval of details reserved by condition	23/09/2020	15/09/2020	Grace Liu	Angela Lopez
20/01539/HSE	555	70 Burlington Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 6ET	Refused	Retrospective planning application for an extension to the existing outbuilding and single storey ground floor rear/side infill extension and raised parapet wall.	27/07/2020	Q21. Householder developments	21/09/2020	18/09/2020	Harry Moorhouse	Angela Lopez
20/01540/AOD	556	Former Site Of Assembly Plant, Beam Park Development Site Thames Avenue, Dagenham, Barking And Dagenham,	Condition(s) Partially Discharged	Application for approval of details reserved by Condition 30 (Biodiversity and Ecological Strategy and Landscape Management Plan) in respect of Phase 2 of planning permission 19/01241/OUT.	28/07/2020	AOD - Application for approval of details reserved by condition	22/09/2020	01/12/2020	Grace Liu	Ela King
20/01541/TPO	557	Campus Avenue, Dagenham, RM8 2FW	Approved	Application for tree works subject to a tree preservation order: remove any crossing or rubbing branches, deadwood and lightly prune any over extended lateral branches by no more than 0.5m, to encourage healthy and balanced tree formation to 12 x Hornbeam & 1x Oak (G2) & 12x Callery Pear (G3).	27/07/2020	TPO - Works to trees subject to a tree preservation order	21/09/2020	29/09/2020	Grace Liu	Angela Lopez
20/01542/TPO	558	Chancellor Way, Dagenham, RM8 2DD	Approved	Application for tree works subject to a tree preservation order: remove any crossing or rubbing branches, deadwood and lightly prune any over extended lateral branches by no more than 0.5m, to encourage healthy and balanced tree formation to 5x Hawthorn Stricta and 4x Cherry Spire (G1), 1x Common Lime, 7x Cherry Spire (G2), 2x Honey Locust and 8x Cherry Spire (G3), 4x Cherry Spire and 4x Japanese Rowan (G4), 1x Sorbus Commixta, 9x Sorbus Aucuparia and 2x Malus Trilobata (G5), 13x Serviceberry (G6) & 5x Cherry Spire (G7).	28/07/2020	TPO - Works to trees subject to a tree preservation order	22/09/2020	29/09/2020	Grace Liu	Angela Lopez
20/01544/HSE	559	66 Standfield Road, Dagenham, Barking And Dagenham, RM10 8JT	Approved	Erection of two-storey rear extension, loft conversion involving the construction of rear dormer window, hip to gable roof alteration and installation of three front rooflights.	28/07/2020	Q21. Householder developments	22/09/2020	17/09/2020	Lauren Carroll	Angela Lopez
20/01545/PRIEXT	560	122 Mill Lane, Chadwell Heath, Romford, Barking And Dagenham, RM6 6RS	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3 metres.	29/07/2020	PRIEXT - Prior Approval: Larger Home Extension	09/09/2020	01/09/2020	Orla Bermingham	Ela King
20/01546/PRIEXT	561	24 Haskard Road, Dagenham, Barking And Dagenham, RM9 5XS	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	29/07/2020	PRIEXT - Prior Approval: Larger Home Extension	09/09/2020	31/08/2020	Cari Jones	Ela King
20/01547/FULL	562	Oaks Centre Collier Row Road, Chadwell Heath, Romford, Barking And Dagenham, RM5 2DD	Approved	ERECTION OF SINGLE STOREY TEMPORARY STRUCTURE TO CREATE TWO CLASSROOMS	31/07/2020	Q18. MINOR All other developments	25/09/2020	17/09/2020	Lauren Carroll	Angela Lopez
20/01548/FULL	563	The Warren School, School Site Whalebone Lane North, Chadwell Heath, Romford, Barking And Dagenham, RM6 6SB	Approved	New Entrance and stairs into Science and Sixth Form Centre	29/07/2020	Q18. MINOR All other developments	23/09/2020	15/09/2020	Orla Bermingham	Angela Lopez
20/01549/PRIEXT	564	191 Wilmington Gardens, Barking, Barking And Dagenham, IG11 9TT	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.	29/07/2020	PRIEXT - Prior Approval: Larger Home Extension	09/09/2020	07/09/2020	Vineeta Sharma	Ela King
20/01550/CLUP	565	68 Manor Road, Dagenham, Barking And Dagenham, RM10 8AX	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft Conversion involving the construction of a rear dormer window.	30/07/2020	CLUP - Lawful development: Proposed use	24/09/2020	18/08/2020	Lauren Carroll	Ela King
20/01551/CLUP	566	30 Cranleigh Gardens, Barking, Barking And Dagenham, IG11 9TJ	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the construction of a rear dormer window and the installation of three front rooflights.	30/07/2020	CLUP - Lawful development: Proposed use	24/09/2020	19/08/2020	Orla Bermingham	Ela King
20/01552/AOD	567	Land At Former Sanofi Aventis Site, Dagenham, RM10 7XS	Condition(s) Fully Discharged	Application for approval of details reserved by Condition 31 (VERIFICATION REPORT) and Condition 33 (REMEDIATION STRATEGY) in respect of planning permission 18/00161/FUL.	31/07/2020	AOD - Application for approval of details reserved by condition	25/09/2020	15/09/2020	Olivia St-Amour	Angela Lopez
20/01553/HSE	568	191 Wilmington Gardens, Barking, Barking And Dagenham, IG11 9TT	Approved	Erection of single storey rear extension and conversion of garage into a habitable room.	29/07/2020	Q21. Householder developments	23/09/2020	15/09/2020	Orla Bermingham	Angela Lopez
20/01554/PRIEXT	569	68 Manor Road, Dagenham, Barking And Dagenham, RM10 8AX	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension with 2 No. rooflights. The proposed extension will extend beyond the rear wall by 4.50 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	30/07/2020	PRIEXT - Prior Approval: Larger Home Extension	10/09/2020	03/09/2020	Harry Moorhouse	Ela King
20/01555/AOD	570	Abbey Retail Park Abbey Road, Barking, Barking And Dagenham,	Condition(s) Fully Discharged	Application for approval of details reserved by Condition 43 (Storage and Disposal of Refuse) in respect of planning permission 15/01635 /FUL.	29/07/2020	AOD - Application for approval of details reserved by condition	23/09/2020	16/11/2020	Olivia St-Amour	Angela Lopez
20/01556/CLUP	571	25 Ventnor Gardens, Barking, Barking And Dagenham, IG11 9JY	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the construction of a rear dormer window with Juliette balcony, and the installation of 4 front rooflights.	30/07/2020	CLUP - Lawful development: Proposed use	24/09/2020	18/08/2020	Orla Bermingham	Ela King
20/01557/CLUP	572	10 Halsham Crescent, Barking, Barking And Dagenham, IG11 9HQ	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving construction of rear dormer window and two front rooflights.	30/07/2020	CLUP - Lawful development: Proposed use	24/09/2020	18/08/2020	Cari Jones	Angela Lopez
20/01558/CLUE	573	74 Oxlow Lane, Dagenham, Barking And Dagenham, RM9 5XD	Lawful (Certificate)	Application for a certificate of lawfulness for a Existing development: Loft conversion involving the construction of a rear dormer window, hip to gable end roof and installation of two front rooflights.	30/07/2020	CLUE - Lawful development: Existing use	24/09/2020	17/09/2020	Kathryn McAllister	Angela Lopez
20/01559/PRICOM	574	Parsloes Avenue, Dagenham, RM9 5NT	Prior Approval Refused	Application for prior approval telecommunications: Proposed 18m Phase 8 Monopole C/W wraparound Cabinet at base and associated ancillary works.	30/07/2020	PRICOM - Prior Approval: Development for electronic communications network	24/09/2020	21/09/2020	Harry Moorhouse	Ela King
20/01560/CLUP	575	13 Wayside Gardens, Dagenham, Barking And Dagenham, RM10 8QH	Not Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Demolition of existing outbuilding and erection of new outbuilding for ancillary annex use	30/07/2020	CLUP - Lawful development: Proposed use	24/09/2020	15/09/2020	Orla Bermingham	Angela Lopez
20/01561/HSE	576	13 Oglethorpe Road, Dagenham, Barking And Dagenham, RM10 7SA	Refused	Construction of a single storey rear extension and two storey side extension.	04/09/2020	Q21. Householder developments	30/10/2020	05/10/2020	Cari Jones	Angela Lopez
20/01562/PRICOM	577	Ripple Road, Thames View, London, IG11 9RS	Prior Approval Granted	Application for prior approval telecommunication: Installation of 18 metre high Phase 8 Monopole C/W wraparound Cabinet at base & associated ancillary works.	30/07/2020	PRICOM - Prior Approval: Development for electronic communications network	24/09/2020	21/09/2020	Harry Moorhouse	Angela Lopez
20/01563/CLUP	578	4 Salisbury Avenue, Barking, Barking And Dagenham, IG11 9XW	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the construction of a rear dormer window, and installation of three front rooflights.	30/07/2020	CLUP - Lawful development: Proposed use	24/09/2020	18/08/2020	Harry Moorhouse	Angela Lopez
20/01564/HSE	579	32 Adelaide Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 6SS	Approved	Erection of a single ground floor rear extension to provide a bedroom and bathroom for the disabled Occupant	30/07/2020	Q21. Householder developments	24/09/2020	18/09/2020	Kathryn McAllister	Angela Lopez
20/01565/PRIEXT	580	37 Wood Lane, Dagenham, Barking And Dagenham, RM8 3ND	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension and installation of a roof lantern. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	31/07/2020	PRIEXT - Prior Approval: Larger Home Extension	11/09/2020	11/09/2020	Harry Moorhouse	Ela King
20/01566/PRIEXT	581	50 Burlington Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 6ET	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.225 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	31/07/2020	PRIEXT - Prior Approval: Larger Home Extension	11/09/2020	27/08/2020	Lauren Carroll	Ela King
20/01567/PRIOFF	582	7, Apollo House, RM6 4BP	Prior Approval Granted	Application for prior approval: Notification of a proposed change of use from Class B1a (Offices) to C3 dwellinghouses (6 flats).	31/07/2020	PRIOFF - Prior Approval: Change of use - office to dwellinghouses	25/09/2020	21/09/2020	Lauren Carroll	Ela King

20/01568/CLUP	583	42 Ilchester Road, Dagenham, Barking And Dagenham, RM8 2YU	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the Construction of a rear dormer extension including two roof lights to the front to facilitate conversion of roof space into habitable accommodation.	24/08/2020	CLUP - Lawful development: Proposed use	19/10/2020	15/09/2020	Lauren Carroll	Ela King
20/01569/HSE	584	6 Albert Road, Dagenham, Barking And Dagenham, RM8 1LR	Approved	Construction of a single storey rear conservatory.	20/11/2020	Q21. Householder developments	15/01/2021	16/12/2020	Orla Bermingham	Ela King
20/01571/HSE	585	8 Morgan Crescent, Dagenham, Barking And Dagenham, RM8 1ER	Approved	Erection of a single storey rear extension.	03/08/2020	Q21. Householder developments	28/09/2020	15/09/2020	Cari Jones	Ela King
20/01572/HSE	586	9 Morgan Crescent, Dagenham, Barking And Dagenham, RM8 1ER	Approved	Erection of a single storey rear extension	03/08/2020	Q21. Householder developments	28/09/2020	21/09/2020	Harry Moorhouse	Ela King
20/01573/FULL	587	New Shanghai, 62 Longbridge Road, Barking, Barking And Dagenham, IG11 8RT	Approved	Construction of a single rear storey extension to form new shisha bar addition to restaurant/bar facilities.	25/08/2020	Q16. MINOR Retail and service	20/10/2020	19/10/2020	Lauren Carroll	Ela King
20/01574/FULL	588	360 Becontree Avenue, Dagenham, RM8 2TL	Refused	Construction of a new two bedroom bungalow.	20/07/2020	Q13. MINOR Dwellings	14/09/2020	11/09/2020	Kathryn McAllister	Angela Lopez
20/01575/PRIEXT	589	20 Glenmore Way, Barking, Barking And Dagenham, IG11 0LY	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 3.65 metres. The maximum height of the proposed extension from the natural ground level is 3.10 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.95 metres.	03/08/2020	PRIEXT - Prior Approval: Larger Home Extension	14/09/2020	11/09/2020	Lauren Carroll	Ela King
20/01576/PRIEXT	590	102 Gay Gardens, Dagenham, Barking And Dagenham, RM10 7TH	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.10 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.77 metres.	03/08/2020	PRIEXT - Prior Approval: Larger Home Extension	14/09/2020	11/09/2020	Orla Bermingham	Ela King
20/01577/HSE	591	557 Becontree Avenue, Dagenham, Barking And Dagenham, RM8 3JR	Approved	Erection of an access ramp with handrails to the front of the property for disabled occupant.	03/08/2020	Q21. Householder developments	28/09/2020	31/08/2020	Cari Jones	Ela King
20/01578/HSE	592	17 Manor Road, Dagenham, Barking And Dagenham, RM10 8AU	Approved	Erection of single storey rear extension with pitched roof and velux roof lights.	03/08/2020	Q21. Householder developments	28/09/2020	15/09/2020	Cari Jones	Ela King
20/01579/FULL	593	17, Warren Terrace, Chadwell Heath, Romford, Barking And Dagenham, RM6 5SB	Refused	Conversion of existing dwelling house into 2no. flats (1xbedroom flat and 1 two-bedroom flat) and c onstruction of single storey rear extension.	21/09/2020	Q13. MINOR Dwellings	16/11/2020	12/11/2020	Lauren Carroll	Angela Lopez
20/01580/CLUP	594	21 Ventnor Gardens, Barking, Barking And Dagenham, IG11 9JY	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the construction of a rear dormer window, hip to gable end roof and installation of four front rooflights.	03/08/2020	CLUP - Lawful development: Proposed use	28/09/2020	18/08/2020	Lauren Carroll	Angela Lopez
20/01581/PRIEXT	595	27 Beccles Drive, Barking, Barking And Dagenham, IG11 9HX	Prior Approval Granted	Prior notification application for the construction of a single storey rear extension with a roof lantern. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.4 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.60 metres.	04/08/2020	PRIEXT - Prior Approval: Larger Home Extension	15/09/2020	14/09/2020	Harry Moorhouse	Ela King
20/01582/HSE	596	57 Chaplin Road, Dagenham, Barking And Dagenham, RM9 6EL	Refused	Erection of a part first floor rear extension with hipped roof.	04/08/2020	Q21. Householder developments	29/09/2020	28/09/2020	Lauren Carroll	Ela King
20/01583/CLUP	597	378 Valence Avenue, Dagenham, Barking And Dagenham, RM8 3QU	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the construction of a rear dormer window and installation of two front rooflights	04/08/2020	CLUP - Lawful development: Proposed use	29/09/2020	18/08/2020	Orla Bermingham	Angela Lopez
20/01584/PRIEXT	598	52 Lincoln Avenue, Romford, RM7 0SR	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The details submitted are as follows: The proposed extension will extend beyond the rear wall by 6.0m, The maximum height of the proposed extension from the natural ground level is 4.0m, The height at eaves level of the proposed extension measured from the natural ground level is 3.0m	02/06/2020	PRIEXT - Prior Approval: Larger Home Extension	14/07/2020	04/09/2020	Kathryn McAllister	Angela Lopez
20/01585/NONMATT	599	Stage 2 North, Plot 206a, Barking Riverside, Barking, IG11 0DS	Approved	Application for non-material amendment following grant of planning permission 18/02227/REM: Amendments to layout and elevation of townhouses, Removal of Juliet balustrades from windows onto the internal courtyard gardens, Inclusion of windows onto setback terraces, Amendments to mortar colours and Amendments to ensure compliance with revised ABD fire regulations.	05/08/2020	NONMAT - Non-material amendment following a grant of planning permission	02/09/2020	30/09/2020	Nasser Farooq	Ela King
x 20/01586/PRICOM	600	Rainham Road North, London , RM10 7EJ	Prior Approval Refused	Application for prior approval telecommunication: Proposed 18m Phase 8 Monopole C/W wraparound Cabinet at base and associated ancillary works.	04/08/2020	PRICOM - Prior Approval: Development for electronic communications network	29/09/2020	18/09/2020	Harry Moorhouse	Angela Lopez
20/01587/PRICOM	601	Maxey Road, London , RM9 5QJ	Prior Approval Refused	Application for prior approval telecommunication: Proposed 18m Phase 8 Monopole C/W wraparound Cabinet at base and associated ancillary works.	04/08/2020	PRICOM - Prior Approval: Development for electronic communications network	29/09/2020	21/09/2020	Harry Moorhouse	Angela Lopez
20/01588/PRIEXT	602	61 Winifred Road, Dagenham, Barking And Dagenham, RM8 1PP	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The details submitted are as follows: The proposed extension will extend beyond the rear wall by 6.0m, The maximum height of the proposed extension from the natural ground level is 3.0m, The height at eaves level of the proposed extension measured from the natural ground level is 3.0m	23/07/2020	PRIEXT - Prior Approval: Larger Home Extension	03/09/2020	02/09/2020	Kathryn McAllister	Angela Lopez
20/01589/CLUP	603	7 Margery Road, Dagenham, Barking And Dagenham, RM8 3AX	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Erection of outbuilding in rear garden.	04/08/2020	CLUP - Lawful development: Proposed use	29/09/2020	03/09/2020	Cari Jones	Angela Lopez
20/01590/PRIEXT	604	52 Marlborough Road, Dagenham, Barking And Dagenham, RM8 2ES	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.00 metres. The maximum height of the proposed extension from the natural ground level is 2.75 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	05/08/2020	PRIEXT - Prior Approval: Larger Home Extension	16/09/2020	11/09/2020	Lauren Carroll	Ela King
20/01591/CLUP	605	49 Wilmington Gardens, Barking, Barking And Dagenham, IG11 9TP	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the construction of a rear dormer window with Juliette balcony and installation of two front rooflights.	05/08/2020	CLUP - Lawful development: Proposed use	30/09/2020	18/08/2020	Cari Jones	Ela King
20/01592/HSE	606	55 Davington Road, Dagenham, Barking And Dagenham, RM8 2LS	Approved	Erection of an access ramp with handrail to the front of property for disabled occupant.	05/08/2020	Q21. Householder developments	30/09/2020	18/09/2020	Orla Bermingham	Ela King
20/01593/FULL	607	The Bull Inn, Bull Inn Rainham Road South, Dagenham, Barking And Dagenham, RM10 8AQ	Refused	Change of Use a portion of the existing Car Park into Automobile Sales in the forecourt under a Su1 Generis use category	28/09/2020	Q20. Change of use	23/11/2020	23/11/2020	Harry Moorhouse	Angela Lopez
20/01594/FULL	608	454a Lodge Avenue, Dagenham, Barking And Dagenham, RM9 4QS	Refused	Conversion of existing maisonette to provide two self contained flats including conversion of loftspace One no. 1-bed 2 person, One no. 3-bed 4 person	05/08/2020	Q13. MINOR Dwellings	30/09/2020	29/09/2020	Kathryn McAllister	Angela Lopez
20/01595/CLUP	609	66 Mayswood Gardens, Dagenham, Barking And Dagenham, RM10 8UT	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the construction of a rear dormer window and installation of three front rooflights.	06/08/2020	CLUP - Lawful development: Proposed use	01/10/2020	18/09/2020	Kathryn McAllister	Ela King
20/01596/HSE	610	11 Panyers Gardens, Dagenham, Barking And Dagenham, RM10 7FG	Approved	Erection of a single storey rear extension.	06/08/2020	Q21. Householder developments	01/10/2020	29/09/2020	Harry Moorhouse	Ela King
20/01597/CLUP	611	88 Oulton Crescent, Barking, Barking And Dagenham, IG11 9HF	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving construction of a rear dormer window and four front rooflights.	05/08/2020	CLUP - Lawful development: Proposed use	30/09/2020	17/09/2020	Kathryn McAllister	Angela Lopez
20/01598/HSE	612	66 Mayswood Gardens, Dagenham, Barking And Dagenham, RM10 8UT	Refused	Demolition of existing conservatory and erection of two storey rear extension.	05/08/2020	Q21. Householder developments	30/09/2020	29/09/2020	Harry Moorhouse	Angela Lopez
20/01599/PRIEXT	613	66 Mayswood Gardens, Dagenham, Barking And Dagenham, RM10 8UT	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 5.00 metres. The maximum height of the proposed extension from the natural ground level is 3.20 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	06/08/2020	PRIEXT - Prior Approval: Larger Home Extension	17/09/2020	15/09/2020	Orla Bermingham	Ela King
20/01600/CLUP	614	119 Heathway, Dagenham, Barking And Dagenham, RM9 6AG	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion involving the construction of a rear dormer window and the installation of three front rooflights.	06/08/2020	CLUP - Lawful development: Proposed use	01/10/2020	17/09/2020	Kathryn McAllister	Ela King
20/01601/FULL	615	Eastbury Community School, Hulse Avenue, Barking, IG11 9UW	Approved	To install 3 No MUGA Courts, with all weather macadam surface, on the site of an existing sports field within the grounds of Eastbury Community School.	06/08/2020	Q18. MINOR All other developments	01/10/2020	29/09/2020	Orla Bermingham	Angela Lopez
20/01602/HSE	616	60 Rose Lane, Chadwell Heath, Romford, Barking And Dagenham, RM6 5JU	Refused	Erection of part single/part two storey rear extension and loft conversion .	06/08/2020	Q21. Householder developments	01/10/2020	30/09/2020	Lauren Carroll	Angela Lopez

20/01604/CLUP	617	94 Raydons Road, Dagenham, Barking And Dagenham, RM9 5JL	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion with hip to gable construction involving the construction of a rear dormer and installation of three front rooflights.	07/08/2020	CLUP - Lawful development: Proposed use	02/10/2020	18/08/2020	Harry Moorhouse	Ela King
20/01605/HSE	618	42 Chelmer Crescent, Barking, Barking And Dagenham, IG11 0PY	Approved	Erection of part two-storey rear extension and part single-storey front extension.	07/08/2020	Q21. Householder developments	02/10/2020	15/09/2020	Cari Jones	Ela King
20/01606/HSE	619	49 St Georges Road, Dagenham, Barking And Dagenham, RM9 5JD	Approved	Erection of a part-single, part-double storey rear extension and the installation of two windows on side wall.	07/08/2020	Q21. Householder developments	02/10/2020	30/09/2020	Kathryn McAllister	Ela King
20/01607/PRIEXT	620	172 Trefgarne Road, Dagenham, Barking And Dagenham, RM10 7QX	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.50 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.	07/08/2020	PRIEXT - Prior Approval: Larger Home Extension	18/09/2020	16/09/2020	Cari Jones	Ela King
20/01608/HSE	621	172 Trefgarne Road, Dagenham, Barking And Dagenham, RM10 7QX	Approved	Erection of Part single part two storey rear extension.	07/08/2020	Q21. Householder developments	02/10/2020	18/09/2020	Orla Bermingham	Angela Lopez
20/01609/HSE	622	119 Heathway, Dagenham, Barking And Dagenham, RM9 6AG	Refused	Construction of a first floor rear extension.	17/08/2020	Q21. Householder developments	12/10/2020	04/10/2020	Harry Moorhouse	Ela King
20/01610/AOD	623	95 - 97 Tanner Street, Barking, Barking And Dagenham, IG11 8PT	Condition(s) Fully Discharged	Application for approval of details reserved by Condition 10 (Preliminary Risk Assessment) and Condition 11 (Remediation scheme) Phase 1 and Phase 2 in respect of Planning Permission 18/00677/FUL.	13/08/2020	AOD - Application for approval of details reserved by condition	08/10/2020	15/09/2020	Grace Liu	Angela Lopez
20/01611/AOD	624	2 St Awdrys Road, Barking, Barking And Dagenham, IG11 7QD	Condition(s) Fully Discharged	Application for approval of details reserved by Condition 3 (Materials) in respect of planning permission 19/01711/FUL.	07/08/2020	AOD - Application for approval of details reserved by condition	02/10/2020	15/09/2020	Orla Bermingham	Angela Lopez
20/01612/VAR	625	Barking And Becontree Synagogue, 200 Becontree Avenue, Dagenham, Barking And Dagenham, RM8 2TS	Approved Subject To Legal Agreement	Application for variation of conditions: 2 (Approved drawings); 3 (Hard and soft Landscaping and Tree Protection); 5 (Car Parking); 4 (Child Playspace); 6 (Cycle Parking); 7 (Refuse Store); & 18 (External Materials) following grant of planning permission 18/02154/FUL.	04/09/2020	S106 - Variation to S106	30/10/2020	15/01/2021	Grace Liu	Ela King
20/01613/HSE	626	27 Coniston Avenue, Barking, Barking And Dagenham, IG11 7RD	Approved	Erection of ground and part-first-floor rear extension and loft conversion involving the construction of rear dormer window, hip to gable roof and the installation of two front rooflights.	10/08/2020	Q21. Householder developments	05/10/2020	30/09/2020	Lauren Carroll	Ela King
20/01614/FULL	627	Accommodation At, 20, Rowallen Parade Green Lane, Dagenham, Barking And Dagenham,	Refused	Proposed Conversion of Existing 4 Bedroom Flat (Comprising of First and Second Floors) Into Two Self Contained Flats With Loft Conversion And Part Rear First Floor Extension	14/08/2020	Q13. MINOR Dwellings	09/10/2020	04/10/2020	Harry Moorhouse	Angela Lopez
20/01615/CLUP	628	41 Priory Road, Barking, Barking And Dagenham, IG11 9XL	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Loft conversion with construction of rear dormer window, Hip to gable and two front rooflights.	10/08/2020	CLUP - Lawful development: Proposed use	05/10/2020	31/08/2020	Harry Moorhouse	Angela Lopez
20/01616/HSE	629	41 Priory Road, Barking, Barking And Dagenham, IG11 9XL	Refused	Basement Conversion to Habitable Area with Front Light Well.	26/08/2020	Q21. Householder developments	21/10/2020	26/10/2020	Cari Jones	Angela Lopez
20/01617/FULL	630	The Electrical And Plumbing Company Ltd, Apollo House, 7 Back Lane, Romford, Barking And Dagenham, RM6 4BP	Approved	The proposal includes a remodelling and tidying-up of the exterior building fabric including a full refurbishment of the existing felt flat roof and soffit, changes to existing window and door openings, new window openings and a new render finish to the external walls.	10/08/2020	Q18. MINOR All other developments	05/10/2020	15/09/2020	Cari Jones	Angela Lopez
20/01618/FULL	631	Lss Lolingo Superstore, 207 Reede Road, Dagenham, Barking And Dagenham, RM10 8EH	Approved	Erection of two storey rear/side extension and loft conversion with rear dormer. Remodelling of site to retain the existing A1 retail use class at the ground floor and provide 3 additional residential units plus the existing unit above (4 units in total).	10/08/2020	Q13. MINOR Dwellings	05/10/2020	05/10/2020	Kathryn McAllister	Angela Lopez
20/01619/PRIEXT	632	79 Wilmington Gardens, Barking, Barking And Dagenham, IG11 9TR	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.00 metres. The maximum height of the proposed extension from the natural ground level is 3.40 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.60 metres.	10/08/2020	PRIEXT - Prior Approval: Larger Home Extension	21/09/2020	17/09/2020	Cari Jones	Ela King
20/01620/PRIEXT	633	21 Ventnor Gardens, Barking, Barking And Dagenham, IG11 9JY	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	10/08/2020	PRIEXT - Prior Approval: Larger Home Extension	21/09/2020	17/09/2020	Lauren Carroll	Ela King
20/01621/PRICOM	634	Dominion Telephone Exchange Rear Of, 40 Reede Road, Dagenham, Barking And Dagenham, RM10 8DR	Prior Approval Granted	Application for prior approval telecommunication: Removal of existing wall mounted antenna support poles, and installation of 20.43m 3x antennas, and associate equipment and new tripod support at Sector 2 and Quadpod support at Sector 1 & 3.	10/08/2020	PRICOM - Prior Approval: Development for electronic communications network	05/10/2020	01/10/2020	Harry Moorhouse	Angela Lopez
20/01622/PRIEXT	635	62 Hedgemans Way, Dagenham, Barking And Dagenham, RM9 6DD	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.50 metres.	10/08/2020	PRIEXT - Prior Approval: Larger Home Extension	21/09/2020	15/09/2020	Orla Bermingham	Ela King
20/01624/PRICOM	636	Bad12523, Ripple Road, Dagenham, RM9 6SR	Prior Approval Granted	Application for prior approval telecommunication: Proposed 18m Phase 8 Monopole C/W wraparound Cabinet at base and associated ancillary works.	11/08/2020	PRICOM - Prior Approval: Development for electronic communications network	06/10/2020	04/10/2020	Harry Moorhouse	Ela King
20/01625/HSE	637	83 Saville Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6DS	Approved	Construction of Double Storey Side Extension With A Pitched Roof, Bay Window, Front Porch and removal of three side windows.	11/08/2020	Q21. Householder developments	06/10/2020	02/10/2020	Kathryn McAllister	Angela Lopez
20/01626/AOD	638	Development Site Junction Of Stamford Road / Woodward Road, Dagenham, Barking & Dagenham, Dagenham, RM9 4SP	Condition(s) Partially Discharged	Application for approval of details reserved by part discharge of Condition 3 (Site Contamination)- 3a (Risk assessment) and 3b (Remediation Scheme) only, full discharge of Condition 4 (Construction Environmental Management Plan) and Condition 5 (Air Quality Monitoring Report) in respect of planning permission 20/00097/FUL.	11/08/2020	AOD - Application for approval of details reserved by condition	06/10/2020	15/09/2020	Grace Liu	Angela Lopez
20/01627/FULL	639	237 Grafton Road, Dagenham, Barking And Dagenham, RM8 1QP	Refused	Demolition of existing garage and construction of two storey 1x bedroom dwellinghouse with associate bin and cycle store.	11/08/2020	Q13. MINOR Dwellings	06/10/2020	30/09/2020	Lauren Carroll	Angela Lopez
20/01628/HSE	640	8 Rowney Gardens, Dagenham, Barking And Dagenham, RM9 4PR	Approved	Construction of a ramped access to front of property for the disabled occupant	11/08/2020	Q21. Householder developments	06/10/2020	30/09/2020	Harry Moorhouse	Angela Lopez
20/01629/FULL	641	30 Park Avenue, Barking, Barking And Dagenham, IG11 8QU	Refused	Change of Use of Dwellinghouse to a House in Multiple Occupation including internal alterations.	11/08/2020	Q20. Change of use	06/10/2020	02/10/2020	Kathryn McAllister	Angela Lopez
20/01630/CLUP	642	69 Rose Glen, Rush Green, Romford, Barking And Dagenham, RM7 0SL	Lawful (Certificate)	Application for a lawful development certificate proposed: Construction of a Hip-to-gable roof extension to accommodate a rear Dormer extension including two roof lights to the front, a side window, a Juliette balcony	11/08/2020	CLUP - Lawful development: Proposed use	06/10/2020	30/09/2020	Lauren Carroll	Angela Lopez
20/01631/FULL	643	N & M Charles Haulage, 108 Cornworthy Road, Dagenham, Barking And Dagenham, RM8 2DF	Refused	Erection of a single storey side extension and rear extension, alterations to elevations, and sub-division of existing dwelling house to create 1 x 3 bedroom family size property and 1 x 1 bedroom property. (revised application)	11/08/2020	Q13. MINOR Dwellings	06/10/2020	04/10/2020	Harry Moorhouse	Angela Lopez
20/01632/FULL	644	141 Woodward Road, Dagenham, Barking And Dagenham, RM9 4ST	Refused	Construction of a new one bedroom dwellinghouse.	12/08/2020	Q13. MINOR Dwellings	07/10/2020	05/10/2020	Orla Bermingham	Ela King
20/01633/NONMAT	645	Gascoigne Estate East King Edwards Road, Barking, Barking And Dagenham,	Approved	Non-material amendment to planning permission 19/00310/FUL dated 03/02/2020 comprising of an informative confirming that site enabling works, piling, and construction of services and roads is a non-chargeable phase for the purposes of CIL.	12/08/2020	NONMAT - Non-material amendment following a grant of planning permission	09/09/2020	07/09/2020	Nasser Farooq	Ela King
20/01634/HSE	646	20 Glenmore Way, Barking, Barking And Dagenham, IG11 0LY	Refused	Construction of a single storey front extension including porch.	12/08/2020	Q21. Householder developments	07/10/2020	01/10/2020	Orla Bermingham	Ela King
20/01635/CLUP	647	358 Becontree Avenue, Dagenham, Barking And Dagenham, RM8 2TL	Not Lawful (Certificate)	Application for a lawful development certificate (proposed) for the Construction of an outbuilding.	15/09/2020	CLUP - Lawful development: Proposed use	10/11/2020	21/09/2020	Harry Moorhouse	Ela King
20/01636/PRIEXT	648	25 Croppath Road, Dagenham, Barking And Dagenham, RM10 8BN	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.50 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.80 metres.	12/08/2020	PRIEXT - Prior Approval: Larger Home Extension	23/09/2020	15/09/2020	Orla Bermingham	Ela King

	20/01637/PRICOM	649	Choates Road, London, RM9 6LF	Prior Approval Granted	Application for prior approval telecommunication: Proposed 20m Phase 8 Monopole C/W wraparound Cabinet at base and associated ancillary works.	12/08/2020	PRICOM - Prior Approval: Development for electronic communications network	07/10/2020	30/09/2020	Harry Moorhouse	Ela King
	20/01638/HSE	650	2 Cromer Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6ND	Refused	Construction of a two storey side extension, a part two storey part single storey rear extension and a front porch.	13/08/2020	Q21. Householder developments	08/10/2020	07/10/2020	Orla Bermingham	Ela King
x	20/01639/HSE	651	103 Bentry Road, Dagenham, Barking And Dagenham, RM8 3PJ	Approved	Construction of a single storey rear and front extension and a two storey side extension and the construction of a rear dormer extension including two roof lights to the front to facilitate conversion of roof space into habitable accommodation.	01/09/2020	Q21. Householder developments	27/10/2020	26/10/2020	Lauren Carroll	Ela King
	20/01640/CLUP	652	134 Western Avenue, Dagenham, Barking And Dagenham, RM10 8UJ	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the Construction of a rear Dormer extension including three roof lights to the front to facilitate conversion of roof space into habitable accommodation.	13/08/2020	CLUP - Lawful development: Proposed use	08/10/2020	27/08/2020	Lauren Carroll	Ela King
	20/01641/CLUP	653	80 Mayswood Gardens, Dagenham, Barking And Dagenham, RM10 8UT	Not Lawful (Certificate)	Application for a lawful development certificate (proposed) for the Construction of an outbuilding for a use incidental to the enjoyment of the dwellinghouse.	13/08/2020	CLUP - Lawful development: Proposed use	08/10/2020	15/09/2020	Orla Bermingham	Ela King
	20/01642/PRIEXT	654	103 Lillechurch Road, Dagenham, Barking And Dagenham, RM8 2BY	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 5.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.	13/08/2020	PRIEXT - Prior Approval: Larger Home Extension	24/09/2020	15/09/2020	Cari Jones	Ela King
	20/01643/PRIEXT	655	10 South Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6YD	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 4.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	13/08/2020	PRIEXT - Prior Approval: Larger Home Extension	24/09/2020	17/09/2020	Kathryn McAllister	Ela King
	20/01644/CLUP	656	29 Valence Wood Road, Dagenham, Barking And Dagenham, RM8 3AT	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the Construction of a Hip-to-Gable roof extension to accommodate a rear dormer extension including two rooflights to the front to facilitate conversion of roof space into habitable accommodation.	17/08/2020	CLUP - Lawful development: Proposed use	12/10/2020	15/09/2020	Cari Jones	Ela King
	20/01645/HSE	657	97 Coombes Road, Dagenham, Barking And Dagenham, RM9 6UJ	Refused	Construction of a single storey rear extension.	14/08/2020	Q21. Householder developments	09/10/2020	04/10/2020	Harry Moorhouse	Ela King
	20/01646/HSE	658	10 South Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6YD	Refused	Construction of a part two storey, part single storey rear extension with demolition of existing conservatory.	13/08/2020	Q21. Householder developments	08/10/2020	07/10/2020	Kathryn McAllister	Ela King
	20/01647/CLUP	659	10 South Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6YD	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the Construction of a hip-to-gable roof extension to accommodate a rear dormer extension, including three roof lights to the front and a Juliette balcony, to facilitate conversion of roof space into habitable accommodation.	13/08/2020	CLUP - Lawful development: Proposed use	08/10/2020	15/09/2020	Orla Bermingham	Ela King
	20/01648/PRIEXT	660	21 Cranborne Road, Barking, Barking And Dagenham, IG11 7XD	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.	13/08/2020	PRIEXT - Prior Approval: Larger Home Extension	24/09/2020	17/09/2020	Lauren Carroll	Ela King
	20/01649/PRIEXT	661	1 Lichfield Road, Dagenham, Barking And Dagenham, RM8 2AT	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension and installation of a rooflight. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	14/08/2020	PRIEXT - Prior Approval: Larger Home Extension	25/09/2020	21/09/2020	Harry Moorhouse	Ela King
	20/01650/PRIEXT	662	32 Lawrence Crescent, Dagenham, Barking And Dagenham, RM10 7HJ	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 3.50 metres. The maximum height of the proposed extension from the natural ground level is 3.45 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.40 metres.	14/08/2020	PRIEXT - Prior Approval: Larger Home Extension	25/09/2020	15/09/2020	Orla Bermingham	Ela King
	20/01651/PRICOM	663	Rippleside Commercial Estate, Barking, IG11 0RH	Prior Approval Granted	Application for prior approval telecommunication: Proposed 20m Phase 8 Monopole C/W wraparound Cabinet at base and associated ancillary works.	12/08/2020	PRICOM - Prior Approval: Development for electronic communications network	07/10/2020	30/09/2020	Harry Moorhouse	Ela King
	20/01652/CLUP	664	15 Heynes Road, Dagenham, Barking And Dagenham, RM8 2SX	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the Construction of a rear dormer extension including three roof lights to the front.	14/08/2020	CLUP - Lawful development: Proposed use	09/10/2020	15/09/2020	Orla Bermingham	Ela King
	20/01653/PRIEXT	665	110 Eastbrook Drive, Rush Green, Romford, Barking And Dagenham, RM7 0YU	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	14/08/2020	PRIEXT - Prior Approval: Larger Home Extension	25/09/2020	15/09/2020	Cari Jones	Ela King
	20/01655/CLUP	666	10 Cornshaw Road, Dagenham, Barking And Dagenham, RM8 1SS	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the Construction of a rear dormer extension including three roof lights to the front to facilitate conversion of roof space into habitable accommodation.	17/08/2020	CLUP - Lawful development: Proposed use	12/10/2020	30/09/2020	Lauren Carroll	Ela King
	20/01656/FULL	667	32 Roxwell Road, Barking, Barking And Dagenham, IG11 0PT	Refused	Change of use of Dwellinghouse (C3) to a Children's care home (C2).	17/08/2020	Q20. Change of use	12/10/2020	12/10/2020	Kathryn McAllister	Ela King
	20/01657/HSE	668	17 Puffin Close, Barking, Barking And Dagenham, IG11 0GT	Approved	Construction of a rear dormer extension including two rooflights to the front to facilitate conversion of roof space into habitable accommodation (retrospective - work started).	18/08/2020	Q21. Householder developments	13/10/2020	10/10/2020	Lauren Carroll	Ela King
	20/01658/AOD	669	Development Site Junction Of Stamford Road And Woodward Road, Dagenham, Barking And Dagenham.	Condition(s) Fully Discharged	Details pursuant to Condition 6 (Drainage Strategy) attached to planning consent 20/00097/FUL dated 17/07/20.	17/08/2020	AOD - Application for approval of details reserved by condition	12/10/2020	09/11/2020	Grace Liu	Ela King
	20/01659/FULL	670	230 - 232 High Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6AP	Refused	Extraction ducting from ground level restaurant for a prior approval permitted A3 premises.	17/08/2020	Q18. MINOR All other developments	12/10/2020	12/10/2020	Cari Jones	Angela Lopez
	20/01660/HSE	671	86 Chadville Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 5UB	Approved	CONSTRUCTION OF FRONT DORMER	17/08/2020	Q21. Householder developments	12/10/2020	10/10/2020	Lauren Carroll	Angela Lopez
	20/01661/HSE	672	85 Sandringham Road, Barking, Barking And Dagenham, IG11 9AF	Approved	Construction of a single storey rear extension.	17/08/2020	Q21. Householder developments	12/10/2020	01/10/2020	Orla Bermingham	Angela Lopez
	20/01662/CLUP	673	27 Peartree Gardens, Dagenham, Barking And Dagenham, RM8 2YR	Not Lawful (Certificate)	Application for a lawful development certificate: Increasing the height and size of the space for the existing outbuilding.	17/08/2020	CLUP - Lawful development: Proposed use	12/10/2020	15/09/2020	Orla Bermingham	Angela Lopez
	20/01663/CLUP	674	34 Langhorne Road, Dagenham, Barking And Dagenham, RM10 9QX	Lawful (Certificate)	Application for a lawful development certificate: Construction of loft conversion including rear dormer, three rooflights to the front and single storey rear extension.	18/08/2020	CLUP - Lawful development: Proposed use	13/10/2020	31/08/2020	Cari Jones	Angela Lopez
	20/01664/FULL	675	45a Cecil Avenue, Barking, Barking And Dagenham, IG11 9TD	Refused	Construction of a single storey rear and side extension.	09/09/2020	Q18. MINOR All other developments	04/11/2020	03/11/2020	Lauren Carroll	Ela King
	20/01665/HSE	676	55 Ross Avenue, Dagenham, Barking And Dagenham, RM8 1PU	Refused	Construction of a part two storey, part single storey rear extension, a two storey side extension and the construction of a hip-to-gable roof extension to accommodate a rear dormer extension including three roof lights to the front to facilitate conversion of roof space into habitable accommodation.	06/10/2020	Q21. Householder developments	01/12/2020	12/11/2020	Harry Moorhouse	Ela King
	20/01666/CLUP	677	29 Mill Lane, Chadwell Heath, Romford, Barking And Dagenham, RM6 6TT	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the Construction of a hip-to-gable roof extension to accommodate a rear dormer extension including two roof lights to the front and a Juliette balcony to facilitate conversion of roof space into habitable accommodation and the Construction of a 3m single storey rear extension.	18/08/2020	CLUP - Lawful development: Proposed use	13/10/2020	05/10/2020	Kathryn McAllister	Ela King
	20/01667/AOD	678	79a Whalebone Lane South, Dagenham, Barking And Dagenham,	Condition(s) Fully Discharged	Details pursuant to Conditions 4 (Land Contamination - Partial Discharge Remediation Only), 6 (Surface Water Drainage), 7 (External Materials), 8 (Boundary Treatment Plan), 10 (Delivery and Servicing Plan) and 12 (Travel Plan) attached to planning consent 19/01312/FUL dated 04/08/20.	17/08/2020	AOD - Application for approval of details reserved by condition	12/10/2020	21/10/2020	Nasser Farooq	Ela King
	20/01668/HSE	679	29 Mill Lane, Chadwell Heath, Romford, Barking And Dagenham, RM6 6TT	Approved	Construction of outbuilding with a flat roof.	18/08/2020	Q21. Householder developments	13/10/2020	15/09/2020	Cari Jones	Angela Lopez
	20/01669/HSE	680	39 Park Drive, Dagenham, Barking And Dagenham, RM10 7AB	Refused	Construction of single storey rear extension.	20/08/2020	Q21. Householder developments	15/10/2020	05/10/2020	Kathryn McAllister	Angela Lopez

20/01670/NONM A T	681	98 Westrow Drive, Barking, Barking And Dagenham, IG11 9BN	Approved	Non-material amendment to planning permission 18/01932/FUL dated 28/02/19 comprising of the addition of an extra window on the side elevation.	18/08/2020	NONMAT - Non-material amendment following a grant of planning permission	15/09/2020	11/09/2020	Harry Moorhouse	Ela King
20/01671/HSE	682	28 Academy Way, Dagenham, Barking And Dagenham, RM8 2BF	Refused	Conversion of the garage including alterations to the front elevation.	18/08/2020	Q21. Householder developments	13/10/2020	05/10/2020	Orla Bermingham	Ela King
20/01672/AOD	683	Former Site Of Assembly Plant, Beam Park Development Site Thames Avenue, Dagenham, Barking And Dagenham,	Condition(s) Partially Discharged	Application for approval of details reserved by Condition 8 (Materials) in respect of planning permission 19/01241/OUT Beam Phased 2b only.	18/08/2020	AOD - Application for approval of details reserved by condition	13/10/2020	04/11/2020	Grace Liu	Angela Lopez
20/01673/FULL	684	43 Basedale Road, Dagenham, Barking And Dagenham, RM9 4QA	Refused	Construction of a new two-storey one-bedroom dwellinghouse.	19/08/2020	Q13. MINOR Dwellings	14/10/2020	12/10/2020	Harry Moorhouse	Ela King
20/01674/AOD	685	Abbey Sports Centre, Abbey Sports Centre, Barking, Barking And Dagenham, IG11 7LX	Condition(s) Partially Discharged	Application for approval of details reserved by Condition 3 (Risk Assessment), Condition 4 (Remediation scheme), Condition 5 (Verification Report and Condition 18 (Acoustic Report) in respect of planning permission 18/00331/FUL.	19/08/2020	AOD - Application for approval of details reserved by condition	14/10/2020	12/10/2020	Olivia St-Amour	Angela Lopez
20/01676/FULL	686	Londis, 286 Becontree Avenue, Dagenham, Barking And Dagenham, RM8 2TR	Refused	Construction of single storey one bedroom dwelling house to rear of existing building, including reduction in size of existing storage area and demolition of detached storage building.	04/09/2020	Q13. MINOR Dwellings	30/10/2020	26/10/2020	Cari Jones	Angela Lopez
20/01677/PRIEXT	687	137 Ilchester Road, Dagenham, Barking And Dagenham, RM8 2YX	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.32 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.60 metres.	20/08/2020	PRIEXT - Prior Approval: Larger Home Extension	01/10/2020	17/09/2020	Kathryn McAllister	Ela King
20/01678/HSE	688	54 Stratton Drive, Barking, Barking And Dagenham, IG11 9HH	Approved	Construction of a first floor side extension and the construction of a rear dormer extension including three roof lights to the front to facilitate conversion of roof space into habitable accommodation.	20/08/2020	Q21. Householder developments	15/10/2020	12/10/2020	Kathryn McAllister	Ela King
20/01679/FULL	689	36 Maplestead Road, Dagenham, RM9 4XR	Approved	RETENTION OF D1 COMMUNITY FACILITY USE AT SITE. - MINOR INTERNAL ALTERATIONS. - MINOR ALTERATIONS TO ACCESS ARRANGEMENTS AT THE FRONT OF THE BUILDING TO FACILITATE DISABLED PARKING SPACE AND CYCLE PARKING SPACE.	20/08/2020	Q18. MINOR All other developments	15/10/2020	05/10/2020	Orla Bermingham	Angela Lopez
20/01680/PRIEXT	690	76 Upney Lane, Barking, Barking And Dagenham, IG11 9LR	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.	20/08/2020	PRIEXT - Prior Approval: Larger Home Extension	01/10/2020	29/09/2020	Lauren Carroll	Ela King
20/01681/FULL	691	12 Spurling Road, Dagenham, Barking And Dagenham, RM9 5RH	Approved	Construction of a new two storey, two bedroom dwellinghouse and construction of a single storey rear extension to existing dwellinghouse and changes to the front elevation of the existing dwellinghouse.	16/09/2020	Q13. MINOR Dwellings	11/11/2020	10/11/2020	Harry Moorhouse	Ela King
20/01682/TPO	692	Sainsburys, 97 - 131 High Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6PB	Approved	Application for tree works subject to a tree preservation order: Felling of 1 x Elder tree to 50mm from ground level and replacement of 15cm - 20cm girth Silver Birch, replanted within the delivery yard, raise shrub bed.	21/10/2020	TPO - Works to trees subject to a tree preservation order	16/12/2020	01/12/2020	Grace Liu	Angela Lopez
20/01683/PRIEXT	693	53 Wellington Drive, Dagenham, Barking And Dagenham, RM10 9XS	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	20/08/2020	PRIEXT - Prior Approval: Larger Home Extension	01/10/2020	29/09/2020	Harry Moorhouse	Ela King
20/01684/PRIEXT	694	55 Wellington Drive, Dagenham, Barking And Dagenham, RM10 9XS	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	20/08/2020	PRIEXT - Prior Approval: Larger Home Extension	01/10/2020	18/09/2020	Orla Bermingham	Ela King
20/01685/PRIEXT	695	77 Woodbridge Road, Barking, Barking And Dagenham, IG11 9ES	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	21/08/2020	PRIEXT - Prior Approval: Larger Home Extension	02/10/2020	30/09/2020	Cari Jones	Ela King
20/01687/PRIEXT	696	16 Puffin Close, Barking, IG11 0GT	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The details submitted are as follows: The proposed extension will extend beyond the rear wall by 6.0m, The maximum height of the proposed extension from the natural ground level is 3.4m, The height at eaves level of the proposed extension measured from the natural ground level is 3.0m	21/08/2020	PRIEXT - Prior Approval: Larger Home Extension	02/10/2020	17/09/2020	Kathryn McAllister	Angela Lopez
20/01688/FULL	697	54 Hollidge Way, Dagenham, Barking And Dagenham, RM10 9SL	Refused	Change of use of Dwellinghouse to semi-independent homes for care leavers from 16 years old and over.	01/10/2020	Q20. Change of use	26/11/2020	23/11/2020	Cari Jones	Angela Lopez
20/01689/HSE	698	16 Puffin Close, Barking, Barking And Dagenham, IG11 0GT	Approved	Construction of a rear dormer extension including two roof lights to the front to facilitate conversion of roof space into habitable accommodation.	21/08/2020	Q21. Householder developments	16/10/2020	12/10/2020	Harry Moorhouse	Ela King
20/01690/HSE	699	127 Oval Road North, Dagenham, Barking And Dagenham, RM10 9ER	Refused	Construction of two part two storey part single storey rear extensions, Hip to gable roof extension with skylights and demolition of existing outbuilding and construction of a new outbuilding.	24/08/2020	Q21. Householder developments	19/10/2020	14/10/2020	Lauren Carroll	Angela Lopez
20/01691/HSE	700	26 Lincoln Avenue, Rush Green, Romford, Barking And Dagenham, RM7 0SR	Approved	Retrospective planning application for retention of wooden outbuilding shed.	24/08/2020	Q21. Householder developments	19/10/2020	05/10/2020	Orla Bermingham	Angela Lopez
20/01692/PRIEXT	701	67 Valence Circus, Dagenham, Barking And Dagenham, RM8 3LS	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The details submitted are as follows: The proposed extension will extend beyond the rear wall by 6.0m, The maximum height of the proposed extension from the natural ground level is 4.0m, The height at eaves level of the proposed extension measured from the natural ground level is 2.85m	21/08/2020	PRIEXT - Prior Approval: Larger Home Extension	02/10/2020	30/09/2020	Harry Moorhouse	Angela Lopez
20/01693/AOD	702	Ymca, Rush Green Road, Essex, RM7 0PH	Condition(s) Partially Discharged	Application for approval of details reserved by Condition 7 (Cycle Storage) and condition 8 (Refuse and Recycling) in respect of planning permission 19/00095/FUL.	21/08/2020	AOD - Application for approval of details reserved by condition	16/10/2020	15/10/2020	Kathryn McAllister	Angela Lopez
20/01694/HSE	703	41 Edgefield Avenue, Barking, Barking And Dagenham, IG11 9JL	Approved	Conversion of the garage to provide habitable accommodation and construction of a side extension to line existing property.	27/08/2020	Q21. Householder developments	22/10/2020	13/10/2020	Harry Moorhouse	Angela Lopez
20/01695/CLUP	704	66 Flamstead Road, Dagenham, Barking And Dagenham, RM9 4JL	Not Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of an outbuilding to provide habitable accommodation.	25/08/2020	CLUP - Lawful development: Proposed use	20/10/2020	31/08/2020	Cari Jones	Ela King
20/01696/FULL	705	60 Curzon Crescent, Barking, Barking And Dagenham, IG11 0LA	Refused	Change of use of Dwellinghouse to a House in Multiple Occupation.	27/08/2020	Q20. Change of use	22/10/2020	17/10/2020	Lauren Carroll	Ela King
20/01698/HSE	706	147 Ivyhouse Road, Dagenham, Barking And Dagenham, RM9 5RR	Refused	Construction of a first floor rear extension.	20/11/2020	Q21. Householder developments	15/01/2021	15/12/2020	Lauren Carroll	Ela King
20/01699/CLUP	707	31 Amesbury Road, Dagenham, Barking And Dagenham, RM9 6AA	Not Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of an outbuilding for a use incidental to the enjoyment of the dwellinghouse.	24/08/2020	CLUP - Lawful development: Proposed use	19/10/2020	02/09/2020	Harry Moorhouse	Ela King
20/01700/CLUP	708	7 Noel Square, Dagenham, Barking And Dagenham, RM8 2RX	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a hip-to-gable roof extension to accommodate a rear dormer extension including two roof lights to the front.	24/08/2020	CLUP - Lawful development: Proposed use	19/10/2020	15/09/2020	Orla Bermingham	Ela King
20/01701/FULL	709	61 Cranborne Road, Barking, Barking And Dagenham, IG11 7XD	Approved	Construction of a single storey outbuilding.	24/08/2020	Q18. MINOR All other developments	19/10/2020	05/10/2020	Cari Jones	Ela King
20/01702/CLUP	710	Suite 230, Jhumat House, 160 London Road, Barking, Barking And Dagenham, IG11 8BB	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: to use office 230 as a booking office for a Private Hire Car Company.	02/09/2020	CLUP - Lawful development: Proposed use	28/10/2020	26/10/2020	Cari Jones	Angela Lopez
20/01703/HSE	711	54 Pemberton Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 6SJ	Approved	Demolition of existing rear extension and rebuilding to the same size.	27/08/2020	Q21. Householder developments	22/10/2020	17/10/2020	Lauren Carroll	Angela Lopez
20/01704/CLUP	712	98 Mill Lane, Chadwell Heath, Romford, Barking And Dagenham, RM6 6YH	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a hip-to-gable roof extension to accommodate a rear dormer extension including three roof lights to the front, to facilitate conversion of roof space into habitable accommodation.	25/08/2020	CLUP - Lawful development: Proposed use	20/10/2020	15/10/2020	Kathryn McAllister	Ela King

20/01705/HSE	713	98 Mill Lane, Chadwell Heath, Romford, Barking And Dagenham, RM6 6YH	Approved	Conversion of the garage including alterations to the front elevation to provide a habitable space and construction of a single storey rear/side infill extension.	25/08/2020	Q21. Householder developments	20/10/2020	17/10/2020	Lauren Carroll	Ela King
20/01706/FULL	714	71 Fanshawe Crescent, Dagenham, Barking And Dagenham, RM9 5EL	Refused	Conversion of existing dwellinghouse into 1x 3 bedroom dwellinghouse and 1x 2 bedroom dwellinghouse, including alterations to the front and side elevations.	25/08/2020	Q13. MINOR Dwellings	20/10/2020	13/10/2020	Harry Moorhouse	Ela King
20/01707/PRICOM	715	Bartletts House Vicarage Road, Dagenham, Barking And Dagenham,	Prior Approval Granted	Application for prior approval telecommunications: Installation of 6No. antenna apertures across 3No. 5.9m high steel support structures (approx. 30.35m AGL height to top), 4No. 600mm diameter dishes, 8No. equipment cabinets at roof-level, 1No. cabinet at ground-level & ancillary works thereto	25/08/2020	PRICOM - Prior Approval: Development for electronic communications network	20/10/2020	13/10/2020	Harry Moorhouse	Ela King
20/01708/HSE	716	60 Bromhall Road, Dagenham, Barking And Dagenham, RM8 2HN	Refused	PROPOSED REPLACEMENT OF THE EXISTING 1.5 & 1M HIGH METAL GATES WITH 2M HIGH METAL GATES & FRONT BOUNDARY WALL	25/08/2020	Q21. Householder developments	20/10/2020	05/10/2020	Cari Jones	Angela Lopez
20/01709/FULL	717	Cafe Troy, 770 Green Lane, Dagenham, Barking And Dagenham, RM8 1YT	Refused	Construction of a two story building to the rear of 770 Green Lane to create 2 x one bedroom flats with associated amenity space.	12/10/2020	Q13. MINOR Dwellings	07/12/2020	01/12/2020	Orla Bermingham	Angela Lopez
20/01710/PRIEXT	718	25 Suffolk Road, Barking, Barking And Dagenham, IG11 7QP	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	26/08/2020	PRIEXT - Prior Approval: Larger Home Extension	07/10/2020	05/10/2020	Cari Jones	Ela King
20/01711/HSE	719	358 Becontree Avenue, Dagenham, Barking And Dagenham, RM8 2TL	Approved	Construction of first floor side and rear extension with door and window relocation.	26/08/2020	Q21. Householder developments	21/10/2020	20/10/2020	Kathryn McAllister	Angela Lopez
20/01712/HSE	720	4 Wren Gardens, Dagenham, Barking And Dagenham, RM9 5YH	Refused	CONSTRUCTION OF FIRST FLOOR SIDE EXTENSION	27/08/2020	Q21. Householder developments	22/10/2020	13/10/2020	Harry Moorhouse	Angela Lopez
20/01713/CLUP	721	171 Heathway, Dagenham, Barking And Dagenham, RM9 6AF	Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Construction of hip to gable roof extension to accommodate a rear dormer extension including two front rooflights	27/08/2020	CLUP - Lawful development: Proposed use	22/10/2020	15/10/2020	Kathryn McAllister	Angela Lopez
20/01714/HSE	722	57 Lindisfarne Road, Dagenham, Barking And Dagenham, RM8 2QX	Refused	Construction of an outbuilding on Rear Garden	27/08/2020	Q21. Householder developments	22/10/2020	05/10/2020	Orla Bermingham	Angela Lopez
20/01715/HSE	723	116 Oxlow Lane, Dagenham, RM10 7ST	Refused	Construction of a single storey side first floor extension, front porch, insertion of a window to ground floor bedroom and relocation of entrance door.	01/09/2020	Q21. Householder developments	27/10/2020	26/10/2020	Cari Jones	Angela Lopez
20/01716/PRIEXT	724	16 Norfolk Road, Barking, Barking And Dagenham, IG11 7QR	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.00 metres. The maximum height of the proposed extension from the natural ground level is 3.20 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.80 metres.	27/08/2020	PRIEXT - Prior Approval: Larger Home Extension	08/10/2020	05/10/2020	Kathryn McAllister	Ela King
20/01717/FULL	725	121 Cornwallis Road, Dagenham, Barking And Dagenham, RM9 5LJ	Refused	Construction of a two storey, two bedroom dwellinghouse to the end of existing terrace including new crossover.	28/08/2020	Q13. MINOR Dwellings	23/10/2020	20/10/2020	Harry Moorhouse	Ela King
20/01718/HSE	726	104 Lyndhurst Gardens, Barking, Barking And Dagenham, IG11 9XZ	Refused	Demolition of front garden wall and Construction of front porches and part single storey, part two storey rear extension. Construction of a hip-to-gable roof extension to accommodate a rear dormer extension.	09/09/2020	Q21. Householder developments	04/11/2020	03/11/2020	Cari Jones	Ela King
20/01720/CLUP	727	16 Wilmington Gardens, Barking, Barking And Dagenham, IG11 9TP	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the Construction of a hip-to-gable roof extension to accommodate a rear dormer extension including two roof lights to the front and a Juliette balcony, to facilitate conversion of roof space into habitable accommodation.	30/09/2020	CLUP - Lawful development: Proposed use	25/11/2020	05/10/2020	Orla Bermingham	Ela King
20/01721/CLUP	728	9 The Drive, Barking, Barking And Dagenham, IG11 9JE	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the Construction of a rear dormer extension including three roof lights to the front and a Juliette balcony and rooflight within the rear dormer, to facilitate conversion of roof space into habitable accommodation and a front porch.	01/09/2020	CLUP - Lawful development: Proposed use	27/10/2020	04/10/2020	Harry Moorhouse	Ela King
20/01722/CLUP	729	52 Campden Crescent, Dagenham, Barking And Dagenham, RM8 2RU	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the Construction of a rear dormer extension including three roof lights to the front and a Juliette balcony, to facilitate conversion of roof space into habitable accommodation.	01/09/2020	CLUP - Lawful development: Proposed use	27/10/2020	15/09/2020	Orla Bermingham	Ela King
20/01723/HSE	730	49 Keir Hardie Way, Barking, Barking And Dagenham, IG11 9NU	Refused	Construction of a two-storey side extension, including alterations to rear elevation.	03/09/2020	Q21. Householder developments	29/10/2020	05/10/2020	Orla Bermingham	Ela King
20/01724/HSE	731	104 Lyndhurst Gardens, Barking, Barking And Dagenham, IG11 9XZ	Refused	Construction of a first floor rear extension, outbuilding, veranda and all associated works.	09/09/2020	Q21. Householder developments	04/11/2020	29/10/2020	Cari Jones	Ela King
20/01725/HSE	732	67 Valence Circus, Dagenham, Barking And Dagenham, RM8 3LS	Refused	Construction of a single storey front extension.	28/08/2020	Q21. Householder developments	23/10/2020	05/10/2020	Orla Bermingham	Ela King
20/01726/CLUP	733	33 Spurfling Road, Dagenham, Barking And Dagenham, RM9 5RH	Not Lawful (Certificate)	Application for a certificate of lawfulness for a proposed development: Construction of an outbuilding to provide a gym with sauna and bathroom.	15/10/2020	CLUP - Lawful development: Proposed use	10/12/2020	30/10/2020	Harry Moorhouse	Angela Lopez
20/01727/HSE	734	172 Ilchester Road, Dagenham, Barking And Dagenham, RM8 2YA	Refused	CONSTRUCTION OF TWO STOREY SIDE PART FIRST FLOOR REAR EXTENSION.	01/09/2020	Q21. Householder developments	27/10/2020	23/10/2020	Lauren Carroll	Angela Lopez
20/01728/CLUE	735	8 Marlborough Road, Dagenham, Barking And Dagenham, RM8 2HU	Lawful (Certificate)	Application for a lawful development certificate existing for the Loft conversion including toilet and three roof windows	02/09/2020	CLUE - Lawful development: Existing use	28/10/2020	26/10/2020	Lauren Carroll	Angela Lopez
20/01729/HSE	736	14 Farm Close, Dagenham, Barking And Dagenham, RM10 9TX	Approved	CONSTRUCTION OF A SINGLE STOREY SIDE EXTENSION	02/09/2020	Q21. Householder developments	28/10/2020	27/10/2020	Harry Moorhouse	Angela Lopez
20/01730/HSE	737	144 Crescent Road, Dagenham, Barking And Dagenham, RM10 7HR	Refused	Construction of a double storey side extension and single storey front extension.	02/09/2020	Q21. Householder developments	28/10/2020	26/10/2020	Lauren Carroll	Angela Lopez
20/01731/HSE	738	37 Wood Lane, Dagenham, Barking And Dagenham, RM8 3ND	Refused	CONSTRUCTION OF DOUBLE STOREY SIDE EXTENSION	02/09/2020	Q21. Householder developments	28/10/2020	05/10/2020	Orla Bermingham	Angela Lopez
20/01733/CLUP	739	48 Ashton Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 6RT	Lawful (Certificate)	Application for a lawful development certificate proposed: construction of a Hip-to-gable roof extension to accommodate a rear dormer extension including three roof lights to the front and a Juliette balcony.	03/09/2020	CLUP - Lawful development: Proposed use	29/10/2020	05/10/2020	Orla Bermingham	Angela Lopez
20/01734/HSE	740	97 Sandringham Road, Barking, Barking And Dagenham, IG11 9AF	Approved	CONSTRUCTION OF AN OUTBUILDING IN THE REAR GARDEN FOR ANCILLARY PURPOSES	03/09/2020	Q21. Householder developments	29/10/2020	05/10/2020	Cari Jones	Angela Lopez
20/01735/CLUP	741	38 James Avenue, Dagenham, Barking And Dagenham, RM8 1LU	Lawful (Certificate)	Application for a lawful development certificate proposed construction of a Hip-to-gable roof extension to accommodate a rear dormer extension including two roof lights to the front.	03/09/2020	CLUP - Lawful development: Proposed use	29/10/2020	17/09/2020	Cari Jones	Angela Lopez
20/01736/PRIEXT	742	40 Greatfields Road, Barking, Barking And Dagenham, IG11 7TX	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension and installation of a rooflight. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 2.99 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.75 metres.	01/09/2020	PRIEXT - Prior Approval: Larger Home Extension	13/10/2020	30/09/2020	Harry Moorhouse	Ela King
20/01737/PRIEXT	743	34 Movers Lane, Barking, Barking And Dagenham, IG11 7UL	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.00 metres. The maximum height of the proposed extension from the natural ground level is 3.64 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.73 metres.	01/09/2020	PRIEXT - Prior Approval: Larger Home Extension	13/10/2020	10/10/2020	Lauren Carroll	Ela King
20/01738/CLUP	744	42 Felton Road, Barking, Barking And Dagenham, IG11 7XZ	Lawful (Certificate)	Application for a lawful development certificate proposed: construction of a single storey rear extension.	03/09/2020	CLUP - Lawful development: Proposed use	29/10/2020	04/10/2020	Harry Moorhouse	Angela Lopez
20/01739/HSE	745	2 Brendon Road, Dagenham, Barking And Dagenham, RM8 1LT	Approved	Construction of a two storey rear and side extensions with demolition of existing garage.	03/09/2020	Q21. Householder developments	29/10/2020	13/10/2020	Cari Jones	Angela Lopez
20/01740/CLUP	746	52 Clare Gardens, Barking, Barking And Dagenham, IG11 9JH	Not Lawful (Certificate)	Application for a lawful development certificate proposed: Construction of single storey rear extension.	04/09/2020	CLUP - Lawful development: Proposed use	30/10/2020	16/09/2020	Harry Moorhouse	Angela Lopez
20/01741/NONMAT	747	Land Rear Of, 75 - 77 Wivenhoe Road, Barking, Barking And Dagenham,	Approved	Non material amendment to planning permission 18/00650/FUL dated 12/11/2018 comprising of alterations to condition 2 to amend approved drawings.	01/09/2020	NONMAT - Non-material amendment following a grant of planning permission	29/09/2020	02/10/2020	Nathaniel Soneye-Thomas	Ela King
20/01742/PRIEXT	748	32 Foxlands Road, Dagenham, Barking And Dagenham, RM10 8XU	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.40 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	02/09/2020	PRIEXT - Prior Approval: Larger Home Extension	14/10/2020	01/10/2020	Orla Bermingham	Ela King
20/01743/HSE	749	9 Foxglove Road, Rush Green, Romford, Barking And Dagenham, RM7 0YW	Approved	Construction of a single storey rear extension.	15/09/2020	Q21. Householder developments	10/11/2020	09/11/2020	Lauren Carroll	Ela King

	20/01744/AOD	750	Abbey Sports Centre, Abbey Sports Centre, Barking, Barking And Dagenham, IG11 7LX	Condition(s) Fully Discharged	Details pursuant to Condition 44 (Arboricultural Assessment) attached to planning consent 18/00331/FUL dated 10/12/2018.	02/09/2020	AOD - Application for approval of details reserved by condition	28/10/2020	05/10/2020	Cari Jones	Ela King
	20/01745/PRIEXT	751	41 Trefgarne Road, Dagenham, Barking And Dagenham, RM10 7QT	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 5.30 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	02/09/2020	PRIEXT - Prior Approval: Larger Home Extension	14/10/2020	01/10/2020	Cari Jones	Ela King
	20/01747/OUTALL	752	62 Grantham Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 6HJ	Refused	Construction of a two storey building to provide 4 self-contained studio flats.	02/09/2020	Q13. MINOR Dwellings	28/10/2020	27/10/2020	Nathaniel Soneye-Thomas	Ela King
	20/01748/HSE	753	28 Crescent Road, Dagenham, Barking And Dagenham, RM10 7HT	Approved	Construction of an access ramp with handrail to front of property for disabled occupant.	02/09/2020	Q21. Householder developments	28/10/2020	05/10/2020	Cari Jones	Ela King
	20/01749/HSE	754	310 Hedgemans Road, Dagenham, Barking And Dagenham, RM9 6BX	Refused	Construction of Part single part two storey side extension and construction of a Hip-to-gable roof extension to accommodate a rear dormer extension including three roof lights to the front and a Juliette balcony.	03/09/2020	Q21. Householder developments	29/10/2020	27/10/2020	Harry Moorhouse	Angela Lopez
	20/01750/HSE	755	26 Greenfield Road, Dagenham, Barking And Dagenham, RM9 4RS	Approved	Construction of a single storey rear extension.	03/09/2020	Q21. Householder developments	29/10/2020	13/10/2020	Cari Jones	Ela King
	20/01751/HSE	756	35 Digby Gardens, Dagenham, Barking And Dagenham, RM10 9JL	Approved	Construction of an access ramp with handrail to front of property for disabled occupant.	03/09/2020	Q21. Householder developments	29/10/2020	27/10/2020	Harry Moorhouse	Ela King
	20/01752/AOD	757	Abbey Sports Centre, Abbey Sports Centre, Barking, Barking And Dagenham, IG11 7LX	Condition(s) Fully Discharged	Details pursuant to Condition 10 (Surface Water Drainage Scheme) attached to planning permission 18/00331/FUL dated 10/12/2018.	04/09/2020	AOD - Application for approval of details reserved by condition	30/10/2020	27/10/2020	Cari Jones	Ela King
	20/01753/HSE	758	26 Lymington Road, Dagenham, Barking And Dagenham, RM8 1RR	Refused	Construction of a single storey rear and front extension.	07/09/2020	Q21. Householder developments	02/11/2020	27/10/2020	Cari Jones	Angela Lopez
	20/01754/PRIEXT	759	105 Church Elm Lane, Dagenham, Barking And Dagenham, RM10 9RL	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension: The proposed extension will extend beyond the rear wall by 6.0 m, the maximum height of the proposed extension from the natural ground level is 3.0 m, the height at eaves level of the proposed extension measured from the natural ground level is 3.5 m.	04/09/2020	PRIEXT - Prior Approval: Larger Home Extension	16/10/2020	30/09/2020	Lauren Carroll	Angela Lopez
	20/01755/FULL	760	Macdonalds, Macdonalds Drive In, Eldonwall Trading Estate Whalebone Lane South, Dagenham, Barking And Dagenham, RM8 1AT	Approved	Installation of two rapid electric vehicle charging stations within the car park of McDonald's Dagenham FS DT. An existing area will become two EV charging bays, along with associated equipment.	04/09/2020	Q18. MINOR All other developments	30/10/2020	05/10/2020	Orla Bermingham	Ela King
	20/01756/HSE	761	9 Suffolk Road, Dagenham, Barking And Dagenham, RM10 8EU	Approved	Construction of a single storey rear extension with two yellow lights.	04/09/2020	Q21. Householder developments	30/10/2020	27/10/2020	Lauren Carroll	Angela Lopez
	20/01757/HSE	762	204 Reede Road, Dagenham, Barking And Dagenham, RM10 8EA	Approved	Construction of a Hip-to-gable roof extension to accommodate a rear dormer extension including two roof lights to the front, Juliette Style Balcony, a window to the rear and side elevation window.	22/10/2020	Q21. Householder developments	17/12/2020	24/11/2020	Orla Bermingham	Angela Lopez
	20/01758/PRIEXT	763	18 Bradford Drive, Barking, Barking And Dagenham, IG11 9AR	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.45 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	07/09/2020	PRIEXT - Prior Approval: Larger Home Extension	19/10/2020	05/10/2020	Lauren Carroll	Ela King
	20/01759/CLUP	764	204 Reede Road, Dagenham, Barking And Dagenham, RM10 8EA	Not Lawful (Certificate)	Application for a lawful development certificate proposed: construction of a Hip-to-gable roof extension to accommodate a rear dormer extension including two roof lights to the front, Juliette Style Balcony, a window to the rear and side elevation window.	15/09/2020	CLUP - Lawful development: Proposed use	10/11/2020	09/11/2020	Lauren Carroll	Angela Lopez
	20/01761/PRIEXT	765	134 Western Avenue, Dagenham, Barking And Dagenham, RM10 8UJ	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	07/09/2020	PRIEXT - Prior Approval: Larger Home Extension	19/10/2020	12/10/2020	Lauren Carroll	Ela King
	20/01762/AOD	766	Plots 201-202a, Barking Riverside, Barking, IG11 0DS	Condition(s) Partially Discharged	Application for approval of details reserved by Condition 13 (Validation of remedial strategy) in respect of planning permission 08/00887/FUL, Stage 2 North plots 201 - 202a only.	07/09/2020	AOD - Application for approval of details reserved by condition	02/11/2020	05/10/2020	Nasser Farooq	Angela Lopez
	20/01763/PRIEXT	767	16 Glencoe Drive, Dagenham, Barking And Dagenham, RM10 7NS	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.50 metres. The maximum height of the proposed extension from the natural ground level is 4.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	07/09/2020	PRIEXT - Prior Approval: Larger Home Extension	19/10/2020	04/10/2020	Harry Moorhouse	Ela King
	20/01764/HSE	768	2 Stockdale Road, Dagenham, Barking And Dagenham, RM8 3PS	Approved	Construction of part single, part two-storey rear extension.	07/09/2020	Q21. Householder developments	02/11/2020	27/10/2020	Orla Bermingham	Angela Lopez
	20/01765/HSE	769	38 Fanshawe Crescent, Dagenham, Barking And Dagenham, RM9 5ES	Approved	Construction of two storey side extension.	07/09/2020	Q21. Householder developments	02/11/2020	28/10/2020	Cari Jones	Angela Lopez
	20/01766/PRIEXT	770	105 Gay Gardens, Dagenham, Barking And Dagenham, RM10 7TH	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.15 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	07/09/2020	PRIEXT - Prior Approval: Larger Home Extension	19/10/2020	05/10/2020	Orla Bermingham	Ela King
	20/01767/CLUP	771	38 Fanshawe Crescent, Dagenham, Barking And Dagenham, RM9 5ES	Lawful (Certificate)	Application for a lawful development certificate proposed: construction of a Hip-to-gable roof extension to accommodate a rear dormer extension including two roof lights to the front and one to the side.	04/09/2020	CLUP - Lawful development: Proposed use	30/10/2020	15/09/2020	Cari Jones	Angela Lopez
	20/01769/CLUP	772	18 Bradford Drive, Barking, Barking And Dagenham, IG11 9AR	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a rear dormer extension including three roof lights to the front and a Juliette balcony, to facilitate conversion of roof space into habitable accommodation.	07/09/2020	CLUP - Lawful development: Proposed use	02/11/2020	15/09/2020	Cari Jones	Ela King
	20/01770/HSE	773	18 Bradford Drive, Barking, Barking And Dagenham, IG11 9AR	Refused	Construction of a part two storey, part single storey rear extension.	08/09/2020	Q21. Householder developments	03/11/2020	13/10/2020	Orla Bermingham	Ela King
	20/01771/CLUP	774	105 Gay Gardens, Dagenham, Barking And Dagenham, RM10 7TH	Lawful (Certificate)	Application for a lawful development certificate proposed: construction of a front porch.	07/09/2020	CLUP - Lawful development: Proposed use	02/11/2020	04/10/2020	Harry Moorhouse	Angela Lopez
	20/01772/CLUP	775	83 Holgate Road, Dagenham, Barking And Dagenham, RM10 8NB	Lawful (Certificate)	Application for a lawful development certificate proposed: construction of a Hip-to-gable roof extension to accommodate a rear dormer extension including two roof lights to the front, one at the side and a Juliette balcony.	07/09/2020	CLUP - Lawful development: Proposed use	02/11/2020	04/10/2020	Harry Moorhouse	Angela Lopez
	20/01773/CLUP	776	35 Pemberton Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 6SJ	Lawful (Certificate)	Application for a lawful development certificate proposed: construction of a Hip-to-gable roof extension to accommodate a rear dormer extension including four roof lights to the front and removal of a chimney.	07/09/2020	CLUP - Lawful development: Proposed use	02/11/2020	18/09/2020	Orla Bermingham	Angela Lopez
x	20/01774/AOD	777	Job Centre, Department Of Employment Chequers Lane, Dagenham, Barking And Dagenham, RM9 6PS	Condition(s) Fully Discharged	Details pursuant to Condition 8 (Scheme of Acoustic Protection) attached to planning consent 19/01724/FUL dated 29/04/2020.	07/09/2020	AOD - Application for approval of details reserved by condition	02/11/2020	05/10/2020	Nasser Farooq	Ela King
	20/01775/CLUP	778	45 Burnham Road, Dagenham, Barking And Dagenham, RM9 4RB	Lawful (Certificate)	Application for a lawful development certificate proposed: construction of a Hip-to-gable roof extension to accommodate a rear dormer extension including two roof lights to the front and one obscured glass window to the side of first floor.	07/09/2020	CLUP - Lawful development: Proposed use	02/11/2020	27/10/2020	Lauren Carroll	Angela Lopez
	20/01776/HSE	779	83 Holgate Road, Dagenham, Barking And Dagenham, RM10 8NB	Approved	Construction of part two storey rear extension and front porch.	07/09/2020	Q21. Householder developments	02/11/2020	27/10/2020	Cari Jones	Angela Lopez
	20/01777/HSE	780	44 Clare Gardens, Barking, Barking And Dagenham, IG11 9JH	Refused	CONSTRUCTION OF FIRST FLOOR SIDE EXTENSION AND GROUND FLOOR FRONT EXTENSION	07/09/2020	Q21. Householder developments	02/11/2020	27/10/2020	Harry Moorhouse	Angela Lopez
	20/01778/HSE	781	45 Burnham Road, Dagenham, Barking And Dagenham, RM9 4RB	Approved	CONSTRUCTION OF PART FIRST FLOOR, PART TWO STOREY REAR AND GROUND FLOOR INFILL EXTENSION.	07/09/2020	Q21. Householder developments	02/11/2020	27/10/2020	Lauren Carroll	Angela Lopez
	20/01779/HSE	782	52 Lincoln Avenue, Rush Green, Romford, Barking And Dagenham, RM7 0SR	Refused	Construction of single storey rear extension.	07/09/2020	Q21. Householder developments	02/11/2020	02/11/2020	Orla Bermingham	Angela Lopez
	20/01780/CLUP	783	2 St Giles Close, Dagenham, Barking And Dagenham, RM10 9TD	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a hip-to-gable roof extension to accommodate a rear dormer extension, including two roof lights to the front to facilitate conversion of roof space into habitable accommodation.	08/09/2020	CLUP - Lawful development: Proposed use	03/11/2020	05/10/2020	Orla Bermingham	Ela King
	20/01781/HSE	784	132 Rugby Road, Dagenham, Barking And Dagenham, RM9 4AH	Approved	Retrospective approval for two storey side extension	07/09/2020	Q21. Householder developments	02/11/2020	27/10/2020	Cari Jones	Angela Lopez

20/01782/PRIEXT	785	8 Kingston Close, Dagenham, RM6 5QB	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension: The proposed extension will extend beyond the rear wall by 3.5 m. The maximum height of the proposed extension from the natural ground level is 3.0 m. The height at eaves level of the proposed extension measured from the natural ground level is 2.8 m.	07/09/2020	PRIEXT - Prior Approval: Larger Home Extension	19/10/2020	05/10/2020	Orla Bermingham	Angela Lopez
20/01783/HSE	786	35 Pemberton Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 6SJ	Approved	CONSTRUCTION OF PART SINGLE PART TWO STOREY REAR EXTENSION, HIP TO GABLE ROOF EXTENSION INCLUDING FOUR FRONT AND TWO REAR ROOF LIGHTS.	10/09/2020	Q21. Householder developments	05/11/2020	28/10/2020	Orla Bermingham	Angela Lopez
20/01784/PRIEXT	787	44 Gordon Road, Dagenham, RM6 6BD	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension: The proposed extension will extend beyond the rear wall by 3.8m. The maximum height of the proposed extension from the natural ground level is 3.0m. The height at eaves level of the proposed extension measured from the natural ground level is 3.0m.	08/09/2020	PRIEXT - Prior Approval: Larger Home Extension	20/10/2020	13/10/2020	Cari Jones	Angela Lopez
20/01785/PRIEXT	788	10 Pemberton Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 6SH	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	08/09/2020	PRIEXT - Prior Approval: Larger Home Extension	20/10/2020	05/10/2020	Cari Jones	Ela King
20/01786/PRIEXT	789	4 Patrick Crescent, Dagenham, Barking And Dagenham, RM8 1EU	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 5.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.	08/09/2020	PRIEXT - Prior Approval: Larger Home Extension	20/10/2020	19/10/2020	Lauren Carroll	Ela King
20/01787/HSE	790	66 Westrow Drive, Barking, Barking And Dagenham, IG11 9BN	Approved	Construction of two storey side extension, porch extended to boundary and conversion of existing garage into habitable room.	11/09/2020	Q21. Householder developments	06/11/2020	28/10/2020	Harry Moorhouse	Angela Lopez
20/01788/FULL	791	Angels Hair And Nail Salon, 434 Becontree Avenue, Dagenham, Barking And Dagenham, RM8 3UB	Approved	Construction of a single storey rear extension to hair and nail salon.	09/09/2020	Q16. MINOR Retail and service	04/11/2020	27/10/2020	Cari Jones	Ela King
20/01790/AOD	792	Gascoigne Estate East King Edwards Road, Barking, Barking And Dagenham,	Condition(s) Partially Discharged	Approval of Details pursuant to Conditions 5 and 7 (Construction Management Plan & Construction Logistics Plan) 17 (Ground Levels) in relation to Phases 2B and 2C attached to 19/00310/FUL dated 03/02/2020.	09/09/2020	AOD - Application for approval of details reserved by condition	04/11/2020	01/12/2020	Nasser Farooq	Ela King
20/01791/HSE	793	2, Graham Mansions Lansbury Avenue, Barking, Barking And Dagenham, IG11 9NL	Approved	Construction of an access ramp with handrails to front of property for disabled occupant.	10/09/2020	Q21. Householder developments	05/11/2020	28/10/2020	Harry Moorhouse	Ela King
20/01792/HSE	794	80 Kenneth Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6LP	Approved	Construction of first floor side and rear extension and conversion of garage into habitable room, including alterations to the front elevation.	10/09/2020	Q21. Householder developments	05/11/2020	28/10/2020	Harry Moorhouse	Ela King
20/01793/PRIEXT	795	18 Hatfield Road, Dagenham, Barking And Dagenham, RM9 6JR	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 3.05 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.73 metres.	09/09/2020	PRIEXT - Prior Approval: Larger Home Extension	21/10/2020	13/10/2020	Harry Moorhouse	Ela King
20/01794/PRIEXT	796	18 Hatfield Road, Dagenham, Barking And Dagenham, RM9 6JR	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.50 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.73 metres.	09/09/2020	PRIEXT - Prior Approval: Larger Home Extension	21/10/2020	17/10/2020	Lauren Carroll	Ela King
20/01795/PRIEXT	797	97 Campden Crescent, Dagenham, Barking And Dagenham, RM8 2SA	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.50 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	09/09/2020	PRIEXT - Prior Approval: Larger Home Extension	21/10/2020	13/10/2020	Orla Bermingham	Ela King
20/01796/CLUP	798	160 Halbutt Street, Dagenham, Barking And Dagenham, RM9 5AH	Not Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of an outbuilding.	10/09/2020	CLUP - Lawful development: Proposed use	05/11/2020	04/10/2020	Harry Moorhouse	Ela King
20/01797/CLUP	799	Pbm Building Service Ltd., 70 Whalebone Lane South, Dagenham, Barking And Dagenham, RM8 1BB	Lawful (Certificate)	Application for a lawful development certificate proposed: Change of use from Shop to Coffee shop.	09/09/2020	CLUP - Lawful development: Proposed use	04/11/2020	27/10/2020	Orla Bermingham	Angela Lopez
20/01798/AOD	800	Major Tea Co Limited, 31 - 35 Mill Lane, Chadwell Heath, Romford, Barking And Dagenham, RM6 6TT	Condition(s) Fully Discharged	Application for approval of details reserved by Condition 3 (Materials), Condition 4 (Access), Condition 6 (Remediation Strategy) and Condition 7 (Boundary Treatment) in respect of planning permission 20/00483/FUL.	10/09/2020	AOD - Application for approval of details reserved by condition	05/11/2020	12/11/2020	Harry Moorhouse	Angela Lopez
20/01799/AOD	801	Gascoigne Estate East, Kind Edwards Road, Barking, IG11 7TL	Condition(s) Fully Discharged	Application for approval of details reserved by Condition 3 (Materials) in respect of planning permission 18/00479/REM.	11/09/2020	AOD - Application for approval of details reserved by condition	06/11/2020	28/10/2020	Nasser Farooq	Angela Lopez
20/01800/AOD	802	Gascoigne Estate East King Edwards Road, Barking, IG11 7TL	Condition(s) Partially Discharged	Application for approval of details reserved by Condition 5 (Landscaping) and condition 7 (Hard Landscaping) partial discharge in respect of planning permission 18/00479/REM.	11/09/2020	AOD - Application for approval of details reserved by condition	06/11/2020	28/10/2020	Nasser Farooq	Angela Lopez
20/01801/CLUP	803	32 Beccles Drive, Barking, Barking And Dagenham, IG11 9HX	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a hip-to-gable roof extension to accommodate a rear dormer extension including two roof lights to the front to facilitate conversion of roof space into habitable accommodation.	11/09/2020	CLUP - Lawful development: Proposed use	06/11/2020	27/10/2020	Lauren Carroll	Ela King
20/01802/FULL	804	Unit 2, Rippleside Commercial Estate, Barking, IG11 0RJ	Approved	Construction of an extension to storage warehouse.	15/09/2020	Q15. MINOR General Industry / storage / warehousing	10/11/2020	30/10/2020	Harry Moorhouse	Ela King
20/01803/HSE	805	118 Ford Road, Dagenham, Barking And Dagenham, RM9 6LT	Refused	Construction of a front porch.	28/10/2020	Q21. Householder developments	23/12/2020	24/11/2020	Orla Bermingham	Ela King
20/01804/HSE	806	48 Rose Glen, Rush Green, Romford, Barking And Dagenham, RM7 0SP	Approved	Construction of a single storey rear extension.	21/09/2020	Q21. Householder developments	16/11/2020	28/10/2020	Lauren Carroll	Ela King
20/01805/AOD	807	School House, 2 Suffolk Road, Barking, Barking And Dagenham, IG11 7QS	Condition(s) Fully Discharged	Application for approval of details reserved by Condition 5 (Construction Environmental Management Plan (CEMP) and a Site Waste Management Plan (SWMP)) in respect of planning permission 19/01623/BEG3.	11/09/2020	AOD - Application for approval of details reserved by condition	06/11/2020	02/10/2020	Kathryn McAllister	Angela Lopez
20/01806/AOD	808	Abbey Sports Centre, Abbey Sports Centre, Barking, Barking And Dagenham, IG11 7LX	Condition(s) Fully Discharged	Details pursuant to Condition 36 (Piling) attached to planning consent 18/00331/FUL dated 10/12/2018.	11/09/2020	AOD - Application for approval of details reserved by condition	06/11/2020	04/11/2020	Cari Jones	Ela King
20/01807/HSE	809	161 Sheppey Road, Dagenham, Barking And Dagenham, RM9 4JS	Refused	Construction of a front porch.	11/09/2020	Q21. Householder developments	06/11/2020	13/10/2020	Orla Bermingham	Ela King
20/01808/CLUP	810	8 Sterry Road, Barking, Barking And Dagenham, IG11 9SJ	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a single storey rear extension.	11/09/2020	CLUP - Lawful development: Proposed use	06/11/2020	05/10/2020	Orla Bermingham	Ela King
20/01809/CLUP	811	6 Sterry Road, Barking, Barking And Dagenham, IG11 9SJ	Lawful (Certificate)	Application for a lawful development certificate proposed: Construction of single storey rear extension.	11/09/2020	CLUP - Lawful development: Proposed use	06/11/2020	13/10/2020	Cari Jones	Angela Lopez
20/01811/HSE	812	87 Langhorne Road, Dagenham, Barking And Dagenham, RM10 9RB	Refused	Construction of a two storey side extension.	11/09/2020	Q21. Householder developments	06/11/2020	03/11/2020	Lauren Carroll	Ela King
20/01812/PRICOM	813	Area Of Footpath Junction Of Wood Lane & Heathway, London, RM10 7RU	Prior Approval Refused	Application for prior approval telecommunications: Installation of 15metre high Phase 8 telecommunications pole with built-in cabinet, 3no. separate cabinets and ancillary works.	11/09/2020	PRICOM - Prior Approval: Development for electronic communications network	06/11/2020	28/10/2020	Harry Moorhouse	Angela Lopez
20/01814/AOD	814	Gascoigne Estate East King Edwards Road, Barking And Dagenham,	Condition(s) Fully Discharged	Application for approval of details reserved by conditions 5 (Construction Method Statement) and 7 (Construction Logistics Plan) in respect of planning permission 19/00310/FUL for Phase 2B, Development Parcel H)	11/08/2020	AOD - Application for approval of details reserved by condition	06/10/2020	08/12/2020	Nasser Farooq	Angela Lopez
20/01815/VAR	815	House For Artists, 36-40 Linton Road, Barking, IG11 8HR	Approved	APPLICATION TO VARY CONDITION 2 (APPROVED DRAWINGS) OF PLANNING PERMISSION 18/00555/FUL.	09/09/2020	S106 - Variation to S106	04/11/2020	20/01/2021	Kathryn McAllister	Angela Lopez
20/01816/HSE	816	16 Ventnor Gardens, Barking, Barking And Dagenham, IG11 9JY	Approved	Construction of a single storey outbuilding in the rear garden for ancillary purposes.	14/09/2020	Q21. Householder developments	09/11/2020	28/10/2020	Lauren Carroll	Ela King
20/01817/AOD	817	Merrields Development Site Merrields Crescent, Dagenham, Barking And Dagenham,	Condition(s) Fully Discharged	Details pursuant to Condition 28 (Travel Plan) attached to planning consent 17/02111/FUL dated 22/08/2018.	14/09/2020	AOD - Application for approval of details reserved by condition	09/11/2020	23/11/2020	Grace Liu	Ela King
20/01818/AOD	818	Merrields Development Site Merrields Crescent, Dagenham, Barking And Dagenham,	Condition(s) Fully Discharged	Details pursuant to Condition 24 (Bird and Bat Boxes) attached to planning consent 17/02111/FUL dated 22/08/2018.	14/09/2020	AOD - Application for approval of details reserved by condition	09/11/2020	23/11/2020	Grace Liu	Ela King
20/01819/HSE	819	65 Alderman Avenue, Barking, Barking And Dagenham, IG11 0LR	Approved	CONSTRUCTION OF SINGLE STOREY FRONT AND REAR EXTENSIONS AND INFILL SIDE EXTENSION.	14/09/2020	Q21. Householder developments	09/11/2020	28/10/2020	Harry Moorhouse	Angela Lopez
20/01820/FULL	820	7 Legon Avenue, Rush Green, Romford, Barking And Dagenham, RM7 0UJ	Approved	Construction of new two storey two bedroom dwelling attached to the existing house with private amenity space.	12/09/2020	Q13. MINOR Dwellings	07/11/2020	04/12/2020	Harry Moorhouse	Angela Lopez

20/01821/PRIEXT	821	45 Maplestead Road, Dagenham, Barking And Dagenham, RM9 4XH	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.15 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	14/09/2020	PRIEXT - Prior Approval: Larger Home Extension	26/10/2020	13/10/2020	Cari Jones	Ela King
20/01822/PRIEXT	822	3 Netherfield Gardens, Barking, Barking And Dagenham, IG11 9TL	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 2.85 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.85 metres.	14/09/2020	PRIEXT - Prior Approval: Larger Home Extension	26/10/2020	13/10/2020	Harry Moorhouse	Ela King
20/01823/HSE	823	22 Hewett Road, Dagenham, Barking And Dagenham, RM8 2XT	Approved	Construction of an access ramp with handrails to front of property for disabled occupant.	14/09/2020	Q21. Householder developments	09/11/2020	28/10/2020	Cari Jones	Ela King
20/01824/TPO	824	173 Honey Close, Dagenham, Barking And Dagenham, RM10 8TG	Approved	Application for tree works subject to a tree preservation order: Rear Garden T1 - Poplar Pollard to previous points by removal of up to approximately 7-8 metres of the branch length, leaving a finished height of approximately 8-10 metres from ground level. Remove dead limbs.	19/11/2020	TPO - Works to trees subject to a tree preservation order	14/01/2021	15/12/2020	Grace Liu	Angela Lopez
20/01825/HSE	825	239 Boundary Road, Barking, Barking And Dagenham, IG11 7JU	Approved	Construction of an access ramp with handrails to front of property for disabled occupant.	14/09/2020	Q21. Householder developments	09/11/2020	28/10/2020	Harry Moorhouse	Ela King
20/01826/CLUP	826	60 Hunters Hall Road, Dagenham, Barking And Dagenham, RM10 8JD	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the Construction of a single storey rear extension with two rooflights.	21/09/2020	CLUP - Lawful development: Proposed use	16/11/2020	04/10/2020	Harry Moorhouse	Ela King
20/01827/FULL	827	519 - 527 Gale Street, Dagenham, Barking And Dagenham,	Refused	Alterations to existing first floor flat, incorporating a rear infill extension, and the Construction of a two-storey roof extension to create 9 additional units (3 x 1 bedroom units, 4 x 2 bedroom 3 person units and 2 x 2 bedroom 4 person units)	14/09/2020	Q13. MINOR Dwellings	09/11/2020	04/11/2020	Kathryn McAllister	Ela King
20/01828/PRIEXT	828	4, Loxford Terrace Fanshawe Avenue, Barking, Barking And Dagenham, IG11 8RH	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.56 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.85 metres.	15/09/2020	PRIEXT - Prior Approval: Larger Home Extension	27/10/2020	23/10/2020	Lauren Carroll	Ela King
20/01829/HSE	829	29 Clemence Road, Dagenham, Barking And Dagenham, RM10 9YN	Refused	Construction of a two storey rear extension and conversion of garage including alterations to the front and side elevations.	15/09/2020	Q21. Householder developments	10/11/2020	28/10/2020	Orla Bermingham	Ela King
20/01831/FULL	830	Razpec, 236 - 238 High Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6AP	Approved	installation of new folding sliding door at the rear and new retractable roof systems (Retractable Pergola) to create out door space.	15/09/2020	Q16. MINOR Retail and service	10/11/2020	28/10/2020	Orla Bermingham	Ela King
20/01833/PRIEXT	831	18 Hatfield Road, Dagenham, Barking And Dagenham, RM9 6JR	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 3.05 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.73 metres.	15/09/2020	PRIEXT - Prior Approval: Larger Home Extension	27/10/2020	13/10/2020	Orla Bermingham	Ela King
20/01834/PRIEXT	832	18 Hatfield Road, Dagenham, Barking And Dagenham, RM9 6JR	Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.50 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.73 metres.	15/09/2020	PRIEXT - Prior Approval: Larger Home Extension	27/10/2020	13/10/2020	Cari Jones	Ela King
20/01835/HSE	833	5 West Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6YA	Approved	Construction of a part two storey, part single storey rear extension.	15/09/2020	Q21. Householder developments	10/11/2020	04/11/2020	Cari Jones	Ela King
20/01836/AOD	834	Development Site Junction Of Stamford Road And Woodward Road, Dagenham, Barking And Dagenham,	Condition(s) Fully Discharged	Details pursuant to Condition 7 (Acoustic Protection) attached to planning consent 20/00097/FUL dated 17/07/2020.	15/09/2020	AOD - Application for approval of details reserved by condition	10/11/2020	16/11/2020	Grace Liu	Ela King
20/01839/HSE	835	62 Beccles Drive, Barking, Barking And Dagenham, IG11 9HY	Refused	CONSTRUCTION OF FIRST FLOOR SIDE EXTENSION	15/09/2020	Q21. Householder developments	10/11/2020	28/10/2020	Lauren Carroll	Angela Lopez
20/01840/AOD	836	Whiting Avenue, Land Between Whiting Avenue And Gurdwara Way, Barking, IG11 8JH	Condition(s) Partially Discharged	Application for approval of details reserved by Part Discharge of Condition 11 (Hard Landscaping -Management and Maintenance plans Part d) in respect of planning permission 17/00698/FUL	16/09/2020	AOD - Application for approval of details reserved by condition	11/11/2020	28/10/2020	Olivia St-Amour	Angela Lopez
20/01841/PRIEXT	837	4 Park Avenue, Barking, Barking And Dagenham, IG11 8QU	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension: The proposed extension will extend beyond the rear wall by 6.0m. The maximum height of the proposed extension from the natural ground level is 4.0m. The height at eaves level of the proposed extension measured from the natural ground level is 3m	12/09/2020	PRIEXT - Prior Approval: Larger Home Extension	24/10/2020	20/10/2020	Cari Jones	Angela Lopez
20/01842/CLUP	838	61 Review Road, Dagenham, Barking And Dagenham, RM10 9DJ	Lawful (Certificate)	Application for a lawful development certificate proposed: construction of a Hip-to-gable roof extension to accommodate a rear dormer extension including two roof lights to the front, an obscure glazed window to the side and a Juliette balcony.	16/09/2020	CLUP - Lawful development: Proposed use	11/11/2020	04/10/2020	Harry Moorhouse	Angela Lopez
20/01843/CLUP	839	14 Strood Avenue, Rush Green, Romford, Barking And Dagenham, RM7 0UX	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the Construction of a rear dormer extension including two roof lights to the front to facilitate conversion of roof space into habitable accommodation.	17/09/2020	CLUP - Lawful development: Proposed use	12/11/2020	05/10/2020	Cari Jones	Ela King
20/01844/CLUP	840	Hair Clips, 68 High Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6PP	Not Lawful (Certificate)	Application for a lawful development certificate proposed: change of use to the rear section, used as storage/office space, into dwelling.	18/09/2020	CLUP - Lawful development: Proposed use	13/11/2020	28/10/2020	Lauren Carroll	Angela Lopez
20/01845/PRIEXT	841	16 Raydons Gardens, Dagenham, Barking And Dagenham, RM9 5JS	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.	17/09/2020	PRIEXT - Prior Approval: Larger Home Extension	29/10/2020	13/10/2020	Orla Bermingham	Ela King
20/01846/HSE	842	4 Mayfield Road, Dagenham, Barking And Dagenham, RM8 1XR	Approved	Construction of a single storey rear and side extension.	14/10/2020	Q21. Householder developments	09/12/2020	30/11/2020	Cari Jones	Ela King
20/01847/AOD	843	Sacred Heart Convent, 191 Goresbrook Road, Dagenham, Barking And Dagenham, RM9 6XD	Approved	Details pursuant to Condition 3 (External Materials) attached to planning consent 18/01689/FUL dated 19/12/2018 as varied by application 19/00841/FUL dated 02/07/2019 and 19/01016/CDN dated 08/08/2019	28/09/2020	AOD - Application for approval of details reserved by condition	23/11/2020	21/12/2020	Nathaniel Soneye-Thomas	Ela King
20/01848/CLUP	844	5 Bushway, Dagenham, Barking And Dagenham, RM8 3XH	Not Lawful (Certificate)	Application for a lawful development certificate proposed: Construction of double storey rear extension.	16/09/2020	CLUP - Lawful development: Proposed use	11/11/2020	05/10/2020	Orla Bermingham	Angela Lopez
20/01850/PRIEXT	845	5 Bushway, Dagenham, Barking And Dagenham, RM8 3XH	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	17/09/2020	PRIEXT - Prior Approval: Larger Home Extension	29/10/2020	13/10/2020	Harry Moorhouse	Ela King
20/01851/PRIEXT	846	11 Hitherfield Road, Dagenham, Barking And Dagenham, RM8 3PD	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 2.75 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	18/09/2020	PRIEXT - Prior Approval: Larger Home Extension	30/10/2020	28/10/2020	Lauren Carroll	Ela King
20/01852/PRIEXT	847	27 Tenterden Road, Dagenham, Barking And Dagenham, RM8 1PX	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.81 metres.	18/09/2020	PRIEXT - Prior Approval: Larger Home Extension	30/10/2020	27/10/2020	Orla Bermingham	Ela King
20/01853/FULL	848	30 Thames Road, Barking, Barking And Dagenham, IG11 0HZ	Approved	Construction of a ground floor extension to provide additional storage and cold rooms and Construction of a first floor extension to provide additional office space.	21/09/2020	Q18. MINOR All other developments	16/11/2020	12/11/2020	Lauren Carroll	Ela King

20/01854/PRIEXT	849	397 Whalebone Lane North, Romford, Barking And Dagenham, RM6 6RH	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	18/09/2020	PRIEXT - Prior Approval: Larger Home Extension	30/10/2020	26/10/2020	Cari Jones	Ela King
20/01856/HSE	850	9 Cedar Avenue, Chadwell Heath, Romford, Barking And Dagenham, RM6 6ST	Refused	Construction of a single storey side extension with pitched roof.	21/10/2020	Q21. Householder developments	16/12/2020	30/11/2020	Cari Jones	Ela King
20/01857/HSE	851	109 Valentines Way, Rush Green, Romford, Barking And Dagenham, RM7 0YD	Refused	Construction of a two storey side extension.	22/09/2020	Q21. Householder developments	17/11/2020	12/11/2020	Cari Jones	Ela King
20/01858/PRIEXT	852	181 Whalebone Lane South, Dagenham, Barking And Dagenham, RM8 1AT	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension and the installation of three rooflights. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 2.80 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.80 metres.	21/09/2020	PRIEXT - Prior Approval: Larger Home Extension	02/11/2020	27/10/2020	Harry Moorhouse	Ela King
20/01860/HSE	853	66 Flamstead Road, Dagenham, Barking And Dagenham, RM9 4JL	Refused	Construction of Annex/outbuilding to provide additional accommodation in connection with the main house for the family. It would comprise two bedrooms and a shower / toilet room	22/10/2020	Q21. Householder developments	17/12/2020	08/12/2020	Cari Jones	Angela Lopez
20/01861/CLUP	854	181 Whalebone Lane South, Dagenham, Barking And Dagenham, RM8 1AT	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a rear dormer extension including two roof lights to the front to facilitate conversion of roof space into habitable accommodation.	21/09/2020	CLUP - Lawful development: Proposed use	16/11/2020	05/10/2020	Lauren Carroll	Ela King
20/01862/AOD	855	9 - 10, The Triangle Tanner Street, Barking, Barking And Dagenham,	Condition(s) Fully Discharged	Details pursuant to Condition 15 (Remediation Scheme) and Condition 16 (Investigation and Risk Assessment) attached to planning consent 16/00504/FUL dated 21/10/2016.	21/09/2020	AOD - Application for approval of details reserved by condition	16/11/2020	12/11/2020	Lauren Carroll	Ela King
20/01863/FULL	856	Ground Floor Commercial Unit, Weavers Court, Kings Edwards Road, Barking, IG11 7FY	Approved	Temporary change of use of ground floor commercial unit in Weavers Court Building (Phase 1A of the Gascoigne East Estate) from flexible commercial (Use Class E) to a community Centre (Use Class E,F.1,F.2) for a period of up to 4 years; and the installation of a single access door on Ketch Street; frosted glass, and associated cycle storage and plant equipment and other associated works	17/09/2020	Q20. Change of use	12/11/2020	11/11/2020	Nasser Farooq	Angela Lopez
20/01864/CLUP	857	97 Campden Crescent, Dagenham, Barking And Dagenham, RM8 2SA	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a rear dormer extension including two roof lights to the front to facilitate conversion of roof space into habitable accommodation.	21/09/2020	CLUP - Lawful development: Proposed use	16/11/2020	05/10/2020	Orla Bermingham	Ela King
20/01865/HSE	858	127 Wood Lane, Dagenham, Barking And Dagenham, RM8 3NA	Approved	Construction of an access ramp with handrails to front of property for disabled occupant.	21/09/2020	Q21. Householder developments	16/11/2020	28/10/2020	Harry Moorhouse	Ela King
20/01866/REM	859	Gascoigne Estate East, Kind Edwards Road, Barking, IG11 7TL	Approved	Application for the approval of all reserved matters (relating to Phases 2B and 2C) following outline approval 19/00310/FUL- Details in relation to the development comprising 526 dwellings, up to 822 sqm of commercial floorspace (Use Classes A1, A2, A3, and B1) a public square, and associated access roads, car parking and landscaping.	18/09/2020	Q01. MAJOR Dwellings	18/12/2020	18/12/2020	Nasser Farooq	Angela Lopez
20/01869/HSE	860	24 Central Park Avenue, Dagenham, Barking And Dagenham, RM10 7DA	Refused	Demolition of existing outbuilding and construction of ancillary granny annex.	22/09/2020	Q21. Householder developments	17/11/2020	30/10/2020	Orla Bermingham	Ela King
20/01870/CLUP	861	79c Bennetts Castle Lane, Dagenham, Barking And Dagenham, RM8 3YB	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a rear dormer extension including two roof lights to the front to facilitate conversion of roof space into habitable accommodation.	01/11/2020	CLUP - Lawful development: Proposed use	27/12/2020	13/11/2020	Lauren Carroll	Ela King
20/01871/PRIEXT	862	12 Wells Gardens, Dagenham, Barking And Dagenham, RM10 8HD	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 3.60 metres. The maximum height of the proposed extension from the natural ground level is 4.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	21/09/2020	PRIEXT - Prior Approval: Larger Home Extension	02/11/2020	27/10/2020	Lauren Carroll	Ela King
20/01872/HSE	863	32 Riverdale Close, Barking, Barking And Dagenham, IG11 0GQ	Approved	Construction of a single storey rear extension and installation of two roof lights to provide bathroom and bedroom for disabled occupant.	24/09/2020	Q21. Householder developments	19/11/2020	12/11/2020	Harry Moorhouse	Ela King
20/01874/HSE	864	86 East Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6YT	Approved	Construction of a single storey rear extension and two storey side extension and installation of two rooflights.	22/09/2020	Q21. Householder developments	17/11/2020	28/10/2020	Harry Moorhouse	Ela King
20/01875/PRICAS	865	43 Vincent Road, Dagenham, Barking And Dagenham, RM9 6AS	Prior Approval Refused	Prior notification application for the construction of an additional storey. The height of the proposed additional storey will be 2.60m and the proposed maximum height of the dwellinghouse measured from the natural ground level will be 11.08m.	22/09/2020	PRICAS-enlargement of a dwellinghouse by construction of additional storeys	17/11/2020	13/11/2020	Lauren Carroll	Ela King
20/01876/CLUP	866	358 Becontree Avenue, Dagenham, Barking And Dagenham, RM8 2TL	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of an outbuilding.	05/10/2020	CLUP - Lawful development: Proposed use	30/11/2020	13/10/2020	Orla Bermingham	Ela King
20/01877/PRIEXT	867	37 Fordyke Road, Dagenham, Barking And Dagenham, RM8 1PH	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.00 metres. The maximum height of the proposed extension from the natural ground level is 3.08 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.95 metres.	22/09/2020	PRIEXT - Prior Approval: Larger Home Extension	03/11/2020	27/10/2020	Orla Bermingham	Ela King
20/01878/HSE	868	121 Church Elm Lane, Dagenham, Barking And Dagenham, RM10 9RL	Approved	Construction of a single storey rear extension including the installation of two roof lights and a side window, in addition to, the installation of a ground floor side window and internal changes to the existing dwelling.	21/10/2020	Q21. Householder developments	16/12/2020	15/12/2020	Harry Moorhouse	Angela Lopez
20/01879/HSE	869	20 Lansbury Avenue, Barking, IG11 9NN	Refused	Construction to ground floor side extension to an approved two storey double side extension.	22/09/2020	Q21. Householder developments	17/11/2020	12/11/2020	Cari Jones	Angela Lopez
20/01881/NONMATT	870	Site No 4 Dagenham Dock Thunderer Road, Dagenham, Barking And Dagenham,	Approved	Non-material amendment to planning permission 20/00388/FUL dated 05/05/2020 comprising of varying the wording of Condition 17.	22/09/2020	NONMAT - Non-material amendment following a grant of planning permission	20/10/2020	05/10/2020	Nasser Farooq	Ela King
20/01882/PRIEXT	871	52 Ingleby Road, Dagenham, Barking And Dagenham, RM10 8SA	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.40 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	23/09/2020	PRIEXT - Prior Approval: Larger Home Extension	04/11/2020	28/10/2020	Cari Jones	Ela King
20/01883/PRIEXT	872	59 Sparsholt Road, Barking, Barking And Dagenham, IG11 7YG	Prior Approval Refused	Prior notification application for the construction of two single storey rear extensions. The first proposed extension will extend beyond the rear wall by 3.00 metres. The maximum height of the proposed extension from the natural ground level is 2.60 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.60 metres. The second proposed extension will extend beyond the rear wall by 5.82 metres. The maximum height of the proposed extension from the natural ground level is 3.69 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.60 metres.	23/09/2020	PRIEXT - Prior Approval: Larger Home Extension	04/11/2020	02/11/2020	Lauren Carroll	Ela King
20/01884/FULL	873	C & Select Beds & Furniture, 685 Green Lane, Dagenham, Barking And Dagenham, RM8 1UU	Approved	Proposed application for a new extract flue and ground floor rear extension in relation to Class E restaurant use.	22/09/2020	Q20. Change of use	17/11/2020	12/11/2020	Harry Moorhouse	Ela King
20/01885/FULL	874	213 Salisbury Avenue, Barking, Barking And Dagenham, IG11 9XT	Refused	Conversion of existing dwelling house into two flats (1x three-bedroom, 1x two-bedroom) including construction of a single storey side extension.	22/09/2020	Q13. MINOR Dwellings	17/11/2020	04/11/2020	Cari Jones	Ela King
20/01886/PRIEXT	875	51 East Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6YS	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension including the installation of 3 No. rooflights. The proposed extension will extend beyond the rear wall by 4.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.70 metres.	23/09/2020	PRIEXT - Prior Approval: Larger Home Extension	04/11/2020	27/10/2020	Harry Moorhouse	Ela King

20/01887/PRIEXT	876	42 Victoria Road, Dagenham, Barking And Dagenham, RM10 7XL	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.50 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	23/09/2020	PRIEXT - Prior Approval: Larger Home Extension	04/11/2020	27/10/2020	Lauren Carroll	Ela King
20/01889/FULL	877	360 Becontree Avenue, Dagenham, RM8 2TL	Refused	Construction of new one x bedroom bungalow	23/09/2020	Q13. MINOR Dwellings	18/11/2020	12/11/2020	Kathryn McAllister	Angela Lopez
20/01890/PRIEXT	878	4 Speirs Gardens, Dagenham, Barking And Dagenham, RM8 1EJ	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	24/09/2020	PRIEXT - Prior Approval: Larger Home Extension	05/11/2020	28/10/2020	Orla Bermingham	Ela King
20/01891/CLUP	879	412 Goresbrook Road, Dagenham, Barking And Dagenham, RM9 4UX	Not Lawful (Certificate)	Application for a lawful development certificate (proposed) for the Construction of an outbuilding.	24/09/2020	CLUP - Lawful development: Proposed use	19/11/2020	05/10/2020	Cari Jones	Ela King
20/01892/NONMATT	880	21 Western Avenue, Dagenham, Barking And Dagenham, RM10 8UB	Approved	Non-material amendment to planning permission 19/01505/FUL dated 27/11/2019 comprising of an additional door on side elevation and brick walls.	24/09/2020	NONMAT - Non-material amendment following a grant of planning permission	22/10/2020	13/10/2020	Cari Jones	Ela King
20/01893/PRIEXT	881	64 Butler Road, Dagenham, Barking And Dagenham, RM8 2DR	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 5.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.	24/09/2020	PRIEXT - Prior Approval: Larger Home Extension	05/11/2020	28/10/2020	Cari Jones	Ela King
20/01894/PRIDEM	882	Land And Garages At John Burns Drive, Barking, IG11 9RJ	Prior Approval Not Required	Application for prior approval of proposed demolition of single storey garages at John Burns Drive.	25/09/2020	PRIDEM - Prior Approval: Demolition of building	23/10/2020	23/10/2020	Nathaniel Soneye-Thomas	Ela King
20/01895/HSE	883	14 Norfolk Road, Dagenham, Barking And Dagenham, RM10 8EX	Approved	Construction of a single storey rear/infill extension.	24/09/2020	Q21. Householder developments	19/11/2020	28/10/2020	Orla Bermingham	Ela King
20/01896/HSE	884	2 Adomar Road, Dagenham, Barking And Dagenham, RM8 3LR	Approved	Construction of a front porch and two single storey side extensions.	24/09/2020	Q21. Householder developments	19/11/2020	16/11/2020	Cari Jones	Ela King
20/01897/HSE	885	20 Jasmine Road, Rush Green, Romford, Barking And Dagenham, RM7 0WZ	Approved	Construction of a single storey rear extension and the installation of a rooflight.	25/09/2020	Q21. Householder developments	20/11/2020	30/10/2020	Harry Moorhouse	Ela King
20/01898/FULL	886	117 Victoria Road, Barking, Barking And Dagenham, IG11 8PZ	Refused	Demolition of the existing garage and construction of a new single storey structure as an annexe to the existing HMO, providing two wheelchair accessible/adaptable bedrooms for inclusive use of the existing HMO main building.	24/09/2020	Q18. MINOR All other developments	19/11/2020	18/11/2020	Kathryn McAllister	Ela King
20/01899/COM	887	Footpath Japan Road To Park View, Romford, RM6 6PH	Lawful (Certificate)	Proposed installation of a 9m hollow pole.	25/09/2020	COM - Telecommunications notification	16/10/2020	08/10/2020	Harry Moorhouse	Ela King
20/01900/CLUP	888	127 Glenn Road, Barking, Barking And Dagenham, IG11 8QG	Lawful (Certificate)	Application for a lawful development certificate proposed: Loft conversion involving the construction of a rear dormer window.	29/09/2020	CLUP - Lawful development: Proposed use	24/11/2020	30/10/2020	Orla Bermingham	Angela Lopez
20/01901/CLUP	889	121 Halbutt Street, Dagenham, Barking And Dagenham, RM9 5AP	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the Construction of a rear dormer extension including two roof lights to the front to facilitate conversion of roof space into habitable accommodation.	25/09/2020	CLUP - Lawful development: Proposed use	20/11/2020	04/10/2020	Harry Moorhouse	Ela King
20/01902/CLUP	890	11 Homestead Road, Dagenham, Barking And Dagenham, RM8 3DT	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the Construction of a hip-to-gable roof extension and removal of a chimney to accommodate a rear dormer extension including two roof lights to the front to facilitate conversion of roof space into habitable accommodation.	26/09/2020	CLUP - Lawful development: Proposed use	21/11/2020	05/10/2020	Orla Bermingham	Ela King
20/01903/CLUP	891	33 Suffolk Road, Barking, Barking And Dagenham, IG11 7QP	Not Lawful (Certificate)	Application for a lawful development certificate (proposed) for the Construction of an outbuilding.	27/09/2020	CLUP - Lawful development: Proposed use	22/11/2020	05/10/2020	Orla Bermingham	Ela King
20/01905/HSE	892	13 Rusholme Avenue, Dagenham, Barking And Dagenham, RM10 7NX	Approved	CONSTRUCTION OF TWO STOREY SIDE EXTENSION AND PART TWO STOREY REAR EXTENSION	25/09/2020	Q21. Householder developments	20/11/2020	13/11/2020	Lauren Carroll	Angela Lopez
20/01906/HSE	893	58 Burdetts Road, Dagenham, Barking And Dagenham, RM9 6XY	Approved	Construction of a two storey rear extension.	28/09/2020	Q21. Householder developments	23/11/2020	13/11/2020	Lauren Carroll	Ela King
20/01907/HSE	894	2 Haresfield Road, Dagenham, Barking And Dagenham, RM10 8RR	Refused	Construction of Rear Extension	25/09/2020	Q21. Householder developments	20/11/2020	30/10/2020	Orla Bermingham	Angela Lopez
20/01910/SCREEN	895	Land At Gallions Close, Barking, IG11 0JD	Screening Issued	Screening Opinion Request: Redevelopment of site to deliver a wholly residential or residential mixed use scheme.	25/09/2020	SCREEN - EIA Screening Opinion	16/10/2020	19/10/2020	Grace Liu	Ela King
20/01911/SCREEN	896	7 Thames Road, Barking, IG11 0JD	Screening Issued	Screening Opinion Request: Redevelopment of site to deliver a mixed use development incorporating commercial uses at lower levels and residential accommodation above.	25/09/2020	SCREEN - EIA Screening Opinion	16/10/2020	19/10/2020	Grace Liu	Ela King
20/01912/PRIEXT	897	14 Sheringham Drive, Barking, Barking And Dagenham, IG11 9AN	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension the installation of two rooflights and a side window. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.80 metres.	26/09/2020	PRIEXT - Prior Approval: Larger Home Extension	07/11/2020	28/10/2020	Harry Moorhouse	Ela King
20/01913/PRIEXT	898	253 Grafton Road, Dagenham, Barking And Dagenham, RM8 1QP	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	26/09/2020	PRIEXT - Prior Approval: Larger Home Extension	07/11/2020	28/10/2020	Orla Bermingham	Ela King
x 20/01914/PRIEXT	899	30 Sterry Gardens, Dagenham, Barking And Dagenham, RM10 8PH	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.	28/09/2020	PRIEXT - Prior Approval: Larger Home Extension	09/11/2020	28/10/2020	Cari Jones	Ela King
20/01915/HSE	900	16 Puffin Close, Barking, Barking And Dagenham, IG11 0GT	Refused	CONSTRUCTION OF SINGLE STOREY REAR EXTENSION.	28/09/2020	Q21. Householder developments	23/11/2020	12/11/2020	Cari Jones	Angela Lopez
20/01916/HSE	901	72 Beccles Drive, Barking, Barking And Dagenham, IG11 9HY	Approved	Construction of single storey side and rear extension and installation of three rooflights.	28/09/2020	Q21. Householder developments	23/11/2020	30/10/2020	Harry Moorhouse	Angela Lopez
20/01917/CLUP	902	30 Sterry Gardens, Dagenham, Barking And Dagenham, RM10 8PH	Lawful (Certificate)	Application for a lawful development certificate proposed: Construction of a Hip-to-gable roof extension to accommodate a rear dormer extension including two rooflights to the front.	28/09/2020	CLUP - Lawful development: Proposed use	23/11/2020	04/10/2020	Harry Moorhouse	Angela Lopez
20/01919/HSE	903	30 Sterry Gardens, Dagenham, Barking And Dagenham, RM10 8PH	Refused	Construction of a two storey side extension and part two storey, part single storey rear extension.	28/09/2020	Q21. Householder developments	23/11/2020	30/10/2020	Orla Bermingham	Ela King
20/01920/HSE	904	178 Canonsleigh Road, Dagenham, Barking And Dagenham, RM9 4DB	Approved	Construction of an access ramp with handrails to the rear of property for disabled occupant.	29/09/2020	Q21. Householder developments	24/11/2020	30/10/2020	Cari Jones	Ela King
20/01921/FULL	905	67 Gordon Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6DB	Refused	Conversion of existing hmo dwelling into three flats (1x two bedroom, 2x one bedroom) including construction of a first floor side extension, part two storey-part single storey rear extension and alterations to the roof.	16/10/2020	Q13. MINOR Dwellings	11/12/2020	01/12/2020	Orla Bermingham	Ela King
20/01922/PRIEXT	906	52 Gale Street, Dagenham, Barking And Dagenham, RM9 4PA	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	29/09/2020	PRIEXT - Prior Approval: Larger Home Extension	10/11/2020	28/10/2020	Harry Moorhouse	Ela King
20/01923/PRIEXT	907	158 St Awdrys Road, Barking, Barking And Dagenham, IG11 7QE	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 2.75 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.70 metres.	29/09/2020	PRIEXT - Prior Approval: Larger Home Extension	10/11/2020	28/10/2020	Orla Bermingham	Ela King
20/01924/CLUP	908	52 Gale Street, Dagenham, Barking And Dagenham, RM9 4PA	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the Construction of a hip-to-gable roof extension to accommodate a rear dormer extension including three roof lights to the front and a Juliette balcony, to facilitate conversion of roof space into habitable accommodation.	29/09/2020	CLUP - Lawful development: Proposed use	24/11/2020	05/10/2020	Orla Bermingham	Ela King

20/01925/HSE	909	52 Gale Street, Dagenham, Barking And Dagenham, RM9 4PA	Approved	Construction of a part two storey, part single storey rear extension.	30/09/2020	Q21. Householder developments	25/11/2020	13/11/2020	Lauren Carroll	Ela King
20/01927/CLUP	910	10 Beresford Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 6RX	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a rear dormer extension including three roof lights to the front to facilitate conversion of roof space into habitable accommodation.	29/09/2020	CLUP - Lawful development: Proposed use	24/11/2020	05/10/2020	Cari Jones	Ela King
20/01928/CLUP	911	60 Dunkeld Road, Dagenham, Barking And Dagenham, RM8 2PT	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a hip-to-gable roof extension to accommodate a rear dormer extension including four roof lights to the front and a Juliette balcony, to facilitate conversion of roof space into habitable accommodation.	29/09/2020	CLUP - Lawful development: Proposed use	24/11/2020	04/10/2020	Harry Moorhouse	Ela King
20/01929/HSE	912	8 Upney Lane, Barking, Barking And Dagenham, IG11 9LW	Approved	Construction of a single storey outbuilding in the rear garden.	29/09/2020	Q21. Householder developments	24/11/2020	23/11/2020	Lauren Carroll	Ela King
20/01930/FULL	913	25a Bentry Road, Dagenham, Barking And Dagenham, RM8 3PA	Refused	Construction of new two storey, two bedroom dwellinghouse.	19/10/2020	Q13. MINOR Dwellings	14/12/2020	01/12/2020	Harry Moorhouse	Ela King
20/01931/CLUP	914	226 Salisbury Avenue, Barking, Barking And Dagenham, IG11 9XY	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a rear dormer extension including three roof lights to the front to facilitate conversion of roof space into habitable accommodation.	29/09/2020	CLUP - Lawful development: Proposed use	24/11/2020	05/10/2020	Lauren Carroll	Ela King
20/01932/HSE	915	259 Ivyhouse Road, Dagenham, Essex, Rush Green, RM9 5RT	Refused	Construction of first floor rear extension	23/09/2020	Q21. Householder developments	18/11/2020	12/11/2020	Kathryn McAllister	Angela Lopez
20/01933/HSE	916	11 Blake Avenue, Barking, Barking And Dagenham, IG11 9RT	Approved	Construction of a single storey rear extension.	29/09/2020	Q21. Householder developments	24/11/2020	23/11/2020	Orla Bermingham	Ela King
20/01934/CLUE	917	28 Hulse Avenue, Barking, Barking And Dagenham, IG11 9UW	Lawful (Certificate)	Application for a lawful development certificate Existing: Continuance of use as a HMO (C4) property that has been operate for than 10 years.	29/09/2020	CLUE - Lawful development: Existing use	24/11/2020	24/11/2020	Lauren Carroll	Angela Lopez
20/01935/FULL	918	7 Sunningdale Avenue, Barking, Barking And Dagenham, IG11 7QF	Refused	Change of use of property from single dwellinghouse to house in multiple occupation (use class C4) for upto 6 people	25/09/2020	Q20. Change of use	20/11/2020	03/11/2020	Lauren Carroll	Angela Lopez
20/01937/HSE	919	139 Oval Road North, Dagenham, Barking And Dagenham, RM10 9ER	Approved	Construction of a single storey rear extension.	30/09/2020	Q21. Householder developments	25/11/2020	23/11/2020	Cari Jones	Ela King
20/01938/HSE	920	31 Salisbury Avenue, Barking, Barking And Dagenham, IG11 9XQ	Approved	Construction of a single storey rear extension to provide bathing facilities for disabled occupant, including alterations to the side elevation including an access ramp.	30/09/2020	Q21. Householder developments	25/11/2020	30/10/2020	Harry Moorhouse	Ela King
20/01939/CLUP	921	3 Hennessey Mews, Dagenham, Barking And Dagenham, RM8 1EL	Lawful (Certificate)	Application for a lawful development certificate proposed: construction of rear dormer extension including two roof lights to the front and a Juliette balcony.	30/09/2020	CLUP - Lawful development: Proposed use	25/11/2020	05/10/2020	Lauren Carroll	Angela Lopez
20/01942/PRIEXT	922	52 Sandown Avenue, Dagenham, Barking And Dagenham, RM10 8XD	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.85 metres.	30/09/2020	PRIEXT - Prior Approval: Larger Home Extension	11/11/2020	28/10/2020	Cari Jones	Ela King
20/01943/AOD	923	Sacred Heart Convent, 191 Goresbrook Road, Dagenham, Barking And Dagenham, RM9 6XD	Approved	Application for approval of details reserved by Condition 4 (Hard and Soft Landscaping), Condition 5 (Landscape maintenance) and Condition 6 (Materials), in respect of planning permission 20/00182/FUL	30/09/2020	AOD - Application for approval of details reserved by condition	25/11/2020	21/12/2020	Nathaniel Soneye-Thomas	Angela Lopez
20/01944/HSE	924	24 Bennett Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6ER	Refused	CONSTRUCTION OF FIRST FLOOR REAR AND SIDE EXTENSION	30/09/2020	Q21. Householder developments	25/11/2020	23/11/2020	Lauren Carroll	Angela Lopez
20/01945/HSE	925	89 Westrow Drive, Barking, Barking And Dagenham, IG11 9BL	Refused	CONSTRUCTION OF SINGLE STOREY REAR EXTENSION	30/09/2020	Q21. Householder developments	25/11/2020	30/10/2020	Orla Bermingham	Angela Lopez
20/01946/HSE	926	98 Lichfield Road, Dagenham, Barking And Dagenham, RM8 2AX	Refused	Construction of part two storey rear extension and side extension.	05/10/2020	Q21. Householder developments	30/11/2020	24/11/2020	Cari Jones	Angela Lopez
20/01947/HSE	927	35 Melbourne Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 6TD	Approved	Demolition of existing side garage and construction of single storey side and rear extensions.	02/10/2020	Q21. Householder developments	27/11/2020	12/11/2020	Lauren Carroll	Ela King
20/01948/PRIEXT	928	118 Hunters Square, Dagenham, Barking And Dagenham, RM10 8BG	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension and the installation of two rooflights. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 2.70 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.70 metres.	01/10/2020	PRIEXT - Prior Approval: Larger Home Extension	12/11/2020	28/10/2020	Harry Moorhouse	Ela King
20/01949/PRIEXT	929	75 Grafton Road, Dagenham, Barking And Dagenham, RM8 3ET	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.80 metres.	02/10/2020	PRIEXT - Prior Approval: Larger Home Extension	13/11/2020	28/10/2020	Lauren Carroll	Ela King
20/01950/PRIEXT	930	9 Marston Close, Dagenham, RM10 7LL	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension and the installation of a roof lantern: The proposed extension will extend beyond the rear wall by 6.0m. The maximum height of the proposed extension from the natural ground level is 3.2m. The height at eaves level of the proposed extension measured from the natural ground level is 3.0m	02/10/2020	PRIEXT - Prior Approval: Larger Home Extension	13/11/2020	30/10/2020	Harry Moorhouse	Angela Lopez
20/01951/HSE	931	1 Bosworth Road, Dagenham, Barking And Dagenham, RM10 7NT	Approved	Construction of a first floor side extension.	02/10/2020	Q21. Householder developments	27/11/2020	30/10/2020	Orla Bermingham	Ela King
20/01952/HSE	932	23 Halbutt Street, Dagenham, Barking And Dagenham, RM9 5AS	Approved	Construction of a single storey rear extension including alterations to the side elevation.	02/10/2020	Q21. Householder developments	27/11/2020	16/11/2020	Cari Jones	Ela King
20/01953/HSE	933	74 Naseby Road, Dagenham, Barking And Dagenham, RM10 7JR	Approved	Construction of a two storey side extension.	04/10/2020	Q21. Householder developments	29/11/2020	12/11/2020	Harry Moorhouse	Ela King
20/01954/HSE	934	74 Naseby Road, Dagenham, Barking And Dagenham, RM10 7JR	Approved	Demolition of existing outbuilding and construction of a new single storey outbuilding in rear garden.	04/10/2020	Q21. Householder developments	29/11/2020	24/11/2020	Lauren Carroll	Ela King
20/01955/HSE	935	77 Burnham Road, Dagenham, Barking And Dagenham, RM9 4RA	Approved	Construction of single storey rear extension and front porch.	05/10/2020	Q21. Householder developments	30/11/2020	12/11/2020	Orla Bermingham	Angela Lopez
20/01956/CLUP	936	113 Stevens Road, Dagenham, Barking And Dagenham, RM8 2PU	Lawful (Certificate)	Application for a lawful development certificate proposed: Construction of Hip-to-gable roof extension to accommodate a rear dormer extension including four roof lights	05/10/2020	CLUP - Lawful development: Proposed use	30/11/2020	13/10/2020	Cari Jones	Angela Lopez
20/01957/AOD	937	A House For Artists, 36 - 40 Linton Road, Barking, Barking And Dagenham,	Refused	Details pursuant to Conditions 9 (Hard and Soft Landscaping Scheme and Management Plan) and 10 (Parking) attached to planning consent 18/00555/FUL dated 25/09/2018 as varied by 18/02027/NMA dated 21/12/2018.	01/10/2020	AOD - Application for approval of details reserved by condition	26/11/2020	12/11/2020	Kathryn McAllister	Ela King
20/01958/CLUE	938	15, The Gables Tanner Street, Barking, Barking And Dagenham, IG11 8PS	Lawful (Certificate)	Application for a lawful development certificate Existing: Construction of a Rear Dormer extension including two roof lights to the front.	01/10/2020	CLUE - Lawful development: Existing use	26/11/2020	30/10/2020	Cari Jones	Angela Lopez
20/01959/HSE	939	156 Wilmington Gardens, Barking, Barking And Dagenham, IG11 9TZ	Approved	Retention of outbuilding in the rear garden.	02/10/2020	Q21. Householder developments	27/11/2020	12/11/2020	Cari Jones	Angela Lopez
20/01960/CLUP	940	27 Peartree Gardens, Dagenham, Barking And Dagenham, RM8 2YR	Not Lawful (Certificate)	Application for a lawful development certificate proposed: Increasing the height and size of the space for the existing outbuilding.	02/10/2020	CLUP - Lawful development: Proposed use	27/11/2020	13/10/2020	Orla Bermingham	Angela Lopez
20/01961/ADVERT	941	Asda, Asda Stores Ltd Merriellands Crescent, Dagenham, Barking And Dagenham, RM9 6SJ	Approved	Installation of 4 x Non-illuminated Vinyl Graphics to existing Building, Totem and Windows.	01/10/2020	Q22. Advertisements	26/11/2020	12/11/2020	Cari Jones	Angela Lopez
20/01962/CLUP	942	250 Fitzstephen Road, Dagenham, Barking And Dagenham, RM8 2YB	Lawful (Certificate)	Application for a lawful development certificate proposed: construction rear dormer extension including two roof lights to the front	01/10/2020	CLUP - Lawful development: Proposed use	26/11/2020	13/10/2020	Orla Bermingham	Angela Lopez
20/01963/CLUP	943	1 Bosworth Road, Dagenham, Barking And Dagenham, RM10 7NT	Lawful (Certificate)	Application for a lawful development certificate proposed: Construction of single storey rear extension.	02/10/2020	CLUP - Lawful development: Proposed use	27/11/2020	30/10/2020	Lauren Carroll	Angela Lopez
20/01964/CLUP	944	18 Bradfield Drive, Barking, Barking And Dagenham, IG11 9AR	Not Lawful (Certificate)	Application for a lawful development certificate (proposed) for the Construction of a second floor with Juliette balcony to the rear and a third floor comprising of the construction of a rear dormer extension including three roof lights to the front to facilitate conversion of roof space into habitable accommodation.	06/10/2020	CLUP - Lawful development: Proposed use	01/12/2020	30/10/2020	Lauren Carroll	Ela King
20/01965/PRIEXT	945	11 Baron Road, Dagenham, Barking And Dagenham, RM8 1UB	Prior Approval Granted	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.60 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	02/10/2020	PRIEXT - Prior Approval: Larger Home Extension	13/11/2020	11/11/2020	Orla Bermingham	Ela King
20/01966/HSE	946	340 Bastable Avenue, Barking, Barking And Dagenham, IG11 0LL	Approved	Construction of double storey side extension with open gable end, rear extension and Front Porch.	02/10/2020	Q21. Householder developments	27/11/2020	12/11/2020	Cari Jones	Angela Lopez

20/01967/CLUP	947	9 Marston Close, Dagenham, Barking And Dagenham, RM10 7LL	Lawful (Certificate)	Application for a lawful development certificate proposed: construction of Rear Dormer extension with a roof light including two roof lights to the front and Outbuilding for a use incidental to the enjoyment to the dwelling house.	02/10/2020	CLUP - Lawful development: Proposed use	27/11/2020	30/10/2020	Harry Moorhouse	Angela Lopez
20/01968/NONMATA	948	Techware Games, Bms House, 1 Wantz Road, Dagenham, Barking And Dagenham, RM10 8PS	Refused	Non material amendment to planning permission 16/00981/FUL dated 29/05/2018 comprising of a change of proposal description.	02/10/2020	NONMAT - Non-material amendment following a grant of planning permission	30/10/2020	27/10/2020	Grace Liu	Ela King
20/01969/PRIEXT	949	43 Beccles Drive, Barking, Barking And Dagenham, IG11 9HX	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.	03/10/2020	PRIEXT - Prior Approval: Larger Home Extension	14/11/2020	28/10/2020	Cari Jones	Ela King
20/01971/HSE	950	53 Clemence Road, Barking And Dagenham, RM10 9YQ	Refused	Retrospective planning permission for a single storey rear extension and relocation of boundary fence as well as siting of caravan to the rear of property.	06/10/2020	Q21. Householder developments	01/12/2020	24/11/2020	Orla Bermingham	Ela King
20/01974/PRIEXT	951	225 Heathway, Dagenham, Barking And Dagenham, RM9 6AE	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.5 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.80 metres.	05/10/2020	PRIEXT - Prior Approval: Larger Home Extension	16/11/2020	11/11/2020	Harry Moorhouse	Ela King
20/01975/HSE	952	6 Manor Road, Barking, Barking And Dagenham, IG11 9JA	Approved	Construction of a single storey side extension and a part two storey, part single storey rear extension.	05/10/2020	Q21. Householder developments	30/11/2020	16/11/2020	Cari Jones	Ela King
20/01976/PRIEXT	953	158 Westrow Drive, Barking, Barking And Dagenham, IG11 9BP	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	05/10/2020	PRIEXT - Prior Approval: Larger Home Extension	16/11/2020	29/10/2020	Lauren Carroll	Ela King
20/01977/PRIEXT	954	19 Havering Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 5BH	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.	05/10/2020	PRIEXT - Prior Approval: Larger Home Extension	16/11/2020	04/11/2020	Orla Bermingham	Ela King
20/01978/AOD	955	Abbey Sports Centre, Abbey Sports Centre, Barking, Barking And Dagenham, IG11 7LX	Condition(s) Fully Discharged	Details pursuant to Condition 16 (Refuse Strategy) and Condition 43 (Inclusive and Unhindered Access) attached to planning consent 18/00331/FUL dated 13/01/2020.	05/10/2020	AOD - Application for approval of details reserved by condition	30/11/2020	30/11/2020	Cari Jones	Ela King
20/01980/PRIEXT	956	51 Bainbridge Road, Barking And Dagenham, RM9 5UU	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension: The proposed extension will extend beyond the rear wall by 5.0m, The maximum height of the proposed extension from the natural ground level is 4.0m, The height at eaves level of the proposed extension measured from the natural ground level is 2.9m	01/10/2020	PRIEXT - Prior Approval: Larger Home Extension	12/11/2020	28/10/2020	Lauren Carroll	Angela Lopez
20/01981/FULL	957	8 Denny Gardens, Dagenham, Barking And Dagenham, RM9 4DD	Refused	Change of use from a single dwelling house (Class C3) to house in multiple occupations (HMO) use Class C4 for 6 bedrooms	16/10/2020	Q20. Change of use	11/12/2020	24/11/2020	Cari Jones	Angela Lopez
20/01982/PRIECOM	958	Msk Holdings River Road, Barking, Barking And Dagenham, IG11 0DN	Prior Approval Granted	Application for prior approval telecommunications: Installation of Proposed 17.5m high Swann 15 Lattice tower; Proposed 6No. antennas & 12No RRH's (ancillary equipment) fixed to Delta headframe; Proposed 3No. RRH's (ancillary equipment) fixed to tower legs; Proposed 1No. 0.3m dish & 1No. 0.6m dish fixed to tower legs; Proposed 2No. Equipment Cabinets; Proposed 1No. Power Supply Cabinet and Proposed associated equipment.	06/10/2020	PRIECOM - Prior Approval: Development for electronic communications network	01/12/2020	17/11/2020	Harry Moorhouse	Ela King
20/01983/CLUP	959	412 Goresbrook Road, Dagenham, Barking And Dagenham, RM9 4UX	Not Lawful (Certificate)	Application for a lawful development certificate: Construction of a an Outbuilding in the rear garden	06/10/2020	CLUP - Lawful development: Proposed use	01/12/2020	30/10/2020	Harry Moorhouse	Angela Lopez
20/01984/CLUP	960	47 Farmway, Dagenham, Barking And Dagenham, RM8 2SR	Lawful (Certificate)	Application for a lawful development certificate proposed: Construction of a an outbuilding to be used as a gym.	07/10/2020	CLUP - Lawful development: Proposed use	02/12/2020	30/10/2020	Lauren Carroll	Angela Lopez
20/01985/FULL	961	119 Third Avenue, Dagenham, Barking And Dagenham, RM10 9BD	Refused	Change of use from a single dwelling house (Use Class C3) to house in multiple occupations - HMO (Use Class C4)	07/10/2020	Q20. Change of use	02/12/2020	24/11/2020	Cari Jones	Angela Lopez
20/01986/AOD	962	Fresh Wharf Estate, Barking, IG11 7BP	Condition(s) Partially Discharged	Application for approval of details reserved by Part Discharge of Condition 17 (Validation Report) to buildings J, K and L only, in respect of planning permission 14/01196/OUT	07/10/2020	AOD - Application for approval of details reserved by condition	02/12/2020	01/12/2020	Grace Liu	Angela Lopez
20/01987/HSE	963	64 Butler Road, Dagenham, Barking And Dagenham, RM8 2DR	Refused	Construction of a front porch.	07/10/2020	Q21. Householder developments	02/12/2020	03/11/2020	Lauren Carroll	Ela King
20/01988/PRIADA	964	Victory House, 91 Broad Street, Dagenham, Barking And Dagenham,	Refused	Prior notification application for the construction of additional storeys. Construction of a double storey mansard structure with the proposed maximum height of the building measured from the natural ground level being 12.30m	07/10/2020	PRIADA - Class AA - new dwellinghouses on detached buildings in commercial or mixed use	02/12/2020	30/11/2020	Lauren Carroll	Ela King
20/01989/PRIEXT	965	17 Macdonald Avenue, Dagenham, Barking And Dagenham, RM10 7DJ	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.60 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	08/10/2020	PRIEXT - Prior Approval: Larger Home Extension	19/11/2020	04/11/2020	Cari Jones	Ela King
20/01990/CLUP	966	55 Wedderburn Road, Barking, Barking And Dagenham, IG11 7XF	Lawful (Certificate)	Application for a lawful development certificate proposed: construction of a rear dormer extension including two roof lights to the front.	08/10/2020	CLUP - Lawful development: Proposed use	03/12/2020	30/10/2020	Orla Bermingham	Angela Lopez
20/01991/HSE	967	55 Wedderburn Road, Barking, Barking And Dagenham, IG11 7XF	Approved	Construction of single storey rear extension	08/10/2020	Q21. Householder developments	03/12/2020	12/11/2020	Lauren Carroll	Angela Lopez
20/01992/CLUP	968	13 Westfield Road, Dagenham, Barking And Dagenham, RM9 5BH	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the Construction of a hip-to-gable roof extension to accommodate a rear Dormer extension including three roof lights to the front and a Juliette balcony to facilitate conversion of roof space into habitable accommodation.	08/10/2020	CLUP - Lawful development: Proposed use	03/12/2020	13/10/2020	Orla Bermingham	Ela King
20/01993/HSE	969	3 Purland Close, Dagenham, Barking And Dagenham, RM8 1AS	Approved	Construction of a single storey rear extension and installation of a roof lantern.	13/10/2020	Q21. Householder developments	08/12/2020	17/11/2020	Harry Moorhouse	Ela King
20/01994/CLUP	970	80 Mayswood Gardens, Dagenham, Barking And Dagenham, RM10 8UT	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of an outbuilding.	03/10/2020	CLUP - Lawful development: Proposed use	28/11/2020	23/11/2020	Cari Jones	Ela King
20/01995/PRIEXT	971	6 Dereham Road, Barking, Barking And Dagenham, IG11 9HA	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension and the installation of two rooflights. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	09/10/2020	PRIEXT - Prior Approval: Larger Home Extension	20/11/2020	11/11/2020	Harry Moorhouse	Ela King
20/01996/HSE	972	71 Waterbeach Road, Dagenham, Barking And Dagenham, RM9 4AA	Approved	CONSTRUCTION OF TWO STOREY SIDE EXTENSION	09/10/2020	Q21. Householder developments	04/12/2020	17/11/2020	Harry Moorhouse	Angela Lopez
20/01997/PRIEXT	973	113 Stevens Road, Dagenham, Barking And Dagenham, RM8 2PU	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.64 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	09/10/2020	PRIEXT - Prior Approval: Larger Home Extension	20/11/2020	04/11/2020	Cari Jones	Ela King
20/01998/HSE	974	412 Goresbrook Road, Dagenham, Barking And Dagenham, RM9 4UX	Approved	Construction of First floor rear extension and single storey rear extension and installation of an obscure glazed upper floor side window. .	09/10/2020	Q21. Householder developments	04/12/2020	01/12/2020	Harry Moorhouse	Angela Lopez
20/01999/HSE	975	57 Gainsborough Road, Dagenham, Barking And Dagenham, RM8 2DL	Refused	Construction of a two storey side extension and a single storey rear extension.	09/10/2020	Q21. Householder developments	04/12/2020	16/11/2020	Orla Bermingham	Ela King
20/02000/CLUP	976	57 Gainsborough Road, Dagenham, Barking And Dagenham, RM8 2DL	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of an outbuilding.	09/10/2020	CLUP - Lawful development: Proposed use	04/12/2020	30/10/2020	Orla Bermingham	Ela King
20/02001/HSE	977	6 Ailbon Road, Dagenham, Barking And Dagenham, RM9 5QU	Refused	Demolition of existing garage and Construction of a two storey side extension and part two storey, part single storey rear extension.	10/10/2020	Q21. Householder developments	05/12/2020	24/11/2020	Cari Jones	Ela King
20/02002/HSE	978	43 St Awdrys Road, Barking, Barking And Dagenham, IG11 7QB	Refused	Construction of a single storey rear/side infill extension.	10/10/2020	Q21. Householder developments	05/12/2020	17/11/2020	Harry Moorhouse	Ela King

20/02003/HSE	979	43 Beccles Drive, Barking, Barking And Dagenham, IG11 9HX	Approved	Construction of side and rear extension	12/10/2020	Q21. Householder developments	07/12/2020	13/11/2020	Lauren Carroll	Angela Lopez
20/02004/FULL	980	213 Ballards Road, Dagenham, Barking And Dagenham, RM10 9AR	Refused	Conversion of the existing dwelling house into 1x3 bedroom house and 1x2 bedroom flat with associate demolition of existing outbuilding.	12/10/2020	Q13. MINOR Dwellings	07/12/2020	16/11/2020	Orla Bermingham	Angela Lopez
20/02005/PRIEXT	981	29 Mill Lane, Chadwell Heath, Romford, Barking And Dagenham, RM6 6TT	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 5.00 metres. The maximum height of the proposed extension from the natural ground level is 2.77 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.77 metres.	12/10/2020	PRIEXT - Prior Approval: Larger Home Extension	23/11/2020	13/11/2020	Lauren Carroll	Ela King
20/02006/HSE	982	29 Dereham Road, Barking, Barking And Dagenham, IG11 9EZ	Refused	Construction of a single storey rear extension.	13/10/2020	Q21. Householder developments	08/12/2020	03/11/2020	Lauren Carroll	Ela King
20/02008/NONMAT	983	Abbey Retail Park Abbey Road, Barking, Barking, IG11 7BB	Approved	Non-material amendment to planning permission 15/01635/FUL dated 14/12/16 The development hereby permitted shall not be occupied until details of petrol and oil interceptors for all car parking, servicing and loading areas have been submitted to and approved in writing by the Local Planning Authority.	12/10/2020	NONMAT - Non-material amendment following a grant of planning permission	09/11/2020	28/10/2020	Olivia St-Amour	Angela Lopez
20/02009/HSE	984	91 Gorseway, Rush Green, Romford, Barking And Dagenham, RM7 0RR	Approved	CONSTRUCTION OF SINGLE STOREY SIDE EXTENSION	13/10/2020	Q21. Householder developments	08/12/2020	24/11/2020	Cari Jones	Angela Lopez
20/02010/CLUP	985	65 Westrow Drive, Barking, Barking And Dagenham, IG11 9BL	Lawful (Certificate)	Application for a lawful development certificate proposed: construction of a Hip-to-gable roof extension to accommodate a rear dormer extension including three roof lights to the front.	12/10/2020	CLUP - Lawful development: Proposed use	07/12/2020	30/10/2020	Cari Jones	Angela Lopez
20/02011/HSE	986	26 Lindsey Road, Dagenham, Barking And Dagenham, RM8 2RL	Refused	Construction of two storey side and rear extension.	12/10/2020	Q21. Householder developments	07/12/2020	16/11/2020	Orla Bermingham	Angela Lopez
20/02012/PRIEXT	987	65 Westrow Drive, Barking, Barking And Dagenham, IG11 9BL	Prior Approval Not Required	CONSTRUCTION OF A SINGLE STOREY REAR EXTENSION: The proposed extension will extend beyond the rear wall by 5.0m, the maximum height of the proposed extension from the natural ground level is 2.95m and the height at level of the proposed extension measured from the natural ground level is 2.85m	12/10/2020	PRIEXT - Prior Approval: Larger Home Extension	23/11/2020	12/11/2020	Orla Bermingham	Angela Lopez
20/02013/HSE	988	17 Vincent Road, Dagenham, Barking And Dagenham, RM9 6AS	Approved	Construction of a single storey rear extension and Construction of a rear dormer extension including two roof lights to the front to facilitate conversion of roof space into habitable accommodation.	13/10/2020	Q21. Householder developments	08/12/2020	16/11/2020	Orla Bermingham	Ela King
20/02014/HSE	989	42 Felton Road, Barking, Barking And Dagenham, IG11 7XZ	Refused	Construction of a first floor rear extension.	14/10/2020	Q21. Householder developments	09/12/2020	30/11/2020	Lauren Carroll	Ela King
20/02015/HSE	990	18 Wanderer Drive, Barking, Barking And Dagenham, IG11 0XJ	Approved	Construction of a first floor side extension and construction of a single storey rear extension.	12/10/2020	Q21. Householder developments	07/12/2020	30/11/2020	Cari Jones	Ela King
20/02016/FULL	991	714-720 Green Lane, Dagenham, RM8 1YX	Refused	Installation of a permanent fruit/vegetable stall in front of the existing shop with the construction of a canopy on top and roller shutters all around.	14/10/2020	Q16. MINOR Retail and service	09/12/2020	24/11/2020	Harry Moorhouse	Ela King
20/02017/PRIEXT	992	194 Blake Avenue, Barking, Barking And Dagenham, IG11 9SD	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension: The proposed extension will extend beyond the rear wall by 6.0m, The maximum height of the proposed extension from the natural ground level is 3.0m, The height at eaves level of the proposed extension measured from the natural ground level is 3.0m	12/10/2020	PRIEXT - Prior Approval: Larger Home Extension	23/11/2020	12/11/2020	Cari Jones	Angela Lopez
20/02018/CLUP	993	49 St Georges Road, Dagenham, Barking And Dagenham, RM9 5JD	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the Construction of a hip-to-gable roof extension to accommodate a rear dormer extension including three roof lights to the front and one to the side, to facilitate conversion of roof space into habitable accommodation.	14/10/2020	CLUP - Lawful development: Proposed use	09/12/2020	30/10/2020	Orla Bermingham	Ela King
20/02019/PRIEXT	994	49 St Georges Road, Dagenham, Barking And Dagenham, RM9 5JD	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.65 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	13/10/2020	PRIEXT - Prior Approval: Larger Home Extension	24/11/2020	12/11/2020	Orla Bermingham	Ela King
20/02020/HSE	995	6 Stamford Road, Dagenham, Barking And Dagenham, RM9 4HA	Refused	Construction of a single storey rear extension, Construction of an outbuilding in the rear garden and Construction of a rear dormer extension including two roof lights to the front to facilitate conversion of roof space into habitable accommodation.	20/10/2020	Q21. Householder developments	15/12/2020	24/11/2020	Orla Bermingham	Ela King
20/02021/CLUP	996	Lipscomb Printers Stadium Graphics, Unit 9, Cromwell Centre Coppen Road, Dagenham, Barking And Dagenham.	Not Lawful (Certificate)	Application for a lawful development certificate proposed: Change of use from light industrial to Shisha Lounge.	13/10/2020	CLUP - Lawful development: Proposed use	08/12/2020	01/12/2020	Kathryn McAllister	Angela Lopez
20/02022/PRIEXT	997	804 Longbridge Road, Dagenham, Barking And Dagenham, RM8 2AA	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.20 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.	14/10/2020	PRIEXT - Prior Approval: Larger Home Extension	25/11/2020	24/11/2020	Harry Moorhouse	Ela King
x 20/02023/PRIADC	998	11 Dowletts Road, Dagenham, Barking And Dagenham, RM8 1FJ	Prior Approval Refused	Prior notification application for the construction of new dwellinghouses on terrace buildings in use as dwellinghouses. The proposed development will create 1 new dwellinghouse and the proposed maximum height of the terraced building from the natural ground will be 12.2m	13/10/2020	PRIADC - Class AC - new dwellinghouses on terrace buildings in use as dwellinghouses	08/12/2020	07/12/2020	Lauren Carroll	Ela King
20/02024/AOD	999	Kingsley Hall Parsloes Avenue, Dagenham, Barking And Dagenham, RM9 5NB	Condition(s) Fully Discharged	Application for approval of details reserved by condition 16 sought (Drainage Strategy and Flood Risk Assessment report) in respect of planning permission 19/01660/FUL.	14/10/2020	AOD - Application for approval of details reserved by condition	09/12/2020	09/12/2020	Kathryn McAllister	Angela Lopez
20/02025/CLUP	1000	1 Yew Tree Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 6TH	Not Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a hip-to-gable roof extension to accommodate a rear dormer extension including three roof lights to the front and a Juliette balcony to facilitate conversion of roof space into habitable accommodation.	20/10/2020	CLUP - Lawful development: Proposed use	15/12/2020	11/11/2020	Harry Moorhouse	Ela King
20/02026/FULL	1001	Monteagle Court, Wakering Road, Barking, IG11 8PL	Approved	To alternate the internal layout to re-provide small office spaces in each level; including alternation of the rear elevation for the creation of new openings. - To replace the existing pitched roof at the 3-storey block with new roof extension for providing extra office space.	15/10/2020	Q18. MINOR All other developments	10/12/2020	08/12/2020	Orla Bermingham	Angela Lopez
20/02027/CLUP	1002	31 Lilac Gardens, Rush Green, Romford, Barking And Dagenham, RM7 0RJ	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a hip-to-gable roof extension to accommodate a rear dormer extension including three roof lights to the front and a Juliette balcony, to facilitate conversion of roof space into habitable accommodation.	16/11/2020	CLUP - Lawful development: Proposed use	11/01/2021	24/11/2020	Harry Moorhouse	Ela King
20/02028/CLUP	1003	67 Broad Street, Dagenham, Barking And Dagenham, RM10 9HP	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a rear dormer extension including one roof light to the front and a Juliette balcony to facilitate conversion of roof space into habitable accommodation.	14/10/2020	CLUP - Lawful development: Proposed use	09/12/2020	30/10/2020	Harry Moorhouse	Ela King
20/02029/PRIEXT	1004	31 Lilac Gardens, Rush Green, Romford, Barking And Dagenham, RM7 0RJ	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 2.72 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.72 metres.	14/10/2020	PRIEXT - Prior Approval: Larger Home Extension	25/11/2020	12/11/2020	Lauren Carroll	Ela King
20/02030/HSE	1005	49 Keir Hardie Way, Barking, Barking And Dagenham, IG11 9NU	Approved	Construction of a two storey side extension and single storey rear extension.	14/10/2020	Q21. Householder developments	09/12/2020	16/11/2020	Orla Bermingham	Ela King
20/02031/HSE	1006	95 Eastbrook Drive, Rush Green, Romford, Barking And Dagenham, RM7 0YT	Approved	Construction of two storey side extension.	24/11/2020	Q21. Householder developments	19/01/2021	22/12/2020	Orla Bermingham	Angela Lopez
20/02032/FULL	1007	Kolachi, 35 Longbridge Road, Barking, Barking And Dagenham, IG11 8QL	Approved	Construction of a part single part two storey rear extension for a use of cold room storage and relocation of external staircase to provide access to the first floor.	16/10/2020	Q15. MINOR General industry / storage / warehousing	11/12/2020	16/11/2020	Orla Bermingham	Angela Lopez
20/02033/CLUP	1008	59 Shortcrofts Road, Dagenham, Barking And Dagenham, RM9 5PH	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a rear dormer extension including two roof lights to the front to facilitate conversion of roof space into habitable accommodation.	16/10/2020	CLUP - Lawful development: Proposed use	11/12/2020	30/10/2020	Cari Jones	Ela King
20/02034/CLUP	1009	591 Heathway, Dagenham, Barking And Dagenham, RM9 5AZ	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the Construction of a single storey rear extension.	15/10/2020	CLUP - Lawful development: Proposed use	10/12/2020	30/10/2020	Cari Jones	Ela King

20/02035/HSE	1010	461 Becontree Avenue, Dagenham, Barking And Dagenham, RM8 3JA	Approved	RETROSPECTIVE APPLICATION FOR LOFT CONVERSION WITH REAR DORMER AND INSTALLATION OF SIDE WINDOW AND TWO FRONT ROOF LIGHTS	15/10/2020	Q21. Householder developments	10/12/2020	09/12/2020	Harry Moorhouse	Angela Lopez
20/02037/AOD	1011	Former Berrymans Site Perry Road, Dagenham, Barking And Dagenham,	Condition(s) Fully Discharged	Application for approval of details reserved by Condition 5 (Landscaping), Condition 6 (Dust Management Plan) and Condition 11 (Cycle Parking) in respect of planning permission 20/00468/EJL	14/10/2020	AOD - Application for approval of details reserved by condition	09/12/2020	24/11/2020	Grace Liu	Angela Lopez
20/02038/HSE	1012	98 Westrow Drive, Barking, Barking And Dagenham, IG11 9BN	Refused	Retrospective application for rear Patio slab up to 3m.	15/10/2020	Q21. Householder developments	10/12/2020	07/12/2020	Lauren Carroll	Angela Lopez
20/02039/HSE	1013	445 Heathway, Dagenham, Barking And Dagenham, RM9 5AE	Approved	Construction of a first floor rear extension and alterations to the porch.	15/10/2020	Q21. Householder developments	10/12/2020	16/11/2020	Orla Bermingham	Ela King
20/02040/HSE	1014	21 Ventnor Gardens, Barking, Barking And Dagenham, IG11 9JY	Approved	Construction of a single storey rear extension.	23/10/2020	Q21. Householder developments	18/12/2020	01/12/2020	Lauren Carroll	Ela King
20/02041/FULL	1015	74 Oxlow Lane, Dagenham, Barking And Dagenham, RM9 5XD	Refused	Conversion of existing house into a six-bedroom dwelling and one studio flat at ground floor level. Enlargement of window on side elevation at ground floor level. Provision of secure cycle storage.	15/10/2020	Q13. MINOR Dwellings	10/12/2020	01/12/2020	Kathryn McAllister	Angela Lopez
20/02042/COM	1016	Public Pathway Off Dp685r, Barking And Dagenham, RM10 7FQ	No Decision Taken	Proposed installation of 8m Light wooden carrier pole 2, 11m light wooden carrier pole 3 and 11m light wooden carrier pole 4.	15/10/2020	COM - Telecommunications notification	05/11/2020	21/10/2020	Harry Moorhouse	Ela King
20/02043/CLUP	1017	183 Bennetts Castle Lane, Dagenham, Barking And Dagenham, RM8 3YJ	Lawful (Certificate)	Application for a lawful development certificate proposed: removal of a chimney and construction of a Hip-to-gable roof extension to accommodate a rear dormer extension including three roof lights to the front.	16/10/2020	CLUP - Lawful development: Proposed use	11/12/2020	30/10/2020	Orla Bermingham	Angela Lopez
20/02044/CLUP	1018	41 Cavendish Gardens, Barking, Barking And Dagenham, IG11 9DU	Not Lawful (Certificate)	Application for a lawful development certificate proposed: construction of a Hip-to-gable roof extension to accommodate a rear dormer extension including three roof lights to the front.	16/10/2020	CLUP - Lawful development: Proposed use	11/12/2020	30/11/2020	Cari Jones	Angela Lopez
20/02045/HSE	1019	89 Haydon Road, Dagenham, Barking And Dagenham, RM8 3RR	Refused	Construction of double Storey Side and Rear Extension	16/10/2020	Q21. Householder developments	11/12/2020	30/11/2020	Cari Jones	Angela Lopez
20/02047/HSE	1020	9 Trinidad Gardens, Dagenham, Barking And Dagenham, RM10 9YA	Refused	Construction of a front porch, single storey front extension, two storey side extension and part two storey part single storey rear extension.	02/11/2020	Q21. Householder developments	28/12/2020	09/12/2020	Cari Jones	Ela King
20/02049/CLUP	1021	247 Reede Road, Dagenham, Barking And Dagenham, RM10 8EP	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a rear dormer extension including two roof lights to the front to facilitate conversion of roof space into habitable accommodation.	16/10/2020	CLUP - Lawful development: Proposed use	11/12/2020	30/10/2020	Harry Moorhouse	Ela King
20/02050/PRIEXT	1022	111 Lillechurch Road, Dagenham, Barking And Dagenham, RM8 2BY	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.85 metres.	17/10/2020	PRIEXT - Prior Approval: Larger Home Extension	28/11/2020	12/11/2020	Orla Bermingham	Ela King
20/02051/FULL	1023	47 Thornhill Gardens, Barking, Barking And Dagenham, IG11 9TX	Approved	Construction of a single storey rear extension.	27/10/2020	Q18. MINOR All other developments	22/12/2020	30/11/2020	Cari Jones	Ela King
20/02052/CLUP	1024	30 Melford Avenue, Barking, Barking And Dagenham, IG11 9HT	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a rear dormer extension including two roof lights to the front and a Juliette balcony to facilitate conversion of roof space into habitable accommodation.	18/10/2020	CLUP - Lawful development: Proposed use	13/12/2020	30/10/2020	Lauren Carroll	Ela King
20/02053/CLUP	1025	111 Lillechurch Road, Dagenham, Barking And Dagenham, RM8 2BY	Lawful (Certificate)	Application for a lawful development certificate proposed for the construction of a Hip-to-gable roof extension to accommodate a rear dormer extension including two roof lights to the front with Juliette balcony and porch extension and upper floor side window.	19/10/2020	CLUP - Lawful development: Proposed use	14/12/2020	30/10/2020	Harry Moorhouse	Angela Lopez
20/02054/CLUP	1026	37 Wood Lane, Dagenham, Barking And Dagenham, RM8 3ND	Lawful (Certificate)	Application for a lawful development certificate proposed: construction of a single storey side extension	19/10/2020	CLUP - Lawful development: Proposed use	14/12/2020	30/11/2020	Lauren Carroll	Angela Lopez
20/02055/HSE	1027	37 Manor Close, Dagenham, Barking And Dagenham, RM10 8BH	Approved	Construction of a single storey rear extension and construction of a rear dormer extension including two roof lights to the front to facilitate conversion of roof space into habitable accommodation.	17/10/2020	Q21. Householder developments	12/12/2020	30/11/2020	Cari Jones	Ela King
20/02056/PRIEXT	1028	16 Osborne Square, Dagenham, Barking And Dagenham, RM9 5AU	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension and installation of two rooflights: The proposed extension will extend beyond the rear wall by 6.0m. The maximum height of the proposed extension from the natural ground level is 3.0m. The height at eaves level of the proposed extension measured from the natural ground level is 3.0m.	16/10/2020	PRIEXT - Prior Approval: Larger Home Extension	27/11/2020	12/11/2020	Harry Moorhouse	Angela Lopez
20/02057/FULL	1029	47a Thornhill Gardens, Barking, IG11 9TX	Approved	CONSTRUCTION OF SINGLE STOREY SIDE & REAR EXTENSION AND PROPOSED FRONT BAY WINDOW	28/10/2020	Q18. MINOR All other developments	23/12/2020	01/12/2020	Orla Bermingham	Angela Lopez
20/02058/FULL	1030	47b Thornhill Gardens, Barking, Barking And Dagenham,	Approved	LOFT CONVERSION INVOLVING THE CONSTRUCTION OF A REAR DORMER WINDOW INCLUDING ONE ROOF LIGHT TO THE FRONT.	28/10/2020	Q18. MINOR All other developments	23/12/2020	01/12/2020	Orla Bermingham	Angela Lopez
20/02059/HSE	1031	63 Manor Road, Dagenham, Barking And Dagenham, RM10 8AX	Refused	Conversion of the garage, including a single storey side extension, to provide habitable accommodation for 63 Manor Road as a Annex.	19/10/2020	Q21. Householder developments	14/12/2020	10/12/2020	Harry Moorhouse	Angela Lopez
20/02061/FULL	1032	19 Cadiz Road, Dagenham, Barking And Dagenham, RM10 8XL	Refused	Change of use of Dwellinghouse to a House in Multiple Occupation.	19/10/2020	Q20. Change of use	14/12/2020	20/11/2020	Orla Bermingham	Angela Lopez
20/02062/HSE	1033	135 Hatfield Road, Dagenham, Barking And Dagenham, RM9 6JT	Approved	Construction of a two storey side extension and part two storey part single storey rear extension.	20/10/2020	Q21. Householder developments	15/12/2020	07/12/2020	Lauren Carroll	Ela King
20/02063/HSE	1034	1 Adelaide Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 6SR	Approved	Construction of a single storey front extension, two storey side extension and part two storey part single storey rear extension, including change of roof profile.	19/10/2020	Q21. Householder developments	14/12/2020	07/12/2020	Cari Jones	Ela King
20/02066/HSE	1035	18 Hatfield Road, Dagenham, Barking And Dagenham, RM9 6JR	Approved	Construction of a single storey rear extension.	19/10/2020	Q21. Householder developments	14/12/2020	24/11/2020	Harry Moorhouse	Ela King
20/02067/HSE	1036	61 Woodbridge Road, Barking, Barking And Dagenham, IG11 9ES	Refused	Construction of a two storey front extension and alteration to the rear elevation.	19/10/2020	Q21. Householder developments	14/12/2020	30/11/2020	Lauren Carroll	Ela King
20/02069/HSE	1037	1 Lake Close, Dagenham, Barking And Dagenham, RM8 2TE	Refused	Construction of a single storey side and a rear extension with pitched roof	19/10/2020	Q21. Householder developments	14/12/2020	30/11/2020	Cari Jones	Angela Lopez
20/02070/PRIEXT	1038	39 Aldborough Road, Dagenham, Barking And Dagenham, RM10 8AT	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension: The proposed extension will extend beyond the rear wall by 6.0m. The maximum height of the proposed extension from the natural ground level is 3.25m. The height at eaves level of the proposed extension measured from the natural ground level is 3.0m.	16/10/2020	PRIEXT - Prior Approval: Larger Home Extension	27/11/2020	12/11/2020	Lauren Carroll	Angela Lopez
20/02072/HSE	1039	12 Pasture Road, Dagenham, Barking And Dagenham, RM9 5BJ	Approved	Construction of an outbuilding to be used as gym/storage and installation of a roof light.	19/10/2020	Q21. Householder developments	14/12/2020	24/11/2020	Harry Moorhouse	Ela King
20/02073/PRIEXT	1040	105 Stevens Road, Dagenham, Barking And Dagenham, RM8 2PU	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	20/10/2020	PRIEXT - Prior Approval: Larger Home Extension	01/12/2020	23/11/2020	Harry Moorhouse	Ela King
20/02074/PRIEXT	1041	14 East Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6XJ	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 2.80 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.60 metres.	20/10/2020	PRIEXT - Prior Approval: Larger Home Extension	01/12/2020	16/11/2020	Orla Bermingham	Ela King
20/02075/FULL	1042	53 & 55 Wellington Drive, Dagenham, RM10 9XS	Refused	Conversion of two residential houses into care home with ground and first floor rear extensions.	13/11/2020	Q18. MINOR All other developments	08/01/2021	21/12/2020	Kathryn McAllister	Angela Lopez
20/02076/CLUP	1043	160 Halbutt Street, Dagenham, Barking And Dagenham, RM9 5AH	Not Lawful (Certificate)	Application for a lawful development certificate proposed: construction of a an outbuilding for a use incidental to the enjoyment of the dwellinghouse.	21/10/2020	CLUP - Lawful development: Proposed use	16/12/2020	30/10/2020	Harry Moorhouse	Angela Lopez
20/02077/HSE	1044	30 Denham Way, Barking, Barking And Dagenham, IG11 9SH	Approved	Construction of a single storey front extension.	21/10/2020	Q21. Householder developments	16/12/2020	24/11/2020	Harry Moorhouse	Ela King
20/02078/HSE	1045	97 Campden Crescent, Dagenham, Barking And Dagenham, RM8 2SA	Refused	Construction of a first floor rear extension.	21/10/2020	Q21. Householder developments	16/12/2020	01/12/2020	Harry Moorhouse	Angela Lopez
20/02079/HSE	1046	105 Glenny Road, Barking, Barking And Dagenham, IG11 8QG	Approved	Construction of access ramped with handrails to front of property for disabled occupant.	21/10/2020	Q21. Householder developments	16/12/2020	13/11/2020	Lauren Carroll	Angela Lopez
20/02080/TPO	1047	17 And 19 Foxglove Road, Romford, RM7 0YW	Approved	Application for tree works subject to a tree preservation order: T1 Ash - Reduce back selected branches by 2m on house side only due to excessive shade and part of general maintenance (outside 17) and T2 Ash - Reduce back selected branches by 2m on house side only due to excessive shade and part of general maintenance (out side 19)	26/10/2020	TPO - Works to trees subject to a tree preservation order	21/12/2020	01/12/2020	Grace Liu	Ela King

20/02081/PRIADC	1048	2 Bainbridge Road, Dagenham, Barking And Dagenham, RM9 5UU	Prior Approval Refused	Prior notification application for the construction of new dwellings on terrace buildings in use as dwellings: The proposed development will create an additional second floor to provide separate unit	20/10/2020	PRIADC – Class AC - new dwellings on terrace buildings in use as dwellings	15/12/2020	09/12/2020	Lauren Carroll	Angela Lopez
20/02082/PRIEXT	1049	917 Longbridge Road, Dagenham, Barking And Dagenham, RM8 2BU	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 5.00 metres. The maximum height of the proposed extension from the natural ground level is 4.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	21/10/2020	PRIEXT - Prior Approval: Larger Home Extension	02/12/2020	16/11/2020	Cari Jones	Ela King
20/02083/PRIEXT	1050	30 Roxwell Road, Barking, Barking And Dagenham, IG11 0PP	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension and installation of a roof lantern. The proposed extension will extend beyond the rear wall by 5.00 metres. The maximum height of the proposed extension from the natural ground level is 3.30 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	21/10/2020	PRIEXT - Prior Approval: Larger Home Extension	02/12/2020	23/11/2020	Harry Moorhouse	Ela King
20/02084/PRIEXT	1051	28 Roxwell Road, Barking, Barking And Dagenham, IG11 0PP	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 5.00 metres. The maximum height of the proposed extension from the natural ground level is 3.30 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	21/10/2020	PRIEXT - Prior Approval: Larger Home Extension	02/12/2020	23/11/2020	Lauren Carroll	Ela King
20/02085/PRIARDW	1052	280 Lodge Avenue, Dagenham, RM8 2JP	Prior Approval Refused	APPLICATION FOR PRIOR APPROVAL CHANGE OF USE FROM SHOP (CLASS A1) TO DWELLING (CLASS C3) AT GROUND FLOOR LEVEL	21/10/2020	PRIARDW - Prior Approval: Change of use - retail/takeaway to dwellings	16/12/2020	09/12/2020	Lauren Carroll	Angela Lopez
20/02086/PRIARDW	1053	Albermarle Bond, 67 East Street, Barking, Barking And Dagenham, IG11 8EJ	Prior Approval Granted	Application for prior approval: Proposed change of use from first floor A1 to C3 (2 flats, 1x 1 bedroom, 1x 2 bedroom).	22/10/2020	PRIARDW - Prior Approval: Change of use - retail/takeaway to dwellings	17/12/2020	08/12/2020	Lauren Carroll	Ela King
20/02087/FULL	1054	149 Alibon Road, Dagenham, Barking And Dagenham, RM10 8DE	Refused	Demolition of existing garage and erection of two storey two bedroom dwellinghouse, including changes to the roof geometry of existing dwelling and associated landscaping works.	21/10/2020	Q13. MINOR Dwellings	16/12/2020	01/12/2020	Kathryn McAllister	Angela Lopez
20/02088/PRIEXT	1055	86 Burlington Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 6ET	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension: The proposed extension will extend beyond the rear wall by 6.0m, The maximum height of the proposed extension from the natural ground level is 4.0m, The height at eaves level of the proposed extension measured from the natural ground level is 3.0m	21/10/2020	PRIEXT - Prior Approval: Larger Home Extension	02/12/2020	24/11/2020	Orla Bermingham	Angela Lopez
20/02090/HSE	1056	122 Mill Lane, Chadwell Heath, Romford, Barking And Dagenham, RM6 6RS	Approved	Construction of a single storey rear extension.	22/10/2020	Q21. Householder developments	17/12/2020	24/11/2020	Orla Bermingham	Ela King
20/02091/AOD	1057	Building No D35b, Aventis Pharma Rainham Road South, Dagenham, Barking And Dagenham, RM10 7XS	Condition(s) Fully Discharged	Details pursuant to Condition 3 (Details of External Materials) and Condition 6 (Landscaping) attached to planning consent 19/01369/FUL dated 20/03/2020.	04/11/2020	AOD - Application for approval of details reserved by condition	30/12/2020	17/12/2020	Grace Liu	Ela King
20/02092/CLUP	1058	8 Thicket Grove, Dagenham, Barking And Dagenham, RM9 4NR	Lawful (Certificate)	Application for a lawful development certificate proposed: construction of a Hip-to-gable roof extension to accommodate a rear dormer extension including two roof lights to the front.	22/10/2020	CLUP - Lawful development: Proposed use	17/12/2020	30/10/2020	Lauren Carroll	Angela Lopez
20/02093/HSE	1059	55 Ager Avenue, Dagenham, Barking And Dagenham, RM8 1BF	Approved	CONSTRUCTION OF SINGLE STOREY REAR EXTENSION	26/10/2020	Q21. Householder developments	21/12/2020	01/12/2020	Orla Bermingham	Angela Lopez
20/02094/PRIEXT	1060	8 Thicket Grove, Dagenham, Barking And Dagenham, RM9 4NR	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension: The proposed extension will extend beyond the rear wall by 6.0m, The maximum height of the proposed extension from the natural ground level is 2.9m, The height at eaves level of the proposed extension measured from the natural ground level is 2.75m	22/10/2020	PRIEXT - Prior Approval: Larger Home Extension	03/12/2020	23/11/2020	Cari Jones	Angela Lopez
20/02095/PRIEXT	1061	6 Urswick Gardens, Dagenham, Barking And Dagenham, RM9 6EB	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension and installation of three rooflights: The proposed extension will extend beyond the rear wall by 6.0m, The maximum height of the proposed extension from the natural ground level is 3.5m, The height at eaves level of the proposed extension measured from the natural ground level is 3.0m	22/10/2020	PRIEXT - Prior Approval: Larger Home Extension	03/12/2020	23/11/2020	Harry Moorhouse	Angela Lopez
20/02096/PRIEXT	1062	97 Coombes Road, Dagenham, Barking And Dagenham, RM9 6UJ	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension and installation of two rooflights. The proposed extension will extend beyond the rear wall by 4.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	22/10/2020	PRIEXT - Prior Approval: Larger Home Extension	03/12/2020	24/11/2020	Harry Moorhouse	Ela King
20/02097/FULL	1063	9-38 Stone Close, Barking And Dagenham, RM8 3BT	Approved	Replacement of 5No. Balcony groups, the existing timber balcony structures are to be removed and new steel and aluminum structures in a similar arrangement.	23/10/2020	Q18. MINOR All other developments	18/12/2020	01/12/2020	Harry Moorhouse	Angela Lopez
20/02098/PRIADC	1064	53 Vincent Road, Dagenham, Barking And Dagenham, RM9 6AL	Prior Approval Refused	Prior notification application for the construction of new dwellings on terrace buildings in use as dwellings: The proposed development will create an additional second floor to provide separate unit	23/10/2020	PRIADC – Class AC - new dwellings on terrace buildings in use as dwellings	18/12/2020	09/12/2020	Lauren Carroll	Angela Lopez
20/02099/PRIEXT	1065	95 Sparsholt Road, Barking, Barking And Dagenham, IG11 7YG	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 2.95 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.	24/10/2020	PRIEXT - Prior Approval: Larger Home Extension	05/12/2020	24/11/2020	Orla Bermingham	Ela King
20/02100/CLUP	1066	28 Lincoln Avenue, Rush Green, Romford, Barking And Dagenham, RM7 0SR	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a single storey rear extension.	24/10/2020	CLUP - Lawful development: Proposed use	19/12/2020	30/10/2020	Lauren Carroll	Ela King
20/02101/CLUP	1067	50 Park Avenue, Barking, Barking And Dagenham, IG11 8QU	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a rear dormer extension including three roof lights to the front to facilitate conversion of roof space into habitable accommodation.	24/10/2020	CLUP - Lawful development: Proposed use	19/12/2020	04/11/2020	Orla Bermingham	Ela King
20/02102/PRIEXT	1068	44 Cornwallis Road, Dagenham, Barking And Dagenham, RM9 5NA	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 5.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	25/10/2020	PRIEXT - Prior Approval: Larger Home Extension	06/12/2020	24/11/2020	Cari Jones	Ela King
20/02103/HSE	1069	10 South Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6YD	Approved	Demolition of existing conservatory and construction of a part two storey part single storey rear extension, installation of a side window and alteration of the rear dormer window (Part Retrospective).	23/10/2020	Q21. Householder developments	18/12/2020	24/11/2020	Harry Moorhouse	Ela King
20/02104/CLUP	1070	20 Crane Close, Dagenham, Barking And Dagenham, RM10 8PL	Lawful (Certificate)	Application for a lawful development certificate proposed: Change of use from C3(a) to C3(b) supported living.	23/10/2020	CLUP - Lawful development: Proposed use	18/12/2020	09/12/2020	Lauren Carroll	Angela Lopez
20/02105/CLUP	1071	43 St Awdrys Road, Barking, Barking And Dagenham, IG11 7QB	Lawful (Certificate)	Application for a lawful development certificate proposed: Construction of rear and side dormers extension including two roof lights to the front.	23/10/2020	CLUP - Lawful development: Proposed use	18/12/2020	04/11/2020	Orla Bermingham	Angela Lopez
20/02106/HSE	1072	2 Downing Road, Dagenham, Barking And Dagenham, RM9 6NR	Approved	Construction of two storey side extension and front porch.	26/10/2020	Q21. Householder developments	21/12/2020	09/12/2020	Cari Jones	Angela Lopez
20/02107/HSE	1073	117 Whalebone Lane South, Dagenham, Barking And Dagenham, RM8 1AT	Refused	CONSTRUCTION OF A SINGLE STOREY SIDE AND REAR EXTENSION	26/10/2020	Q21. Householder developments	21/12/2020	09/12/2020	Harry Moorhouse	Angela Lopez
20/02108/CLUP	1074	87 Clemence Road, Dagenham, Barking And Dagenham, RM10 9YQ	Not Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a rear dormer extension including two roof lights to the front and one window to the side to facilitate conversion of roof space into habitable accommodation.	25/10/2020	CLUP - Lawful development: Proposed use	20/12/2020	01/12/2020	Lauren Carroll	Ela King
20/02109/HSE	1075	10 Payne Close, Barking, Barking And Dagenham, IG11 9PL	Approved	Construction of a single storey rear extension with demolition of existing conservatory.	26/10/2020	Q21. Householder developments	21/12/2020	24/11/2020	Lauren Carroll	Angela Lopez
20/02110/HSE	1076	23 Cartwright Road, Dagenham, Barking And Dagenham, RM9 6HX	Refused	Construction of a single storey rear extension.	25/10/2020	Q21. Householder developments	20/12/2020	30/11/2020	Cari Jones	Ela King
20/02112/COM	1077	New Pole Cp1, Becontree Avenue, Becontree, Barking And Dagenham, RM8 2TP	Not Lawful (Certificate)	Proposed installation of new pole CP1.	23/10/2020	COM - Telecommunications notification	13/11/2020	11/11/2020	Harry Moorhouse	Ela King

20/02113/PRIEXT	1078	105 Kingston Hill Avenue, Chadwell Heath, Romford, Barking And Dagenham, RM6 5QL	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.50 metres. The maximum height of the proposed extension from the natural ground level is 3.74 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.	26/10/2020	PRIEXT - Prior Approval: Larger Home Extension	07/12/2020	24/11/2020	Cari Jones	Ela King
20/02114/HSE	1079	41 Edgefield Avenue, Barking, Barking And Dagenham, IG11 9JL	Approved	Construction of a single storey rear infill extension.	26/10/2020	Q21. Householder developments	21/12/2020	01/12/2020	Harry Moorhouse	Ela King
20/02115/PRIEXT	1080	11 Winding Way, Dagenham, Barking And Dagenham, RM8 2TD	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.00 metres. The maximum height of the proposed extension from the natural ground level is 3.45 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	28/10/2020	PRIEXT - Prior Approval: Larger Home Extension	09/12/2020	24/11/2020	Harry Moorhouse	Ela King
20/02116/HSE	1081	172 Ilchester Road, Dagenham, Barking And Dagenham, RM8 2YA	Approved	Construction of a two storey side extension and relocation of front door.	28/10/2020	Q21. Householder developments	23/12/2020	01/12/2020	Lauren Carroll	Ela King
20/02117/HSE	1082	22 Osborne Road, Dagenham, Barking And Dagenham, RM9 5BB	Approved	Construction of a single storey rear extension and installation of a 1st floor rear window	27/10/2020	Q21. Householder developments	22/12/2020	01/12/2020	Lauren Carroll	Ela King
20/02118/CLUE	1083	29 Fanshawe Crescent, Dagenham, Barking And Dagenham, RM9 5ER	Not Lawful (Certificate)	Application for a lawful development certificate Existing: of a three bedroom house into 1 x 3 bedroom duplex flat and 2 x 1 bedroom flats.	27/10/2020	CLUE - Lawful development: Existing use	22/12/2020	09/12/2020	Cari Jones	Angela Lopez
20/02119/CLUP	1084	122 Romsey Road, Dagenham, Barking And Dagenham, RM9 6BB	Lawful (Certificate)	Application for a lawful development certificate proposed: construction of a shed in the rear garden.	27/10/2020	CLUP - Lawful development: Proposed use	22/12/2020	24/11/2020	Cari Jones	Angela Lopez
20/02120/HSE	1085	23 St Giles Close, Dagenham, Barking And Dagenham, RM10 9TD	Approved	External solid wall insulation and rendering to existing front, side and rear external walls	27/10/2020	Q21. Householder developments	22/12/2020	01/12/2020	Harry Moorhouse	Angela Lopez
20/02121/PRIEXT	1086	21 Atlantis Close, Barking, Barking And Dagenham, IG11 0GH	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.02 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.87 metres.	14/10/2020	PRIEXT - Prior Approval: Larger Home Extension	25/11/2020	12/11/2020	Lauren Carroll	Ela King
20/02122/HSE	1087	33 Spurling Road, Dagenham, Barking And Dagenham, RM9 5RH	Refused	Construction of a single storey rear extension, front porch extension including re-roofing of the bay window with proposed porch roof.	15/10/2020	Q21. Householder developments	10/12/2020	30/11/2020	Lauren Carroll	Ela King
20/02123/HSE	1088	27 Stamford Road, Dagenham, Barking And Dagenham, RM9 4HA	Refused	Construction of two storey side and rear extension.	28/10/2020	Q21. Householder developments	23/12/2020	01/12/2020	Orla Bermingham	Angela Lopez
20/02124/HSE	1089	11 Crabtree Avenue, Chadwell Heath, Romford, Barking And Dagenham, RM6 5EX	Refused	Construction of a single storey granny annexe.	28/10/2020	Q21. Householder developments	23/12/2020	09/12/2020	Cari Jones	Ela King
20/02125/CLUP	1090	191 Gorseway, Rush Green, Romford, Barking And Dagenham, RM7 0SA	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a hip-to-gable roof extension to accommodate a rear dormer extension including two roof lights to the front and one window to the side to facilitate conversion of roof space into habitable accommodation.	02/11/2020	CLUP - Lawful development: Proposed use	28/12/2020	24/11/2020	Harry Moorhouse	Ela King
20/02126/PRIEXT	1091	47 Lawrence Crescent, Dagenham, Barking And Dagenham, RM10 7HH	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension and installation of two rooflights. The proposed extension will extend beyond the rear wall by 4.00 metres. The maximum height of the proposed extension from the natural ground level is 4.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.50 metres.	28/10/2020	PRIEXT - Prior Approval: Larger Home Extension	09/12/2020	01/12/2020	Harry Moorhouse	Ela King
20/02127/HSE	1092	2 Cromer Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6ND	Refused	Construction of a front porch, two storey side extension and part two storey part single storey rear extension.	12/11/2020	Q21. Householder developments	07/01/2021	15/12/2020	Orla Bermingham	Ela King
20/02128/FULL	1093	35 Bainbridge Road, Dagenham, Barking And Dagenham, RM9 5UU	Refused	Construction of two storey side extension to provide two separate 1x bedroom flats with associated car parking.	28/10/2020	Q18. MINOR All other developments	23/12/2020	09/12/2020	Orla Bermingham	Angela Lopez
20/02129/PRIEXT	1094	21 Beresford Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 6RX	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension: The proposed extension will extend beyond the rear wall by 6.0m. The maximum height of the proposed extension from the natural ground level is 3.0m. The height at eaves level of the proposed extension measured from the natural ground level is 3.0m	28/10/2020	PRIEXT - Prior Approval: Larger Home Extension	09/12/2020	24/11/2020	Lauren Carroll	Angela Lopez
20/02130/AOD	1095	Kingsley Hall Parsloes Avenue, Dagenham, Barking And Dagenham, RM9 5NB	Condition(s) Fully Discharged	Application for approval of details reserved by Condition 17 (Highways Agreement) Phase 2, in respect of planning permission 19/01660/FUL and 20/00539/NMA.	28/10/2020	AOD - Application for approval of details reserved by condition	23/12/2020	01/12/2020	Kathryn McAllister	Angela Lopez
20/02131/HSE	1096	19 Longhayes Avenue, Chadwell Heath, Romford, Barking And Dagenham, RM6 5HB	Approved	Construction of a single storey rear and side extension.	28/10/2020	Q21. Householder developments	23/12/2020	24/11/2020	Orla Bermingham	Ela King
20/02132/AOD	1097	Abbey Sports Centre, Abbey Sports Centre, Barking, Barking And Dagenham, IG11 7LX	Condition(s) Fully Discharged	Details pursuant to Condition 17 (Cycle Parking) attached to planning consent 18/00331/FUL dated 13/01/2020.	28/10/2020	AOD - Application for approval of details reserved by condition	23/12/2020	21/12/2020	Cari Jones	Ela King
20/02133/COM	1098	4 Creek Road, Barking, IG11 0TA	Lawful (Certificate)	Proposed replacement of antennas and addition of ancillary items.	28/10/2020	COM - Telecommunications notification	18/11/2020	17/11/2020	Harry Moorhouse	Ela King
20/02134/CLUP	1099	30 Denham Way, Barking, Barking And Dagenham, IG11 9SH	Not Lawful (Certificate)	Application for a Lawful development certificate proposed: Construction of single storey side extension and installation of a roof light.	29/10/2020	CLUP - Lawful development: Proposed use	24/12/2020	11/11/2020	Harry Moorhouse	Angela Lopez
20/02135/CLUP	1100	210 Morley Road, Barking, Barking And Dagenham, IG11 7DL	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a rear dormer extension including two roof lights to the front to facilitate conversion of roof space into habitable accommodation.	16/11/2020	CLUP - Lawful development: Proposed use	11/01/2021	15/12/2020	Cari Jones	Ela King
20/02136/HSE	1101	210 Morley Road, Barking, Barking And Dagenham, IG11 7DL	Approved	CONSTRUCTION OF SINGLE STOREY SIDE AND REAR EXTENSION	29/10/2020	Q21. Householder developments	24/12/2020	09/12/2020	Cari Jones	Angela Lopez
20/02138/CLUP	1102	23 Norton Road, Dagenham, Barking And Dagenham, RM10 8BP	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a rear dormer extension including three roof lights to the front to facilitate conversion of roof space into habitable accommodation.	31/10/2020	CLUP - Lawful development: Proposed use	26/12/2020	16/11/2020	Cari Jones	Ela King
20/02139/PRIEXT	1103	158 Valence Circus, Dagenham, Barking And Dagenham, RM8 3LT	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.15 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	30/10/2020	PRIEXT - Prior Approval: Larger Home Extension	11/12/2020	24/11/2020	Orla Bermingham	Ela King
20/02140/HSE	1104	22 Levine Gardens, Barking, Barking And Dagenham, IG11 0UH	Approved	Construction of a part two storey part single storey rear extension and construction of a rear dormer extension including two roof lights to the front to facilitate conversion of roof space into habitable accommodation.	03/11/2020	Q21. Householder developments	29/12/2020	14/12/2020	Cari Jones	Ela King
20/02141/CLUP	1105	78a Fourth Avenue, Rush Green, Romford, Barking And Dagenham, RM7 0UD	Lawful (Certificate)	Application for a lawful development certificate proposed: construction of an outbuilding to form a gym and a garage.	30/10/2020	CLUP - Lawful development: Proposed use	25/12/2020	24/11/2020	Lauren Carroll	Angela Lopez
20/02142/HSE	1106	117 Bevan Avenue, Barking, Barking And Dagenham, IG11 9NR	Approved	Construction of access ramp with handrails to front of property.	30/10/2020	Q21. Householder developments	25/12/2020	01/12/2020	Lauren Carroll	Angela Lopez
20/02143/PRIEXT	1107	23 Crabtree Avenue, Chadwell Heath, Romford, Barking And Dagenham, RM6 5EX	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension and the installation of three roof lights. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.30 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	30/10/2020	PRIEXT - Prior Approval: Larger Home Extension	11/12/2020	24/11/2020	Harry Moorhouse	Ela King
20/02144/PRIEXT	1108	73 Wivenhoe Road, Barking, Barking And Dagenham, IG11 0RE	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	30/10/2020	PRIEXT - Prior Approval: Larger Home Extension	11/12/2020	07/12/2020	Lauren Carroll	Ela King
20/02146/PRIEXT	1109	127 Chelmer Crescent, Barking, Barking And Dagenham, IG11 0PY	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 5.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	01/11/2020	PRIEXT - Prior Approval: Larger Home Extension	13/12/2020	01/12/2020	Harry Moorhouse	Ela King

	20/02147/FULL	1110	84 Naseby Road, Dagenham, Barking And Dagenham, RM10 7JR	Approved	Construction of a new two storey, two bedroom dwellinghouse next to existing dwellinghouse and construction of a single storey rear extension to the existing dwellinghouse.	02/11/2020	Q13. MINOR Dwellings	28/12/2020	15/12/2020	Kathryn McAllister	Ela King
	20/02149/CLUP	1111	27 Priory Road, Barking, Barking And Dagenham, IG11 9XL	Lawful (Certificate)	Application for a lawful development certificate proposed: Construction of two rear dormer extension to facilitate conversion of roof space into habitable accommodation.	02/11/2020	CLUP - Lawful development: Proposed use	28/12/2020	16/11/2020	Orla Bermingham	Angela Lopez
	20/02150/FULL	1112	47c Thornhill Gardens, Barking, IG11 9TX	Approved	Construction of a double storey side and rear extension and proposed front bay window.	30/10/2020	Q18. MINOR All other developments	25/12/2020	01/12/2020	Orla Bermingham	Angela Lopez
	20/02151/HSE	1113	17 Neasham Road, Dagenham, Barking And Dagenham, RM8 2LT	Refused	Construction of two part two storey part single storey rear extensions.	30/10/2020	Q21. Householder developments	25/12/2020	09/12/2020	Cari Jones	Angela Lopez
	20/02152/HSE	1114	48 Portland Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 5UJ	Refused	Construction of an outbuilding including 2x4 ornamental props for front hip roof sunshade.	30/10/2020	Q21. Householder developments	25/12/2020	01/12/2020	Orla Bermingham	Angela Lopez
	20/02153/HSE	1115	37 Fordyke Road, Dagenham, Barking And Dagenham, RM8 1PH	Approved	Construction of a single storey rear extension for disabled occupant to create a bedroom and bathing facilities.	02/11/2020	Q21. Householder developments	28/12/2020	01/12/2020	Orla Bermingham	Ela King
	20/02154/CLUP	1116	12 Broad Street, Dagenham, Barking And Dagenham, RM10 9HL	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction a hip-to-gable roof extension to accommodate a rear dormer extension including two roof lights to the front and one window to the side to facilitate conversion of roof space into habitable accommodation and a construction of a single storey rear extension.	02/11/2020	CLUP - Lawful development: Proposed use	28/12/2020	16/11/2020	Cari Jones	Angela Lopez
	20/02155/CLUP	1117	44 Sunningdale Avenue, Barking, Barking And Dagenham, IG11 7QF	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of two dormer extensions including two roof lights to the front to facilitate conversion of roof space into habitable accommodation.	02/11/2020	CLUP - Lawful development: Proposed use	28/12/2020	24/11/2020	Harry Moorhouse	Angela Lopez
	20/02156/HSE	1118	4 Wren Gardens, Dagenham, Barking And Dagenham, RM9 5YH	Refused	Construction of a single storey front extension including front porch and construction of a single storey side conservatory.	02/11/2020	Q21. Householder developments	28/12/2020	10/12/2020	Harry Moorhouse	Ela King
	20/02157/HSE	1119	18 Bradford Drive, Barking, Barking And Dagenham, IG11 9AR	Approved	Construction of a part two storey, part single storey rear extension.	02/11/2020	Q21. Householder developments	28/12/2020	10/12/2020	Harry Moorhouse	Angela Lopez
x	20/02158/CLUP	1120	21 Beresford Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 6RX	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a rear dormer extension including two roof lights to the front to facilitate conversion of roof space into habitable accommodation.	02/11/2020	CLUP - Lawful development: Proposed use	28/12/2020	16/11/2020	Orla Bermingham	Ela King
	20/02159/PRIEXT	1121	20 Atlantis Close, Barking, Barking And Dagenham, IG11 0GH	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	02/11/2020	PRIEXT - Prior Approval: Larger Home Extension	14/12/2020	01/12/2020	Orla Bermingham	Ela King
	20/02162/HSE	1122	181 Whalebone Lane South, Dagenham, Barking And Dagenham, RM8 1AT	Approved	Construction of a single storey rear extension and installation of two roof lights.	03/11/2020	Q21. Householder developments	29/12/2020	15/12/2020	Harry Moorhouse	Ela King
	20/02163/HSE	1123	61 Sandringham Road, Barking, Barking And Dagenham, IG11 9AF	Refused	Construction of a single storey rear extension (retrospective).	09/11/2020	Q21. Householder developments	04/01/2021	14/12/2020	Lauren Carroll	Ela King
	20/02164/HSE	1124	3 Furze Farm Close, Chadwell Heath, Romford, Barking And Dagenham, RM6 5RD	Approved	Construction of a two storey side extension and front porch including part demolition of existing garage and conversion of remaining garage into a rear storage building.	03/11/2020	Q21. Householder developments	29/12/2020	15/12/2020	Cari Jones	Ela King
	20/02165/PRIEXT	1125	61 Eastbrook Drive, Rush Green, Romford, Barking And Dagenham, RM7 0YT	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 2.90 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.	03/11/2020	PRIEXT - Prior Approval: Larger Home Extension	15/12/2020	30/11/2020	Cari Jones	Ela King
	20/02166/FULL	1126	79a Downing Road, Dagenham, Barking And Dagenham, RM9 6NA	Refused	Replacement deck and stairs to rear of property (Retrospective Application)	03/11/2020	Q18. MINOR All other developments	29/12/2020	10/12/2020	Harry Moorhouse	Angela Lopez
	20/02168/NONMATT	1127	Job Centre Plus Chequers Lane, Dagenham, Barking And Dagenham, RM9 6PS	Approved	Non material amendment to planning Permission 19/01724/FUL. Minor amendments to conditions 2 (approved drawings), condition 3 (external materials), condition 6 (cycle parking) and condition 21 (waste and recycling storage).	02/11/2020	NONMAT - Non-material amendment following a grant of planning permission	30/11/2020	01/12/2020	Nasser Farooq	Angela Lopez
	20/02169/HSE	1128	5 Trinidad Gardens, Dagenham, Barking And Dagenham, RM10 9YA	Refused	Construction of a part two storey part single storey rear extension with first floor rear balcony and construction of a first floor side extension.	04/11/2020	Q21. Householder developments	30/12/2020	14/12/2020	Orla Bermingham	Ela King
	20/02170/COM	1129	The Mall, Millard Terrace, Heathway, Dagenham, RM10 8RQ	Lawful (Certificate)	Proposed installation of 3 RRH's and 3 BOB's fixed to existing hand rail, the replacement of 3 antennas on existing steelwork and ancillary development.	04/11/2020	COM - Telecommunications notification	25/11/2020	17/11/2020	Harry Moorhouse	Ela King
	20/02171/PRIEXT	1130	196 Bentry Road, Dagenham, Barking And Dagenham, RM8 3PT	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.92 metres.	04/11/2020	PRIEXT - Prior Approval: Larger Home Extension	16/12/2020	01/12/2020	Lauren Carroll	Ela King
	20/02172/CLUP	1131	196 Bentry Road, Dagenham, Barking And Dagenham, RM8 3PT	Lawful (Certificate)	Application for a lawful development certificate proposed: construction a rear dormer extension including three roof lights and a Juliette balcony to the front to facilitate conversion of roof space into habitable accommodation.	04/11/2020	CLUP - Lawful development: Proposed use	30/12/2020	13/11/2020	Lauren Carroll	Angela Lopez
	20/02173/NONMATT	1132	Vehicle Weighbridge Site Cook Road, Dagenham, Barking And Dagenham,	Approved	Non material amendment to planning permission 18/02046/FUL. Addition of water tank for sprinkler system.	04/11/2020	NONMAT - Non-material amendment following a grant of planning permission	02/12/2020	01/12/2020	Nasser Farooq	Angela Lopez
	20/02174/CLUP	1133	62 Standfield Road, Dagenham, Barking And Dagenham, RM10 8JP	Not Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a front porch.	17/11/2020	CLUP - Lawful development: Proposed use	12/01/2021	15/12/2020	Lauren Carroll	Ela King
	20/02175/PRIEXT	1134	189 Sterry Road, Dagenham, Barking And Dagenham, RM10 8PT	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	04/11/2020	PRIEXT - Prior Approval: Larger Home Extension	16/12/2020	01/12/2020	Orla Bermingham	Ela King
	20/02176/CLUP	1135	61 Eastbrook Drive, Rush Green, Romford, Barking And Dagenham, RM7 0YT	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a rear dormer extension including two roof lights to the front to facilitate conversion of roof space into habitable accommodation, and construction of a single storey rear extension.	04/11/2020	CLUP - Lawful development: Proposed use	30/12/2020	16/11/2020	Cari Jones	Ela King
	20/02177/HSE	1136	9 Verney Gardens, Dagenham, Barking And Dagenham, RM9 5LR	Approved	Construction of an access ramp with handrails to the front of property for disabled occupant.	06/11/2020	Q21. Householder developments	01/01/2021	30/11/2020	Cari Jones	Ela King
	20/02178/HSE	1137	11 Becontree Avenue, Dagenham, Barking And Dagenham, RM8 2UH	Refused	Construction of a part hip to gable roof extension to accommodate a rear dormer and construction of a first floor side extension, part first floor rear extension and front porch.	04/11/2020	Q21. Householder developments	30/12/2020	15/12/2020	Harry Moorhouse	Angela Lopez
	20/02179/HSE	1138	169 Woodward Road, Dagenham, Barking And Dagenham, RM9 4SU	Refused	Retrospective planning application for play area in the rear garden.	04/11/2020	Q21. Householder developments	30/12/2020	14/12/2020	Lauren Carroll	Angela Lopez
	20/02180/CLUE	1139	169 Woodward Road, Dagenham, Barking And Dagenham, RM9 4SU	Not Lawful (Certificate)	Application for a lawful development certificate Existing: Construction of outbuilding in rear garden	04/11/2020	CLUE - Lawful development: Existing use	30/12/2020	14/12/2020	Cari Jones	Angela Lopez
	20/02181/CLUP	1140	189 Sterry Road, Dagenham, Barking And Dagenham, RM10 8PT	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a single storey rear and side extension, hip-to-gable roof to accommodate a rear dormer extension including two roof lights to the front to facilitate conversion of roof space into habitable accommodation.	05/11/2020	CLUP - Lawful development: Proposed use	31/12/2020	16/11/2020	Orla Bermingham	Angela Lopez
	20/02182/FULL	1141	Costcutter, 14 - 20 Farr Avenue, Barking, Barking And Dagenham, IG11 0NZ	Approved	Construction of a single storey rear infill extension.	05/11/2020	Q16. MINOR Retail and service	31/12/2020	14/12/2020	Orla Bermingham	Ela King
	20/02183/PRIEXT	1142	12 The Close, Chadwell Heath, Romford, Barking And Dagenham, RM6 6XL	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.20 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	05/11/2020	PRIEXT - Prior Approval: Larger Home Extension	17/12/2020	30/11/2020	Cari Jones	Ela King
	20/02184/HSE	1143	12 The Close, Chadwell Heath, Romford, Barking And Dagenham, RM6 6XL	Refused	Construction of a single storey outbuilding in the rear garden to be used a gymnasium.	05/11/2020	Q21. Householder developments	31/12/2020	14/12/2020	Cari Jones	Ela King
	20/02185/HSE	1144	12 The Close, Chadwell Heath, Romford, Barking And Dagenham, RM6 6XL	Approved	Construction of a single storey front extension and two part two storey part single storey rear extensions with Juliette balcony.	05/11/2020	Q21. Householder developments	31/12/2020	14/12/2020	Orla Bermingham	Angela Lopez

20/02186/HSE	1145	20 Glenmore Way, Barking, Barking And Dagenham, IG11 0LY	Approved	Construction of a single storey front extension including porch. (Resubmission)	05/11/2020	Q21. Householder developments	31/12/2020	14/12/2020	Orla Bermingham	Angela Lopez
20/02187/FULL	1146	97a Glenn Road, Barking, Barking And Dagenham, IG11 8QG	Approved	Construction of a rear dormer extension including two roof lights to the front to facilitate conversion of roof space into habitable accommodation.	17/11/2020	Q18. MINOR All other developments	12/01/2021	15/12/2020	Cari Jones	Ela King
20/02188/PRIEXT	1147	77 Woodbridge Road, Barking, Barking And Dagenham, IG11 9ES	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	05/11/2020	PRIEXT - Prior Approval: Larger Home Extension	17/12/2020	09/12/2020	Cari Jones	Ela King
20/02189/FULL	1148	97 Groveway, Dagenham, Barking And Dagenham, RM8 3XL	Approved	Construction of a single storey rear extension.	08/12/2020	Q18. MINOR All other developments	02/02/2021	27/01/2021	Orla Bermingham	Ela King
20/02190/HSE	1149	155 St Georges Road, Dagenham, Barking And Dagenham, RM9 5JU	Refused	Conversion of the garage to provide habitable accommodation and construction of a first floor side extension.	06/11/2020	Q21. Householder developments	01/01/2021	15/12/2020	Harry Moorhouse	Ela King
20/02191/FULL	1150	230 - 232 High Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6AP	Refused	Extraction ducting from ground level restaurant for a prior approval permitted A3 premises.	05/11/2020	Q18. MINOR All other developments	31/12/2020	15/12/2020	Cari Jones	Angela Lopez
20/02192/FULL	1151	230 - 232 High Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6AP	Approved	Installation of extraction ducting from ground level restaurant for a prior approval permitted A3 premises.	05/11/2020	Q18. MINOR All other developments	31/12/2020	11/12/2020	Cari Jones	Ela King
20/02193/FULL	1152	202 Lillechurch Road, Dagenham, Barking And Dagenham, RM8 2EW	Approved	Construction of a rear dormer extension including two roof lights to the front to facilitate conversion of roof space into habitable accommodation.	17/11/2020	Q18. MINOR All other developments	12/01/2021	16/12/2020	Orla Bermingham	Ela King
20/02194/FULL	1153	B.j.brown Business Systems Ltd, Units 1 - 2, Mirravale Trading Estate Selinas Lane, Dagenham, Barking And Dagenham, RM8 1YY	Refused	Change of use of Units 1&2 from B1&B2 to SU1 GENERES	06/11/2020	Q20. Change of use	01/01/2021	18/12/2020	Kathryn McAllister	Angela Lopez
20/02195/PRIEXT	1154	39 Aldersey Gardens, Barking, Barking And Dagenham, IG11 9UG	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension and installation of 4 rooflights. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.91 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	06/11/2020	PRIEXT - Prior Approval: Larger Home Extension	18/12/2020	01/12/2020	Harry Moorhouse	Ela King
20/02196/FULL	1155	73 Verney Road, Dagenham, Barking And Dagenham, RM9 5LP	Refused	Change of use from C3 dwelling to C2 children's home to accommodate a maximum of 3 children aged 8-18 years.	06/11/2020	Q20. Change of use	01/01/2021	21/12/2020	Lauren Carroll	Ela King
20/02197/HSE	1156	2 Clare Gardens, Barking, Barking And Dagenham, IG11 9JG	Approved	Construction of a first floor side extension with an extension at the roof level incorporating 3 roof windows to the side.	06/11/2020	Q21. Householder developments	01/01/2021	18/12/2020	Kathryn McAllister	Ela King
20/02198/CLUP	1157	171 Westrow Drive, Barking, Barking And Dagenham, IG11 9BS	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a rear dormer extension including three roof lights to the front to facilitate conversion of roof space into habitable accommodation.	09/11/2020	CLUP - Lawful development: Proposed use	04/01/2021	24/11/2020	Harry Moorhouse	Ela King
20/02199/CLUP	1158	68 Central Park Avenue, Dagenham, Barking And Dagenham, RM10 7BU	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a single storey rear extension.	07/11/2020	CLUP - Lawful development: Proposed use	02/01/2021	13/11/2020	Lauren Carroll	Ela King
20/02200/HSE	1159	135 Burdetts Road, Dagenham, Barking And Dagenham, RM9 6YB	Refused	Construction of a two storey side extension, a part two storey part single storey rear extension and demolition of existing garage.	09/11/2020	Q21. Householder developments	04/01/2021	14/12/2020	Cari Jones	Ela King
20/02201/NONMATT	1160	Barking Riverside Area Renwick Road, Barking, Barking And Dagenham,	Approved	Non material amendment to planning permission 18/00768/REM dated 31/10/2018 comprising of amended access arrangement in site wide infrastructure scheme.	06/11/2020	NONMAT - Non-material amendment following a grant of planning permission	04/12/2020	07/12/2020	Nasser Farooq	Ela King
20/02202/PRIERDW	1161	Hair Clips, 68 High Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6PP	Prior Approval Refused	Application for prior approval: Proposed change of use of rear ground floor section from retail to C3 dwellings (1x studio and 1x 1 bedroom).	07/11/2020	PRIERDW - Prior Approval: Change of use - retail/takeaway to dwellinghouses	02/01/2021	14/12/2020	Lauren Carroll	Ela King
20/02203/CLUP	1162	1 Lyndhurst Gardens, Barking, Barking And Dagenham, IG11 9YB	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a single storey side extension	07/11/2020	CLUP - Lawful development: Proposed use	02/01/2021	16/11/2020	Orla Bermingham	Ela King
20/02204/FULL	1163	1b Rosehatch Avenue, Chadwell Heath, Romford, Barking And Dagenham, RM6 5NB	Refused	Construction of a single storey storage building to the side of existing dwelling and garage, including alterations to the garage door.	16/11/2020	Q18. MINOR All other developments	11/01/2021	15/12/2020	Kathryn McAllister	Ela King
20/02205/CLUE	1164	8 Denny Gardens, Dagenham, Barking And Dagenham, RM9 4DD	Lawful (Certificate)	Application for a lawful development certificate (existing) for the construction of an outbuilding.	08/11/2020	CLUE - Lawful development: Existing use	03/01/2021	14/12/2020	Cari Jones	Ela King
20/02206/FULL	1165	Mississippi Chicken And Pizza Takeaway, 225 Oxlow Lane, Dagenham, Barking And Dagenham, RM10 7YA	Refused	Construction of a part ground floor extension and first floor rear extension with the first floor to be used as office space.	17/11/2020	Q14. MINOR Offices / R&D / light industry	12/01/2021	22/12/2020	Harry Moorhouse	Ela King
20/02207/PRIEXT	1166	988 Green Lane, Dagenham, Barking And Dagenham, RM8 1BU	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 4.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	09/11/2020	PRIEXT - Prior Approval: Larger Home Extension	21/12/2020	09/12/2020	Lauren Carroll	Ela King
20/02208/PRIEXT	1167	43 Finnymore Road, Dagenham, Barking And Dagenham, RM9 6JD	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	09/11/2020	PRIEXT - Prior Approval: Larger Home Extension	21/12/2020	09/12/2020	Orla Bermingham	Ela King
20/02209/PRIEXT	1168	76 Eastbrook Drive, Rush Green, Romford, Barking And Dagenham, RM7 0YX	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	09/11/2020	PRIEXT - Prior Approval: Larger Home Extension	21/12/2020	09/12/2020	Harry Moorhouse	Ela King
20/02210/AOD	1169	79a Whalebone Lane South, Dagenham, Barking And Dagenham,	Condition(s) Fully Discharged	Details pursuant to Condition 3 (Demolition and Construction Management Plan) and Condition 5 (Acoustic Report) attached to planning consent 19/01312/FUL dated 04/08/2020.	09/11/2020	AOD - Application for approval of details reserved by condition	04/01/2021	14/12/2020	Nasser Farooq	Ela King
20/02211/FULL	1170	31 Osborne Road, Dagenham, Barking And Dagenham, RM9 5BB	Refused	Conversion of existing dwellinghouse into 1x 3 bedroom dwellinghouse and 1x 2 bedroom dwellinghouse including the construction of a new vehicular cross over and a front canopy.	10/11/2020	Q13. MINOR Dwellings	05/01/2021	22/12/2020	Harry Moorhouse	Ela King
20/02212/AOD	1171	Development Site Junction Of Stamford Road And Woodward Road, Dagenham, Barking And Dagenham,	Condition(s) Fully Discharged	Details pursuant to Condition 9 (Brick Articulation), Condition 10 (Planting Scheme), Condition 12 (Electric Vehicle Charging Points Details), Condition 13 (Trees) and Condition 14 (Ecological Management Plan) attached to planning consent 20/00097/FUL dated 17/07/2020	10/11/2020	AOD - Application for approval of details reserved by condition	05/01/2021	17/12/2020	Grace Liu	Ela King
20/02213/AOD	1172	Former Site Of Assembly Plant, Beam Park Development Site Thames Avenue, Dagenham, Barking And Dagenham,	Condition(s) Partially Discharged	Details pursuant to Condition 48 (Lighting Strategy) in respect of Phase 2 of planning consent 19/01241/OUT dated 13/01/2020.	09/11/2020	AOD - Application for approval of details reserved by condition	04/01/2021	24/11/2020	Grace Liu	Ela King
20/02214/NONMATT	1173	1b Rosehatch Avenue, Chadwell Heath, Romford, Barking And Dagenham, RM6 5NB	Approved	Non material amendment to planning permission 18/02071/FUL (APP/25060/W/19/322901) dated 13/08/2019 comprising of the addition of side windows, change in roof profile, internal alterations and reduction of size of garage shutter.	09/11/2020	NONMAT - Non-material amendment following a grant of planning permission	07/12/2020	01/12/2020	Kathryn McAllister	Ela King
20/02215/FULL	1174	Heathpace Ltd, 23 - 25 Station Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 4BE	Approved	Construction of rear dormer extensions to first floor flats including 6 roof lights to the front to facilitate conversion of roof space into habitable accommodation.	09/11/2020	Q18. MINOR All other developments	04/01/2021	15/12/2020	Kathryn McAllister	Ela King
20/02216/PRIEXT	1175	115 Lindsey Road, Dagenham, Barking And Dagenham, RM8 2RB	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	10/11/2020	PRIEXT - Prior Approval: Larger Home Extension	22/12/2020	09/12/2020	Orla Bermingham	Ela King

20/02217/SCREEN	1176	Plot 2, Segro Park, Dagenham,	Issued	Screening Opinion Request: demolition of an existing research building, gatehouse and associated hardstanding; construction of an industrial building (Use Class B2, B8, E(g)(iii)), with ancillary offices, entrance building, security hub, gatehouse and access ramps; creation of new vehicular accesses from Hitch Street and Choats Road; pedestrian and cycle access from Choats Manor Way; cycle, motorcycle, car, van and HGV parking; hardstanding and circulation areas; sprinkler tanks; pump house; relocated pumping station; and all other ancillary and enabling works including landscaping, drainage, engineering, ground stability works and boundary treatment.	10/11/2020	SCREEN - EIA Screening Opinion	01/12/2020	09/12/2020	Nasser Farooq	Ela King
20/02219/HSE	1177	87 Langhorne Road, Dagenham, Barking And Dagenham, RM10 9RB	Refused	Construction of a two storey side extension.	10/11/2020	Q21. Householder developments	05/01/2021	14/12/2020	Lauren Carroll	Ela King
20/02220/CLUP	1178	19 Agnes Gardens, Dagenham, Barking And Dagenham, RM8 3BS	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the operation of an online cab dispatch system.	12/11/2020	CLUP - Lawful development: Proposed use	07/01/2021	24/11/2020	Cari Jones	Ela King
20/02221/PRIEXT	1179	106 Billet Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 5PR	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.15 metres.	10/11/2020	PRIEXT - Prior Approval: Larger Home Extension	22/12/2020	09/12/2020	Cari Jones	Ela King
20/02222/PRIEXT	1180	15 Lawrence Crescent, Dagenham, Barking And Dagenham, RM10 7HH	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension and installation of three roof lights including including repositioning of side door and removal of canopy, installation of site ground floor window on the main dwelling and demolition of existing outbuilding. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.70 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.60 metres.	10/11/2020	PRIEXT - Prior Approval: Larger Home Extension	22/12/2020	09/12/2020	Harry Moorhouse	Ela King
20/02223/HSE	1181	85 Langhorne Road, Dagenham, Barking And Dagenham, RM10 9RA	Approved	Construction of a single storey side extension, installation of an upper floor side window on the existing dwelling and rear patio doors.	11/11/2020	Q21. Householder developments	06/01/2021	15/12/2020	Harry Moorhouse	Ela King
20/02224/FULL	1182	134 Billet Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 5PS	Approved	Construction of a single storey side extension.	20/11/2020	Q18. MINOR All other developments	15/01/2021	16/12/2020	Harry Moorhouse	Ela King
20/02225/PRIADA	1183	497 - 515 Gale Street, Dagenham, RM9 4TP	Prior Approval Refused	Prior notification application for the construction of new dwellings on detached buildings in use as commercial or mixed use. The proposed development involves the construction of two additional storeys on top of the detached building to create 20 new units.	10/11/2020	PRIADA - Class AA - new dwellings on detached buildings in commercial or mixed use	05/01/2021	15/12/2020	Kathryn McAllister	Ela King
20/02226/PRIEXT	1184	48 Ridley Close, Barking, Barking And Dagenham, IG11 9PJ	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 5.00 metres. The maximum height of the proposed extension from the natural ground level is 3.85 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.55 metres.	11/11/2020	PRIEXT - Prior Approval: Larger Home Extension	23/12/2020	09/12/2020	Lauren Carroll	Ela King
20/02227/PRIEXT	1185	311 Gorseway, Rush Green, Romford, Barking And Dagenham, RM7 0SD	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	11/11/2020	PRIEXT - Prior Approval: Larger Home Extension	23/12/2020	09/12/2020	Lauren Carroll	Ela King
20/02228/CLUP	1186	164 Canonsleigh Road, Dagenham, Barking And Dagenham, RM9 4DH	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a hip-to-gable roof extension to accommodate a rear dormer extension including two roof lights to the front to facilitate conversion of roof space into habitable accommodation.	11/11/2020	CLUP - Lawful development: Proposed use	06/01/2021	13/11/2020	Lauren Carroll	Ela King
20/02229/CLUP	1187	19 Havering Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 5BH	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a single storey rear extension and the construction of a rear dormer extension including two roof lights to the front to facilitate conversion of roof space into habitable accommodation.	11/11/2020	CLUP - Lawful development: Proposed use	06/01/2021	16/11/2020	Orla Bermingham	Ela King
20/02230/AOD	1188	Abbey Retail Park Abbey Road, Barking, Barking And Dagenham,	Condition(s) Fully Discharged	Details pursuant to Condition 32 (Boreholes) attached to planning consent 18/02013/FUL dated 07/01/2020.	11/11/2020	AOD - Application for approval of details reserved by condition	06/01/2021	27/01/2021	Olivia St-Amour	Ela King
20/02231/FULL	1189	Morrisons, Morrisons Supermarket, 402 Wood Lane, Dagenham, Barking And Dagenham, RM10 7RA	Refused	Installation of a detached freezer unit in the existing service yard. (Retrospective)	10/11/2020	Q18. MINOR All other developments	05/01/2021	16/12/2020	Lauren Carroll	Angela Lopez
20/02232/CLUP	1190	27 Peartree Gardens, Dagenham, Barking And Dagenham, RM8 2YR	Lawful (Certificate)	Application for a lawful development certificate proposed: Maintaining the existing space of the outbuilding but increasing the height to maximum 2.5m from the ground level	09/11/2020	CLUP - Lawful development: Proposed use	04/01/2021	16/11/2020	Orla Bermingham	Angela Lopez
20/02233/CLUP	1191	Ladbroke, 941 Green Lane, Dagenham, Barking And Dagenham, RM8 1DJ	Not Lawful (Certificate)	Application for a lawful development certificate proposed: change of use from betting shop to grocery store.	10/11/2020	CLUP - Lawful development: Proposed use	05/01/2021	13/11/2020	Lauren Carroll	Angela Lopez
20/02234/COM	1192	Foxlands Lane, Dagenham, RM10 7FN	Lawful (Certificate)	Proposed installation of new 8 light pole (s/w), new 11 light pole (s/w) and new 11 light (s/w) pole.	12/11/2020	COM - Telecommunications notification	03/12/2020	24/11/2020	Harry Moorhouse	Ela King
20/02235/CLUP	1193	115 Lindsey Road, Dagenham, Barking And Dagenham, RM8 2RB	Lawful (Certificate)	Application for a lawful development certificate proposed: for the construction of a rear dormer extension including three roof lights to the front, construction of a single storey side extension and front porch.	10/11/2020	CLUP - Lawful development: Proposed use	05/01/2021	24/11/2020	Harry Moorhouse	Angela Lopez
20/02236/CLUP	1194	2 Maybury Road, Barking, Barking And Dagenham, IG11 0PJ	Lawful (Certificate)	Application for a lawful development certificate proposed: for the construction of a rear dormer extension including two roof lights to the front to facilitate conversion of roof space into habitable accommodation.	10/11/2020	CLUP - Lawful development: Proposed use	05/01/2021	13/11/2020	Lauren Carroll	Angela Lopez
20/02237/PRIEXT	1195	61 Sparsholt Road, Barking, Barking And Dagenham, IG11 7YG	Prior Approval Refused	Prior notification application for the construction of two single storey rear extensions: The first proposed extension will extend beyond the rear wall by 5.78m; the maximum height of the proposed extension from the natural ground level is 3.69m; the height at eaves level of the proposed extension measured from the natural ground level is 2.6m. The second proposed extension will extend beyond the rear wall by 3.74m; the maximum height of the proposed extension from the natural ground level is 2.6m; the height at eaves level of the proposed extension measured from the natural ground level is	11/11/2020	PRIEXT - Prior Approval: Larger Home Extension	23/12/2020	09/12/2020	Lauren Carroll	Angela Lopez
20/02238/PRIEXT	1196	105 Gay Gardens, Dagenham, Barking And Dagenham, RM10 7TH	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.50 metres. The maximum height of the proposed extension from the natural ground level is 3.15 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	12/11/2020	PRIEXT - Prior Approval: Larger Home Extension	24/12/2020	09/12/2020	Orla Bermingham	Ela King
20/02239/AOD	1197	223 Reede Road, Dagenham, Barking And Dagenham, RM10 8EH	Condition(s) Fully Discharged	Application for approval of details reserved by Condition 4 (Risk assessment) and Condition 5 (Remediation scheme) in respect of planning permission 18/01090/FUL.	12/11/2020	AOD - Application for approval of details reserved by condition	07/01/2021	01/12/2020	Lauren Carroll	Angela Lopez
20/02240/HSE	1198	56 Third Avenue, Dagenham, Barking And Dagenham, RM10 9BA	Approved	Construction of a first floor rear extension.	12/11/2020	Q21. Householder developments	07/01/2021	15/12/2020	Orla Bermingham	Ela King
20/02241/PRIADB	1199	1 - 11 Princess Parade, Dagenham, RM10 9LS	Prior Approval Refused	Prior notification application for the construction of new dwellings on terraced buildings in use as commercial or mixed use. The proposed development involves the construction of two additional storeys on top of the terraced buildings to create 44 new units.	12/11/2020	PRIADB - Class AB - new dwellings on terrace buildings in commercial or mixed use	07/01/2021	15/12/2020	Kathryn McAllister	Ela King
20/02242/HSE	1200	91 Burnside Road, Dagenham, Barking And Dagenham, RM8 1YD	Approved	Construction of a front porch.	12/11/2020	Q21. Householder developments	07/01/2021	15/12/2020	Harry Moorhouse	Ela King
20/02244/CLUP	1201	1 Yew Tree Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 6TH	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a hip-to-gable roof extension to accommodate a rear dormer extension including three roof lights to the front and a Juliette balcony to facilitate conversion of roof space into habitable accommodation and demolition of chimney.	13/11/2020	CLUP - Lawful development: Proposed use	08/01/2021	23/11/2020	Harry Moorhouse	Ela King

20/02246/HSE	1202	18 Verney Gardens, Dagenham, Barking And Dagenham, RM9 5LR	Refused	Construction of part first floor side and rear extension with a front porch and demolition of existing side extension	13/11/2020	Q21. Householder developments	08/01/2021	15/12/2020	Cari Jones	Angela Lopez
20/02248/PRIEXT	1203	39 Crossway, Dagenham, Barking And Dagenham, RM8 2SH	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 2.95 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.95 metres.	30/10/2020	PRIEXT - Prior Approval: Larger Home Extension	11/12/2020	24/11/2020	Lauren Carroll	Ela King
20/02249/FULL	1204	121 Cornwallis Road, Dagenham, Barking And Dagenham, RM9 5LJ	Refused	Construction of a new two storey 2x bedroom dwellinghouse to end of existing terrace including new crossover.	24/11/2020	Q13. MINOR Dwellings	19/01/2021	19/01/2021	Harry Moorhouse	Ela King
20/02250/HSE	1205	1 Shortcrofts Road, Dagenham, Barking And Dagenham, RM9 5PP	Refused	Construction of a single storey rear extension (retrospective).	17/11/2020	Q21. Householder developments	12/01/2021	15/12/2020	Harry Moorhouse	Ela King
20/02251/CLUP	1206	192 Stamford Road, Dagenham, Barking And Dagenham, RM9 4ER	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a hip-to-gable roof extension to accommodate a rear dormer extension including one roof light to the front to facilitate conversion of roof space into habitable accommodation.	15/11/2020	CLUP - Lawful development: Proposed use	10/01/2021	30/11/2020	Cari Jones	Ela King
20/02252/CLUP	1207	185 Westrow Drive, Barking, Barking And Dagenham, IG11 9BS	Not Lawful (Certificate)	Application for a lawful development certificate (proposed) for : Change of use of a single dwelling house to a house in multiple occupation.	16/11/2020	CLUP - Lawful development: Proposed use	11/01/2021	15/12/2020	Cari Jones	Angela Lopez
20/02253/FULL	1208	164b Campden Crescent, Barking And Dagenham, RM8 2SL	Refused	Construction of first floor side and rear extensions	23/11/2020	Q18. MINOR All other developments	18/01/2021	18/01/2021	Cari Jones	Angela Lopez
20/02254/PRIEXT	1209	9 Hedgemans Road, Dagenham, Barking And Dagenham, RM9 6HA	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension: The proposed extension will extend beyond the rear wall by 5.0m. The maximum height of the proposed extension from the natural ground level is 3.0m. The height at eaves level of the proposed extension measured from the natural ground level is 3.0m	16/11/2020	PRIEXT - Prior Approval: Larger Home Extension	28/12/2020	14/12/2020	Orla Bermingham	Angela Lopez
20/02255/PRIEXT	1210	109 School Road, Dagenham, Barking And Dagenham, RM10 9QD	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.80 metres.	16/11/2020	PRIEXT - Prior Approval: Larger Home Extension	28/12/2020	14/12/2020	Cari Jones	Ela King
20/02256/FULL	1211	36 Neasham Road, Dagenham, Barking And Dagenham, RM8 2LX	Refused	Construction of a two storey dwellinghouse to provide 1x2 bedroom residential unit attached to the existing house, with associated car parking, landscaping, access and demolition of existing garage	14/11/2020	Q13. MINOR Dwellings	09/01/2021	15/12/2020	Kathryn McAllister	Angela Lopez
20/02257/PRIEXT	1212	34 Lancaster Avenue, Barking, Barking And Dagenham, IG11 7RB	Prior Approval Granted	Prior notification application for the construction of a single storey rear extension and installation of a ground floor side window on the existing dwelling. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	16/11/2020	PRIEXT - Prior Approval: Larger Home Extension	28/12/2020	15/12/2020	Harry Moorhouse	Ela King
20/02258/CLUP	1213	57 Waterbeach Road, Dagenham, Barking And Dagenham, RM9 4AA	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a hip-to-gable roof extension to accommodate a rear dormer extension including three roof lights to the front to facilitate conversion of roof space into habitable accommodation.	16/11/2020	CLUP - Lawful development: Proposed use	11/01/2021	24/11/2020	Orla Bermingham	Angela Lopez
20/02259/HSE	1214	104 Lyndhurst Gardens, Barking, Barking And Dagenham, IG11 9XZ	Refused	Construction of a first floor rear infill extension.	16/11/2020	Q21. Householder developments	11/01/2021	15/12/2020	Cari Jones	Ela King
20/02260/FULL	1215	Mccolls Supermarket, 229 - 233 Oxlow Lane, Dagenham, Barking And Dagenham, RM10 7YA	Refused	Construction of single storey rear extension to the building to provide additional A1 retail & storage space and fixed front canopy extension with a new fascia signage.	20/11/2020	Q18. MINOR All other developments	15/01/2021	17/12/2020	Orla Bermingham	Angela Lopez
20/02261/PRIEXT	1216	134 Ivyhouse Road, Dagenham, Barking And Dagenham, RM9 5RU	Prior Approval Granted	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.00 metres. The maximum height of the proposed extension from the natural ground level is 3.20 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	16/11/2020	PRIEXT - Prior Approval: Larger Home Extension	28/12/2020	15/12/2020	Orla Bermingham	Ela King
20/02263/CLUP	1217	29 Mayfair Avenue, Chadwell Heath, Romford, Barking And Dagenham, RM6 6UB	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a hip-to-gable roof extension to accommodate a rear dormer extension including two roof lights to the front and one window to the side to facilitate conversion of roof space into habitable accommodation.	16/11/2020	CLUP - Lawful development: Proposed use	11/01/2021	30/11/2020	Cari Jones	Ela King
20/02264/PRIEXT	1218	20 Robinson Road, Dagenham, Barking And Dagenham, RM10 7SS	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 3.65 metres. The maximum height of the proposed extension from the natural ground level is 3.79 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.59 metres.	17/11/2020	PRIEXT - Prior Approval: Larger Home Extension	29/12/2020	14/12/2020	Orla Bermingham	Ela King
20/02265/PRIFLAT	1219	The Sienna Building, 116-118 Victoria Road, Barking, IG11 8PZ	Prior Approval Refused	Prior notification application for the construction of new dwellinghouses on detached blocks of flats. The proposed development involves the construction of two additional storeys on top of the detached block of flats to create 8 new units.	16/11/2020	PRIFLAT: New Dwellinghouses on detached blocks of flats	11/01/2021	21/12/2020	Kathryn McAllister	Ela King
20/02266/CLUE	1220	91 Burnside Road, Dagenham, Barking And Dagenham, RM8 1YD	Lawful (Certificate)	Application for a lawful development certificate (existing) for the construction of a single storey rear extension.	17/11/2020	CLUE - Lawful development: Existing use	12/01/2021	15/12/2020	Harry Moorhouse	Ela King
20/02267/HSE	1221	6 Pelham Avenue, Barking, Barking And Dagenham, IG11 9SL	Approved	Construction of a two storey rear extension.	17/11/2020	Q21. Householder developments	12/01/2021	15/12/2020	Orla Bermingham	Ela King
20/02268/HSE	1222	4 Mayfield Road, Dagenham, Barking And Dagenham, RM8 1XR	Refused	Construction of a single storey rear extension and part two storey part single storey side extension.	17/11/2020	Q21. Householder developments	12/01/2021	15/12/2020	Cari Jones	Ela King
20/02269/AOD	1223	58 Morley Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6XB	Condition(s) Fully Discharged	Details pursuant to Condition 4 (Boundary Treatment) attached to planning consent 20/01325/FULL dated 15/09/2020.	17/11/2020	AOD - Application for approval of details reserved by condition	12/01/2021	18/12/2020	Kathryn McAllister	Ela King
20/02270/FULL	1224	237 Grafton Road, Dagenham, Barking And Dagenham, RM8 1QP	Refused	Demolition of existing garage and construction of new two storey 1x bedroom dwellinghouse.	17/11/2020	Q13. MINOR Dwellings	12/01/2021	15/12/2020	Lauren Carroll	Ela King
20/02271/FULL	1225	Barking And Dagenham College Of Technology Dagenham Road, Rush Green, Romford, Barking And Dagenham, RM7 0XU	Approved	Construction of new single storey building for staff use, realignment of footpaths, re-cladding of existing estates building and demolition of two existing portacabin buildings.	25/11/2020	Q18. MINOR All other developments	20/01/2021	20/01/2021	Harry Moorhouse	Angela Lopez
20/02272/FULL	1226	149 Alibon Road, Dagenham, Barking And Dagenham, RM10 8DE	Refused	Construction of a new 1x bedroom dwelling house at land rear.	20/11/2020	Q13. MINOR Dwellings	15/01/2021	18/12/2020	Kathryn McAllister	Angela Lopez
20/02273/PRIEXT	1227	29 Dereham Road, Barking, Barking And Dagenham, IG11 9EZ	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 5.00 metres. The maximum height of the proposed extension from the natural ground level is 2.79 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.52 metres.	18/11/2020	PRIEXT - Prior Approval: Larger Home Extension	30/12/2020	14/12/2020	Lauren Carroll	Ela King
20/02274/PRIEXT	1228	9 Whitebarn Lane, Dagenham, Barking And Dagenham, RM10 9LH	Prior Approval Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	18/11/2020	PRIEXT - Prior Approval: Larger Home Extension	30/12/2020	15/12/2020	Cari Jones	Ela King
20/02275/FULL	1229	Stephen Markham Collection, Unit 4, Dominion Works Freshwater Road, Dagenham, Barking And Dagenham, RM8 1RX	Approved	Construction of three storey side extension to the existing building to provide storage and workshop accommodation with roof extension	02/12/2020	Q15. MINOR General industry / storage / warehousing	27/01/2021	26/01/2021	Harry Moorhouse	Angela Lopez
20/02276/CLUP	1230	6 Dereham Road, Barking, Barking And Dagenham, IG11 9HA	Lawful (Certificate)	Application for a lawful development certificate proposed: Construction of a Hip-to-gable roof extension to accommodate a rear Dormer extension including three front rooflights to facilitate conversion of roof space into habitable accommodation	18/11/2020	CLUP - Lawful development: Proposed use	13/01/2021	24/11/2020	Lauren Carroll	Angela Lopez

	20/02277/CLUP	1231	50 Tolworth Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 5TH	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a hip-to-gable roof extension to accommodate a rear dormer extension including three roof lights to the front and two Juliette balconies to facilitate conversion of roof space into habitable accommodation.	18/11/2020	CLUP - Lawful development: Proposed use	13/01/2021	24/11/2020	Orla Bermingham	Ela King
	20/02278/HSE	1232	6 Dereham Road, Barking, Barking And Dagenham, IG11 9HA	Approved	Construction of part single part double storey side and rear extension.	18/11/2020	Q21. Householder developments	13/01/2021	16/12/2020	Lauren Carroll	Angela Lopez
	20/02279/HSE	1233	50 Tolworth Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 5TH	Approved	Construction of an outbuilding for a use incidental to the enjoyment of the dwellinghouse.	18/11/2020	Q21. Householder developments	13/01/2021	15/12/2020	Harry Moorhouse	Angela Lopez
	20/02280/PRIEXT	1234	49 Auriel Avenue, Dagenham, Barking And Dagenham, RM10 8BT	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension with the installation of a roof light and a side window on the existing dwelling. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.80 metres.	19/11/2020	PRIEXT - Prior Approval: Larger Home Extension	31/12/2020	15/12/2020	Harry Moorhouse	Ela King
	20/02281/HSE	1235	66 Bushgrove Road, Dagenham, Barking And Dagenham, RM8 3SJ	Approved	Construction of a part two storey part single storey rear extension including the installation of a roof lantern.	19/11/2020	Q21. Householder developments	14/01/2021	16/12/2020	Harry Moorhouse	Ela King
x	20/02282/NONMATT	1236	217 Padnall Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 5EP	Approved	Non material amendment to planning permission 20/01165/HSE dated 23/07/2020 comprising of change of garage footprint to allow side access to garden.	18/11/2020	NONMAT - Non-material amendment following a grant of planning permission	16/12/2020	01/12/2020	Harry Moorhouse	Ela King
	20/02283/FULL	1237	1 Ben Tillet Close, Barking, Barking And Dagenham, IG11 9NT	Refused	Construction of a new two storey 2x bedroom dwellinghouse on the land adjacent to existing dwellinghouse.	21/11/2020	Q13. MINOR Dwellings	16/01/2021	16/12/2020	Orla Bermingham	Ela King
	20/02284/FULL	1238	Emma Jays Cafe, 242 Bennetts Castle Lane, Dagenham, Barking And Dagenham, RM8 3UU	Refused	Retention of rear enclosure with open sides for Shisha seating area.	20/11/2020	Q18. MINOR All other developments	15/01/2021	17/12/2020	Orla Bermingham	Angela Lopez
	20/02285/FULL	1239	34a Warley Avenue, Dagenham, RM8 1JS	Refused	Construction of rear and side dormer extensions including two roof lights to the front and one window to the side to facilitate conversion of roof space into habitable accommodation.	19/11/2020	Q18. MINOR All other developments	14/01/2021	16/12/2020	Cari Jones	Angela Lopez
	20/02286/FULL	1240	Cherry Tree Public House, Cherry Tree Wood Lane, Dagenham, Barking And Dagenham, RM8 3LJ	Refused	Change of use from B1 to HMO	19/11/2020	Q20. Change of use	14/01/2021	22/12/2020	Harry Moorhouse	Angela Lopez
	20/02287/CLUP	1241	91 Lymington Road, Dagenham, Barking And Dagenham, RM8 1RR	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a hip-to-gable roof extension to accommodate a rear dormer extension including two roof lights to the front, a Juliette balcony and one window to the side to facilitate conversion of roof space into habitable accommodation.	19/11/2020	CLUP - Lawful development: Proposed use	14/01/2021	24/11/2020	Harry Moorhouse	Ela King
	20/02288/PRIEXT	1242	32 Foxlands Road, Dagenham, Barking And Dagenham, RM10 8XU	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension: The proposed extension will extend beyond the rear wall by 6.00m, The maximum height of the proposed extension from the natural ground level is 2.90m, The height at eaves level of the proposed extension measured from the natural ground level is 2.80m	19/11/2020	PRIEXT - Prior Approval: Larger Home Extension	31/12/2020	15/12/2020	Orla Bermingham	Angela Lopez
	20/02289/CLUP	1243	3 Gordon Road, Barking, Barking And Dagenham, IG11 7XQ	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a rear dormer extension to facilitate conversion of roof space into habitable accommodation.	19/11/2020	CLUP - Lawful development: Proposed use	14/01/2021	24/11/2020	Harry Moorhouse	Angela Lopez
	20/02290/HSE	1244	41 Priory Road, Barking, Barking And Dagenham, IG11 9XL	Approved	Basement Conversion to Habitable Area with Front Light Well.	19/11/2020	Q21. Householder developments	14/01/2021	16/12/2020	Cari Jones	Angela Lopez
	20/02291/PRIEXT	1245	66 Bushgrove Road, Dagenham, Barking And Dagenham, RM8 3SJ	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension: The proposed extension will extend beyond the rear wall by 4.5m, The maximum height of the proposed extension from the natural ground level is 3.2m, The height at eaves level of the proposed extension measured from the natural ground level is 3.0m	19/11/2020	PRIEXT - Prior Approval: Larger Home Extension	31/12/2020	14/12/2020	Lauren Carroll	Angela Lopez
	20/02292/PRIEXT	1246	54 Bradfield Drive, Barking, Barking And Dagenham, IG11 9AR	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 5.00 metres. The maximum height of the proposed extension from the natural ground level is 3.60 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.50 metres.	20/11/2020	PRIEXT - Prior Approval: Larger Home Extension	01/01/2021	15/12/2020	Orla Bermingham	Ela King
	20/02293/PRIEXT	1247	12 Cambays Road, Dagenham, Barking And Dagenham, RM10 8YD	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.	20/11/2020	PRIEXT - Prior Approval: Larger Home Extension	01/01/2021	15/12/2020	Cari Jones	Ela King
	20/02294/CLUP	1248	12 Cambays Road, Dagenham, Barking And Dagenham, RM10 8YD	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a rear dormer extension including three roof lights to the front including Juliette balcony to facilitate conversion of roof space into habitable accommodation.	20/11/2020	CLUP - Lawful development: Proposed use	15/01/2021	01/12/2020	Orla Bermingham	Angela Lopez
	20/02295/PRIEXT	1249	10 Saville Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6DT	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension: The proposed extension will extend beyond the rear wall by 6.0m, The maximum height of the proposed extension from the natural ground level is 3.0m, The height at eaves level of the proposed extension measured from the natural ground level is 2.90m	20/11/2020	PRIEXT - Prior Approval: Larger Home Extension	01/01/2021	15/12/2020	Cari Jones	Angela Lopez
	20/02296/FULL	1250	Southwood Primary School, School Site Keppel Road, Dagenham, Barking And Dagenham, RM9 5LT	Approved	Construction of an extension to the nursery building to provide SEN provision and the relocation of an existing outbuilding.	09/12/2020	Q18. MINOR All other developments	03/02/2021	28/01/2021	Orla Bermingham	Ela King
	20/02297/HSE	1251	43 Trefgarne Road, Dagenham, Barking And Dagenham, RM10 7QT	Approved	Construction of a single storey rear extension, front porch and conversion of garage into utility room with the installation of three roof lights.	20/11/2020	Q21. Householder developments	15/01/2021	16/12/2020	Harry Moorhouse	Ela King
	20/02299/PRIEXT	1252	31 Champness Road, Barking, Barking And Dagenham, IG11 9PD	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.30 metres. The maximum height of the proposed extension from the natural ground level is 2.80 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.80 metres.	21/11/2020	PRIEXT - Prior Approval: Larger Home Extension	02/01/2021	17/12/2020	Orla Bermingham	Ela King
	20/02300/CLUP	1253	176 Hunters Hall Road, Dagenham, Barking And Dagenham, RM10 8HU	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of an outbuilding.	21/11/2020	CLUP - Lawful development: Proposed use	16/01/2021	01/12/2020	Orla Bermingham	Ela King
	20/02301/HSE	1254	19 Babington Road, Dagenham, Barking And Dagenham, RM8 2XP	Refused	Demolition of existing side extension and garage and construction of part two storey part single storey side extension, construction of a hip-to-gable roof extension to accommodate a rear dormer extension to facilitate conversion of roof space into habitable accommodation and chimney removal.	22/11/2020	Q21. Householder developments	17/01/2021	16/12/2020	Lauren Carroll	Ela King
	20/02302/HSE	1255	16 Puffin Close, Barking, Barking And Dagenham, IG11 0GT	Approved	Construction of a single storey rear extension.	22/11/2020	Q21. Householder developments	17/01/2021	17/12/2020	Cari Jones	Ela King
	20/02304/FULL	1256	141 Woodward Road, Dagenham, Barking And Dagenham, RM9 4ST	Refused	Construction of a new two storey 1x bedroom dwellinghouse next to existing dwellinghouse.	22/11/2020	Q13. MINOR Dwellings	17/01/2021	17/12/2020	Orla Bermingham	Ela King
	20/02305/AOD	1257	1 Baron Road, Dagenham, Barking And Dagenham, RM8 1UB	Condition(s) Fully Discharged	Details pursuant to Condition 8 (Investigation, Risk Assessment and Remediation) attached to planning consent 20/01127/FULL dated 11/08/2020.	22/11/2020	AOD - Application for approval of details reserved by condition	17/01/2021	25/01/2021	Kathryn McAllister	Ela King
	20/02306/HSE	1258	31 Hepworth Gardens, Barking, Barking And Dagenham, IG11 9BA	Approved	Construction of two part two storey part single storey rear extensions and one meter Front Wall Extension	23/11/2020	Q21. Householder developments	18/01/2021	18/01/2021	Lauren Carroll	Angela Lopez
	20/02307/FULL	1259	16 Lyndhurst Gardens, Barking, Barking And Dagenham, IG11 9YB	Refused	Change of use from dwellinghouse to HMO (retrospective).	06/12/2020	Q20. Change of use	31/01/2021	27/01/2021	Orla Bermingham	Ela King
	20/02308/HSE	1260	43 St Awdryns Road, Barking, Barking And Dagenham, IG11 7QB	Refused	Construction of single storey rear and side infill extension and part demolition of the rear outbuilding.	23/11/2020	Q21. Householder developments	18/01/2021	18/01/2021	Harry Moorhouse	Angela Lopez
	20/02309/PRIEXT	1261	857 Longbridge Road, Dagenham, Barking And Dagenham, RM8 2DA	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension: The proposed extension will extend beyond the rear wall by 6.0m, The maximum height of the proposed extension from the natural ground level is 2.95m, The height at eaves level of the proposed extension measured from the natural ground level is 2.72m	23/11/2020	PRIEXT - Prior Approval: Larger Home Extension	04/01/2021	17/12/2020	Cari Jones	Angela Lopez

20/02310/FULL	1262	167 Bennetts Castle Lane, Dagenham, Barking And Dagenham, RM8 3YJ	Approved	Construction of a new two storey 2x bedroom dwellinghouse next to existing dwellinghouse.	24/11/2020	Q13. MINOR Dwellings	19/01/2021	18/01/2021	Kathryn McAllister	Ela King
20/02311/FULL	1263	Promise Hair And Beauty Salon, 464 Becontree Avenue, Dagenham, Barking And Dagenham, RM8 3UA	Refused	Construction of a new single storey Class E (professional services) unit next to existing building.	09/12/2020	Q16. MINOR Retail and service	03/02/2021	27/01/2021	Lauren Carroll	Ela King
20/02312/PRIEXT	1264	14 East Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6KJ	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 2.80 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.60 metres.	24/11/2020	PRIEXT - Prior Approval: Larger Home Extension	05/01/2021	22/12/2020	Orla Bermingham	Ela King
20/02313/CLUP	1265	78 Farmway, Dagenham, Barking And Dagenham, RM8 2SP	Not Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a hip-to-gable roof extension to accommodate a rear dormer extension including three roof lights to the front and one window to the side to facilitate conversion of roof space into habitable accommodation.	24/11/2020	CLUP - Lawful development: Proposed use	19/01/2021	18/01/2021	Orla Bermingham	Ela King
20/02314/HSE	1266	121 Sterry Road, Dagenham, Barking And Dagenham, RM10 8QA	Refused	Construction of a single storey side and front extension.	25/11/2020	Q21. Householder developments	20/01/2021	19/01/2021	Orla Bermingham	Ela King
20/02315/FULL	1267	Land To Rear Of 127 -133 Becontree Avenue, Dagenham, Barking And Dagenham, RM8 2UL	Approved	Demolition of existing light commercial & storage units, removal of existing hardstanding and erection of new residential development of 8 flats with associated landscaping	24/11/2020	Q13. MINOR Dwellings	19/01/2021	18/01/2021	Grace Liu	Angela Lopez
20/02316/FULL	1268	Ladbroke, 941 Green Lane, Dagenham, Barking And Dagenham, RM8 1DJ	Approved	Change of use from betting shop (Sui Generis) to grocery store (E(a))	23/11/2020	Q20. Change of use	18/01/2021	18/01/2021	Lauren Carroll	Angela Lopez
20/02318/FULL	1269	2a Sandringham Road, Barking, Barking And Dagenham, IG11 9AA	Refused	construction of a part single part two storey rear extension and internal alterations	27/11/2020	Q18. MINOR All other developments	22/01/2021	19/01/2021	Orla Bermingham	Angela Lopez
20/02319/PRIEXT	1270	4 Edward Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6UH	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.	25/11/2020	PRIEXT - Prior Approval: Larger Home Extension	06/01/2021	22/12/2020	Harry Moorhouse	Ela King
20/02320/HSE	1271	563 Gale Street, Dagenham, Barking And Dagenham, RM9 4TS	Refused	Construction of a single storey side extension.	25/11/2020	Q21. Householder developments	20/01/2021	20/01/2021	Harry Moorhouse	Ela King
20/02321/HSE	1272	61 Hedingham Road, Dagenham, Barking And Dagenham, RM8 2NA	Refused	Construction of double side extension with relocation to the side porch to the front of the property.	25/11/2020	Q21. Householder developments	20/01/2021	18/01/2021	Cari Jones	Angela Lopez
20/02322/HSE	1273	64 Beccles Drive, Barking, Barking And Dagenham, IG11 9HY	Approved	Construction of ground floor side and rear extension and first floor part side and part rear extension with a window to the side and demolition of existing garage.	25/11/2020	Q21. Householder developments	20/01/2021	20/01/2021	Harry Moorhouse	Angela Lopez
20/02323/NONMATT	1274	Gascoigne Estate East Kind Edward's Road, Barking, IG11 7TL	Approved	Non material amendment to planning permission 18/00479/REM dated 13-07-2018 comprising of 1. Raising the parapet height of the sports hall by 1.4m and adjustments to North, West, East and South elevations. 2. Omission of the louvre windows on the west and the south elevation.	25/11/2020	NONMAT - Non-material amendment following a grant of planning permission	23/12/2020	14/12/2020	Nasser Farooq	Angela Lopez
20/02324/HSE	1275	2 Haresfield Road, Dagenham, Barking And Dagenham, RM10 8RR	Approved	Construction of a single storey rear extension.	25/11/2020	Q21. Householder developments	20/01/2021	19/01/2021	Orla Bermingham	Ela King
20/02325/HSE	1276	17 Adomar Road, Dagenham, Barking And Dagenham, RM8 3LR	Refused	Construction of part single/part two storey rear and side extension.	14/12/2020	Q21. Householder developments	08/02/2021	27/01/2021	Lauren Carroll	Angela Lopez
20/02326/PRIEXT	1277	110 Beam Avenue, Dagenham, Barking And Dagenham, RM10 9BJ	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension and installation of three roof lights: The proposed extension will extend beyond the rear wall by 6.0m, The maximum height of the proposed extension from the natural ground level is 3.0m, The height at eaves level of the proposed extension measured from the natural ground level is 2.90m	26/11/2020	PRIEXT - Prior Approval: Larger Home Extension	07/01/2021	22/12/2020	Harry Moorhouse	Angela Lopez
20/02327/FULL	1278	131 Beam Avenue, Barking And Dagenham, RM10 9BS	Approved	construction of a two storey residential unit to the side of the end terraced house and new double storey rear extension to the existing dwelling plus canopy at the front and part demolition of the previously added side extension.	30/11/2020	Q13. MINOR Dwellings	25/01/2021	25/01/2021	Orla Bermingham	Angela Lopez
20/02329/PRIEXT	1279	50 Gainsborough Road, Dagenham, Barking And Dagenham, RM8 2DP	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.55 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	26/11/2020	PRIEXT - Prior Approval: Larger Home Extension	07/01/2021	21/12/2020	Cari Jones	Ela King
20/02330/FULL	1280	124 Billet Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 5PS	Approved	Construction of single storey side extension with internal alterations	07/12/2020	Q18. MINOR All other developments	01/02/2021	27/01/2021	Lauren Carroll	Angela Lopez
20/02331/HSE	1281	5 Woodlands Avenue, Chadwell Heath, Romford, Barking And Dagenham, RM6 6EA	Approved	Construction of part first floor rear extension and alterations to ground floor.	27/11/2020	Q21. Householder developments	22/01/2021	19/01/2021	Orla Bermingham	Angela Lopez
20/02332/FULL	1282	Bet Global, 234 Bennetts Castle Lane, Dagenham, Barking And Dagenham, RM8 3XP	Approved	Construction of a single storey rear extension.	01/12/2020	Q16. MINOR Retail and service	26/01/2021	20/01/2021	Orla Bermingham	Ela King
20/02333/AOD	1283	Abbey Sports Centre, Abbey Sports Centre, Barking, Barking And Dagenham, IG11 7LX	Refused	Application for approval of details reserved by condition 34 (Scheme for Highway Works) in respect of planning permission 18/00331/FUL	27/11/2020	AOD - Application for approval of details reserved by condition	22/01/2021	19/01/2021	Cari Jones	Angela Lopez
20/02334/CLUP	1284	158 Valence Circus, Dagenham, Barking And Dagenham, RM8 3LT	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a single storey rear extension.	29/11/2020	CLUP - Lawful development: Proposed use	24/01/2021	17/12/2020	Orla Bermingham	Ela King
20/02335/PRIEXT	1285	105 Stevens Road, Dagenham, Barking And Dagenham, RM8 2PU	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	29/11/2020	PRIEXT - Prior Approval: Larger Home Extension	10/01/2021	18/01/2021	Harry Moorhouse	Ela King
20/02336/PRIEXT	1286	295 Sheppey Road, Dagenham, Barking And Dagenham, RM9 4JU	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.20 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	28/11/2020	PRIEXT - Prior Approval: Larger Home Extension	09/01/2021	18/01/2021	Lauren Carroll	Ela King
20/02337/PRIEXT	1287	83 Holgate Road, Dagenham, Barking And Dagenham, RM10 8NB	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	28/11/2020	PRIEXT - Prior Approval: Larger Home Extension	09/01/2021	18/01/2021	Cari Jones	Ela King
20/02338/PRIEXT	1288	18 Eastbury Avenue, Barking, Barking And Dagenham, IG11 7QU	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension and installation of 1 roof light. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	27/11/2020	PRIEXT - Prior Approval: Larger Home Extension	08/01/2021	22/12/2020	Harry Moorhouse	Ela King
20/02339/HSE	1289	1a Baden Powell Close, Dagenham, Barking And Dagenham, RM9 6XN	Approved	Construction of two storey side extension.	30/11/2020	Q21. Householder developments	25/01/2021	20/01/2021	Kathryn McAllister	Angela Lopez
20/02340/HSE	1290	25 Greenwood Avenue, Dagenham, Barking And Dagenham, RM10 7DL	Approved	Demolition of existing conservatory and construction of a single storey rear extension including floor plan redesign.	27/11/2020	Q21. Householder developments	22/01/2021	18/01/2021	Lauren Carroll	Ela King
20/02341/CLUP	1291	367 Valence Avenue, Dagenham, Barking And Dagenham, RM8 3RB	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of single storey rear extension.	30/11/2020	CLUP - Lawful development: Proposed use	25/01/2021	15/12/2020	Cari Jones	Angela Lopez
20/02342/PRICOM	1292	Parsloes Park Sw, Highways Land Off Parsloes Ave, Adjacent Parsloes Park, London, RM9 5QB	Prior Approval Refused	Application for prior approval telecommunications: - The installation of a 20m monopole accommodating 6no. antennas, the installation of 2no. equipment cabinets, along with ancillary works.	27/11/2020	PRICOM - Prior Approval: Development for electronic communications network	22/01/2021	21/01/2021	Harry Moorhouse	Angela Lopez
20/02344/PRIEXT	1293	20 Thorpe Road, Barking, Barking And Dagenham, IG11 9XJ	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension and installation of three roof lights. The proposed extension will extend beyond the rear wall by 3.87 metres. The maximum height of the proposed extension from the natural ground level is 3.55 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.80 metres.	30/11/2020	PRIEXT - Prior Approval: Larger Home Extension	11/01/2021	22/12/2020	Harry Moorhouse	Ela King

20/02345/PRIEXT	1294	19 Havering Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 5BH	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	30/11/2020	PRIEXT - Prior Approval: Larger Home Extension	11/01/2021	18/01/2021	Orla Bermingham	Ela King
20/02346/PRIEXT	1295	62 Lichfield Road, Dagenham, Barking And Dagenham, RM8 2AX	Prior Approval Granted	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 2.90 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.70 metres.	30/11/2020	PRIEXT - Prior Approval: Larger Home Extension	11/01/2021	18/01/2021	Lauren Carroll	Ela King
20/02347/HSE	1296	96 Westrow Drive, Barking, Barking And Dagenham, IG11 9BN	Approved	Construction of first floor side extension and part two storey rear extension with conversion of the garage to provide habitable accommodation.	30/11/2020	Q21. Householder developments	25/01/2021	25/01/2021	Cari Jones	Angela Lopez
20/02348/CLUP	1297	21 Neasham Road, Dagenham, Barking And Dagenham, RM8 2LU	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a hip-to-gable roof extension to accommodate a rear dormer extension including three roof lights to the front to facilitate conversion of roof space into habitable accommodation.	30/11/2020	CLUP - Lawful development: Proposed use	25/01/2021	15/12/2020	Harry Moorhouse	Angela Lopez
20/02349/HSE	1298	21 Neasham Road, Dagenham, Barking And Dagenham, RM8 2LU	Approved	Construction of ground floor front extension	30/11/2020	Q21. Householder developments	25/01/2021	22/01/2021	Harry Moorhouse	Angela Lopez
20/02350/PRIEXT	1299	16 Norfolk Road, Barking, Barking And Dagenham, IG11 7QR	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 5.00 metres. The maximum height of the proposed extension from the natural ground level is 3.20 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.80 metres.	30/11/2020	PRIEXT - Prior Approval: Larger Home Extension	11/01/2021	18/01/2021	Cari Jones	Ela King
20/02351/PRIEXT	1300	57 Sheringham Drive, Barking, Barking And Dagenham, IG11 9AL	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.30 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.	30/11/2020	PRIEXT - Prior Approval: Larger Home Extension	11/01/2021	18/01/2021	Lauren Carroll	Ela King
20/02352/AOD	1301	Stolthaven Terminal Hindmans Way, Dagenham, Barking And Dagenham,	Condition(s) Fully Discharged	Details pursuant to Condition 8 (Verification Report) and Condition 9 (Contamination) attached to planning consent 18/00781/FUL dated 21/08/2018.	01/12/2020	AOD - Application for approval of details reserved by condition	26/01/2021	20/01/2021	Nasser Farooq	Ela King
20/02353/PRIEXT	1302	10 Holgate Road, Dagenham, Barking And Dagenham, RM10 8LX	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 5.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	01/12/2020	PRIEXT - Prior Approval: Larger Home Extension	12/01/2021	18/01/2021	Orla Bermingham	Ela King
20/02354/CLUP	1303	90 Saville Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6DT	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a single storey side extension.	01/12/2020	CLUP - Lawful development: Proposed use	26/01/2021	07/12/2020	Cari Jones	Ela King
20/02355/PRIEXT	1304	90 Saville Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6DT	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 4.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.	01/12/2020	PRIEXT - Prior Approval: Larger Home Extension	12/01/2021	18/01/2021	Cari Jones	Ela King
20/02356/CLUP	1305	Post Centre, 36 - 38 Station Parade, Barking, Barking And Dagenham, IG11 8DR	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the Change of use from A1 to A2 (conversion of basement into offices)	01/12/2020	CLUP - Lawful development: Proposed use	26/01/2021	26/01/2021	Cari Jones	Angela Lopez
20/02357/HSE	1306	50 Tolworth Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 5TH	Approved	Construction of front dormer extension including two front roof lights.	01/12/2020	Q21. Householder developments	26/01/2021	19/01/2021	Lauren Carroll	Angela Lopez
20/02358/AOD	1307	Land Between Whiting Avenue And, Barking, Barking And Dagenham,	Condition(s) Fully Discharged	Details pursuant to Condition 3 (Verification Report) attached to planning consent 17/00698/FUL dated 20/12/2017.	02/12/2020	AOD - Application for approval of details reserved by condition	27/01/2021	14/12/2020	Olivia St-Amour	Ela King
20/02359/CLUP	1308	77 Woodbridge Road, Barking, Barking And Dagenham, IG11 9E5	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a hip-to-gable roof extension to accommodate a rear dormer extension including three roof lights to the front to facilitate conversion of roof space into habitable accommodation.	02/12/2020	CLUP - Lawful development: Proposed use	27/01/2021	13/12/2020	Lauren Carroll	Angela Lopez
20/02360/PRIEXT	1309	47 Bastable Avenue, Barking, Barking And Dagenham, IG11 0NG	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension including the installation of 4 roof lights and part demolition of the existing utility room. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	02/12/2020	PRIEXT - Prior Approval: Larger Home Extension	13/01/2021	18/01/2021	Harry Moorhouse	Ela King
20/02361/COM	1310	New Pole In The Vicinity Of 12 Thames Road, Barking, IG11 0HZ	Lawful (Certificate)	Proposed installation of a 10 metre pole.	02/12/2020	COM - Telecommunications notification	23/12/2020	09/12/2020	Harry Moorhouse	Ela King
20/02362/HSE	1311	62 Beccles Drive, Barking, Barking And Dagenham, IG11 9HY	Refused	Construction of first floor side and rear extension with pitched roof, ground floor rear infill extension with flat roof and some internal alteration.	02/12/2020	Q21. Householder developments	27/01/2021	26/01/2021	Orla Bermingham	Angela Lopez
20/02363/NONMATT	1312	Sacred Heart Convent, 191 Goresbrook Road, Dagenham, Barking And Dagenham, RM9 6XD	Approved	Non material amendment to planning permission 20/00182/FUL dated 07/04/2020 comprising of relocation of bin store and to provide an energy centre.	02/12/2020	NONMAT - Non-material amendment following a grant of planning permission	30/12/2020	17/12/2020	Nathaniel Soneye-Thomas	Ela King
20/02364/PRIEXT	1313	15 Fieldway, Dagenham, Barking And Dagenham, RM8 2BH	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.94 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.	02/12/2020	PRIEXT - Prior Approval: Larger Home Extension	13/01/2021	18/01/2021	Lauren Carroll	Ela King
20/02365/PRIEXT	1314	156 Sheppey Road, Dagenham, Barking And Dagenham, RM9 4LA	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension: The proposed extension will extend beyond the rear wall by 5.0m, The maximum height of the proposed extension from the natural ground level is 2.8m, The height at eaves level of the proposed extension measured from the natural ground level is 3.0m	01/12/2020	PRIEXT - Prior Approval: Larger Home Extension	12/01/2021	18/01/2021	Lauren Carroll	Angela Lopez
20/02366/CLUP	1315	66 Adelaide Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 6SU	Not Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of an outbuilding.	02/12/2020	CLUP - Lawful development: Proposed use	27/01/2021	09/12/2020	Harry Moorhouse	Ela King
20/02367/PRIEXT	1316	66 Adelaide Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 6SU	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 5.00 metres. The maximum height of the proposed extension from the natural ground level is 2.89 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.67 metres.	02/12/2020	PRIEXT - Prior Approval: Larger Home Extension	13/01/2021	18/01/2021	Harry Moorhouse	Ela King
20/02368/ADVERT	1317	Ship And Shovel, Ship And Shovel Ripple Road, Barking, Barking And Dagenham, IG11 0SN	Refused	Installation of a billboard advertisement	02/12/2020	ADVERT - Consent to display an advertisement(s)	27/01/2021	27/01/2021	Cari Jones	Angela Lopez
20/02369/FULL	1318	20 Brockdish Avenue, Barking, Barking And Dagenham, IG11 9DS	Refused	Demolition of detached garages and construction of a single storey 1x bedroom dwelling.	15/12/2020	Q13. MINOR Dwellings	09/02/2021	29/01/2021	Lauren Carroll	Ela King
20/02371/PRIEXT	1319	5 Campden Crescent, Dagenham, Barking And Dagenham, RM8 2RR	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	03/12/2020	PRIEXT - Prior Approval: Larger Home Extension	14/01/2021	18/01/2021	Orla Bermingham	Ela King
20/02372/PRICOM	1320	Reede Road, Dagenham, RM9 5EB	Prior Approval Granted	Application for prior approval telecommunications: installation of Proposed 2x Bay Cabinet mounted on existing steel grillage; proposed 1x Omni antenna at 23.6m; proposed 3x Omni antenna at 21.6m; proposed 1x GPS antenna at 21.6m and associated ancillary works.	03/12/2020	PRICOM - Prior Approval: Development for electronic communications network	28/01/2021	27/01/2021	Harry Moorhouse	Angela Lopez

20/02373/PRIEXT	1321	12 Cornshaw Road, Dagenham, Barking And Dagenham, RM8 1SS	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.15 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	03/12/2020	PRIEXT - Prior Approval: Larger Home Extension	14/01/2021	18/01/2021	Cari Jones	Ela King
20/02374/PRIEXT	1322	37 Victoria Road, Barking, Barking And Dagenham, IG11 8PY	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 5.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	03/12/2020	PRIEXT - Prior Approval: Larger Home Extension	14/01/2021	18/01/2021	Lauren Carroll	Ela King
20/02375/TPO	1323	26 Cavendish Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 6SA	Approved	Application for tree works subject to a tree preservation order: Removal of Oak tree to ground level.	04/12/2020	TPO - Works to trees subject to a tree preservation order	29/01/2021	20/01/2021	Grace Liu	Ela King
20/02376/PRIEXT	1324	82 Markyate Road, Dagenham, Barking And Dagenham, RM8 2LD	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.15 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.95 metres.	04/12/2020	PRIEXT - Prior Approval: Larger Home Extension	15/01/2021	18/01/2021	Orla Bermingham	Ela King
20/02378/PRIEXT	1325	52 Ingleby Road, Dagenham, Barking And Dagenham, RM10 8SA	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension: The proposed extension will extend beyond the rear wall by 6.0m. The maximum height of the proposed extension from the natural ground level is 3.0m. The height at eaves level of the proposed extension measured from the natural ground level is 2.80m	03/12/2020	PRIEXT - Prior Approval: Larger Home Extension	14/01/2021	18/01/2021	Cari Jones	Angela Lopez
20/02379/PRIEXT	1326	33 Westrow Drive, Barking, Barking And Dagenham, IG11 9BL	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 5.00 metres. The maximum height of the proposed extension from the natural ground level is 3.02 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.95 metres.	04/12/2020	PRIEXT - Prior Approval: Larger Home Extension	15/01/2021	18/01/2021	Cari Jones	Ela King
20/02380/HSE	1327	33 Westrow Drive, Barking, Barking And Dagenham, IG11 9BL	Approved	Construction of a part two storey part single storey rear extension and replacement of Juliette balcony with a window	04/12/2020	Q21. Householder developments	29/01/2021	20/01/2021	Cari Jones	Ela King
20/02381/HSE	1328	53 Clemence Road, Dagenham, Barking And Dagenham, RM10 9YQ	Approved	Relocation of boundary fence (retrospective) and construction of a single storey rear extension.	04/12/2020	Q21. Householder developments	29/01/2021	26/01/2021	Orla Bermingham	Ela King
20/02384/NONMATT	1329	Land Rear Of, 75 - 77 Wivenhoe Road, Barking, Barking And Dagenham ,	Approved	Application for non-material amendment following grant of planning permission 18/00650/FUL, amendment drawing site plan 18231_P101 to a new plan 18231_P101_A. A sprinkler system is required for the development, intake cupboard relocated following omission of substation formerly on the site.	04/12/2020	NONMAT - Non-material amendment following a grant of planning permission	01/01/2021	18/12/2020	Kathryn McAllister	Angela Lopez
20/02385/HSE	1330	171 Heathway, Dagenham, Barking And Dagenham, RM9 6AF	Refused	Construction of single storey front, side and rear extensions.	07/12/2020	Q21. Householder developments	01/02/2021	27/01/2021	Harry Moorhouse	Ela King
20/02386/PRIEXT	1331	43 Pondfield Road, Dagenham, Barking And Dagenham, RM10 8HH	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension and installation of three roof lights. The proposed extension will extend beyond the rear wall by 4.50 metres. The maximum height of the proposed extension from the natural ground level is 3.30 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.25 metres.	05/12/2020	PRIEXT - Prior Approval: Larger Home Extension	16/01/2021	18/01/2021	Harry Moorhouse	Ela King
20/02387/COM	1332	Peveril And Laburnham House, Stour Road, Dagenham, RM10 7HY	Lawful (Certificate)	Proposed removal and replacement of 3No. Existing antennas with 3No. Upgraded antennas affixed to existing support poles on the rooftop, the installation of 1No. GPS unit located on top of an antenna support pole and ancillary development thereto.	06/12/2020	COM - Telecommunications notification	27/12/2020	09/12/2020	Harry Moorhouse	Ela King
20/02388/PRIEXT	1333	173 Blackborne Road, Dagenham, Barking And Dagenham, RM10 8SL	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.80 metres.	06/12/2020	PRIEXT - Prior Approval: Larger Home Extension	17/01/2021	18/01/2021	Lauren Carroll	Ela King
20/02389/HSE	1334	19 Atlantis Close, Barking, Barking And Dagenham, IG11 0GH	Refused	Construction of a rear dormer extension including one roof light to the front and two roof lights to the side and construction of single storey rear and part side extension.	04/12/2020	Q21. Householder developments	29/01/2021	27/01/2021	Cari Jones	Angela Lopez
20/02390/PRIEXT	1335	123 Maybury Road, Barking, Barking And Dagenham, IG11 0PG	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension: The proposed extension will extend beyond the rear wall by 3.650m. The maximum height of the proposed extension from the natural ground level is 4.0m. The height at eaves level of the proposed extension measured from the natural ground level is 3.0m	05/12/2020	PRIEXT - Prior Approval: Larger Home Extension	16/01/2021	18/01/2021	Orla Bermingham	Angela Lopez
20/02391/SCREEN	1336	Gsr Self Storage, Chequers Lane, Barking, RM9 6FB	Screening Issued	Screening Opinion Request: Proposed redevelopment of the site to deliver a residential mixed use scheme, with accompanying commercial uses at ground/lower floor levels.	07/12/2020	SCREEN - EIA Screening Opinion	28/12/2020	15/12/2020	Grace Liu	Ela King
20/02393/CLUE	1337	Rose Lane Primary School, Rose Lane, Chadwell Heath, Romford, RM6 5NJ	Lawful (Certificate)	Application for a lawful development certificate (existing) for the installation of play equipment.	07/12/2020	CLUE - Lawful development: Existing use	01/02/2021	14/12/2020	Grace Liu	Ela King
20/02394/PRIADB	1338	93 - 99 New Road, Dagenham, RM10 9NL	Prior Approval Refused	Prior notification application for the construction of new dwellinghouses on terrace buildings in use as commercial or mixed use. The proposed development involves the construction of two additional storeys on top of the terrace buildings to create 7 new units.	07/12/2020	PRIADB - Class AB - new dwellinghouses on terrace buildings in commercial or mixed use	01/02/2021	27/01/2021	Kathryn McAllister	Ela King
20/02396/CLUP	1339	225 Rose Lane, Chadwell Heath, Romford, Barking And Dagenham, RM6 5NH	Not Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of an outbuilding.	07/12/2020	CLUP - Lawful development: Proposed use	01/02/2021	27/01/2021	Cari Jones	Ela King
20/02397/PRIEXT	1340	225 Rose Lane, Chadwell Heath, Romford, Barking And Dagenham, RM6 5NH	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	07/12/2020	PRIEXT - Prior Approval: Larger Home Extension	18/01/2021	18/01/2021	Cari Jones	Ela King
20/02398/HSE	1341	29 Clemence Road, Dagenham, Barking And Dagenham, RM10 9YN	Approved	Construction of a single storey rear extension and front porch and conversion of garage into habitable accommodation.	08/12/2020	Q21. Householder developments	02/02/2021	27/01/2021	Orla Bermingham	Ela King
20/02401/PRIEXT	1342	1 Felhurst Crescent, Dagenham, Barking And Dagenham, RM10 7XT	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension: The proposed extension will extend beyond the rear wall by 5.9m. The maximum height of the proposed extension from the natural ground level is 3.0m. The height at eaves level of the proposed extension measured from the natural ground level is 3.0m	08/12/2020	PRIEXT - Prior Approval: Larger Home Extension	19/01/2021	18/01/2021	Cari Jones	Angela Lopez
20/02402/CLUP	1343	23 Southwold Drive, Barking, Barking And Dagenham, IG11 9AT	Not Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a rear side dormer window including two rooflight to the front and a rooflight to the side and a Juliette balcony to facilitate conversion of roof space into habitable accommodation.	07/12/2020	CLUP - Lawful development: Proposed use	01/02/2021	14/12/2020	Orla Bermingham	Angela Lopez
20/02403/PRIEXT	1344	3 Southwold Drive, Barking, Barking And Dagenham, IG11 9AT	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.00 metres. The maximum height of the proposed extension from the natural ground level is 3.58 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.70 metres.	08/12/2020	PRIEXT - Prior Approval: Larger Home Extension	19/01/2021	18/01/2021	Orla Bermingham	Ela King
20/02404/HSE	1345	35 Pemberton Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 6SJ	Approved	Construction of an outbuilding for a use incidental to the enjoyment of the dwellinghouse	08/12/2020	Q21. Householder developments	02/02/2021	28/01/2021	Harry Moorhouse	Angela Lopez
20/02405/HSE	1346	20 Jasmine Road, Rush Green, Romford, Barking And Dagenham, RM7 0WZ	Approved	Construction of a single storey rear extension	08/12/2020	Q21. Householder developments	02/02/2021	29/01/2021	Harry Moorhouse	Ela King
20/02409/HSE	1347	38 Glenmore Way, Barking, Barking And Dagenham, IG11 0LY	Approved	Erection of a front extension and single storey rear extension.	07/12/2020	Q21. Householder developments	01/02/2021	27/01/2021	Cari Jones	Ela King

	20/02410/CLUP	1348	31 Champness Road, Barking, Barking And Dagenham, IG11 9PD	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the conversion of the garage including alterations to the front elevation to provide a habitable room.	08/12/2020	CLUP - Lawful development: Proposed use	02/02/2021	27/01/2021	Orla Bermingham	Ela King
	20/02412/CLUP	1349	55 Sheringham Drive, Barking, Barking And Dagenham, IG11 9AL	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a hip-to-gable roof extension to accommodate a rear dormer extension including two roof lights to the front and a Juliette balcony to facilitate conversion of roof space into habitable accommodation.	12/12/2020	CLUP - Lawful development: Proposed use	06/02/2021	29/01/2021	Cari Jones	Ela King
	20/02413/HSE	1350	23 Southwold Drive, Barking, Barking And Dagenham, IG11 9AT	Refused	Construction of a Hip to gable roof extension to accommodate a rear dormer extension including two rooflights to the front, one rooflight to both sides and a balcony to the rear to facilitate conversion of roof space into habitable accommodation	08/12/2020	Q21. Householder developments	02/02/2021	28/01/2021	Orla Bermingham	Angela Lopez
	20/02416/HSE	1351	6 Upney Lane, Barking, Barking And Dagenham, IG11 9LW	Approved	Construction of an outbuilding for a use incidental to the enjoyment of the dwellinghouse	09/12/2020	Q21. Householder developments	03/02/2021	28/01/2021	Harry Moorhouse	Angela Lopez
	20/02417/NONMATT	1352	Gascoigne Estate West Abbey Road, Barking, Barking And Dagenham,	Approved	Application for non material amendment to planning permission 19/01321/REM dated 31/12/2019 comprising of substituting drawings listed in condition 1 which requires the development to be carried out in accordance with the approved drawings. The proposed changes arise in relation to the district heating provision	09/12/2020	NONMAT - Non-material amendment following a grant of planning permission	06/01/2021	17/12/2020	Nasser Farooq	Angela Lopez
	20/02418/NONMATT	1353	Barking Riverside Area Renwick Road, Barking, Barking And Dagenham,	Approved	Non material amendment to planning permission 18/02227/REM dated 13/03/2019 comprising of amendments to the approved elevations for the blocks and townhouses facing the streets; amendments to the approved internal courtyard elevations; adjustment of external walkways to protect users from smoke inhalation; amendments to precast concrete panels around the scheme, replaced by textured render finish; and removal of brick soffit lintels.	08/12/2020	NONMAT - Non-material amendment following a grant of planning permission	05/01/2021	15/12/2020	Nasser Farooq	Ela King
	20/02419/FULL	1354	Ropeworks, 1 Arboretum Place, Barking, IG11 7GS	Approved	The removal of the existing Tresspa Meteor High Pressure Laminate and Kingspan K15 insulation and replacement with rainscreen cladding and non-combustible thermal insulation	01/12/2020	Q18. MINOR All other developments	26/01/2021	26/01/2021	Nasser Farooq	Angela Lopez
	20/02420/CLUP	1355	81 Rose Lane, Chadwell Heath, Romford, Barking And Dagenham, RM6 5JT	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a hip-to-gable roof extension to accommodate a rear dormer extension including three roof lights to the front to facilitate conversion of roof space into habitable accommodation.	10/12/2020	CLUP - Lawful development: Proposed use	04/02/2021	28/01/2021	Harry Moorhouse	Ela King
	20/02421/PRIEXT	1356	52 Clare Gardens, Barking, Barking And Dagenham, IG11 9JH	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension and installation of three roof lights. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 2.95 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.95 metres.	09/12/2020	PRIEXT - Prior Approval: Larger Home Extension	20/01/2021	20/01/2021	Harry Moorhouse	Ela King
	20/02423/HSE	1357	9 Cedar Avenue, Chadwell Heath, Romford, Barking And Dagenham, RM6 6ST	Approved	CONSTRUCTION OF A SINGLE STOREY SIDE EXTENSION WITH PITCHED ROOF.	14/12/2020	Q21. Householder developments	08/02/2021	28/01/2021	Cari Jones	Angela Lopez
	20/02424/FULL	1358	149 Alibon Road, Dagenham, Barking And Dagenham, RM10 8DE	Approved	Demolition of existing garage and construction of a two storey 2x bedroom dwellinghouse, including changes to the roof geometry of existing dwelling and associated landscaping works	21/12/2020	Q13. MINOR Dwellings	15/02/2021	29/01/2021	Kathryn McAllister	Ela King
	20/02426/CLUP	1359	66 Adelaide Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 6SU	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of an outbuilding	10/12/2020	CLUP - Lawful development: Proposed use	04/02/2021	28/01/2021	Harry Moorhouse	Ela King
	20/02427/CLUP	1360	659 Heathway, Dagenham, Barking And Dagenham, RM9 5TA	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a rear dormer extension including one roof light to the front to facilitate conversion of roof space into habitable accommodation.	10/12/2020	CLUP - Lawful development: Proposed use	04/02/2021	12/12/2020	Lauren Carroll	Ela King
	20/02428/CLUP	1361	17 Lodge Avenue, Dagenham, Barking And Dagenham, RM8 2JA	Not Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a single storey rear extension.	10/12/2020	CLUP - Lawful development: Proposed use	04/02/2021	28/01/2021	Cari Jones	Angela Lopez
	20/02429/CLUP	1362	32 Roxwell Road, Barking, Barking And Dagenham, IG11 0PT	Not Lawful (Certificate)	Application for a lawful development certificate (proposed) for the Change of use from C3(a) to C3(b)	10/12/2020	CLUP - Lawful development: Proposed use	04/02/2021	29/01/2021	Kathryn McAllister	Angela Lopez
	20/02430/PRIEXT	1363	14 Arden Crescent, Dagenham, Barking And Dagenham, RM9 6TL	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension and installation of a roof lantern. The proposed extension will extend beyond the rear wall by 6.0m. The maximum height of the proposed extension from the natural ground level is 2.8m. The height at eaves level of the proposed extension measured from the natural ground level is 3.0m.	10/12/2020	PRIEXT - Prior Approval: Larger Home Extension	21/01/2021	20/01/2021	Harry Moorhouse	Angela Lopez
	20/02432/HSE	1364	56 Cavendish Gardens, Barking, Barking And Dagenham, IG11 9DX	Refused	Construction of first floor rear extension.	10/12/2020	Q21. Householder developments	04/02/2021	28/01/2021	Orla Bermingham	Angela Lopez
	20/02433/PRIRET	1365	Churchills Of London Tattoos, 1a Station Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 4BE	Prior Approval Granted	Change of use from shop to restaurant with new extract to rear. Replacing front window with new structural glazed doors, one door to corner with window and new signage to front and side	10/12/2020	PRIRET - Prior Approval: Change of use - retail to restaurant/cafe	04/02/2021	27/01/2021	Lauren Carroll	Angela Lopez
	20/02434/PRIEXT	1366	1002 Green Lane, Dagenham, Barking And Dagenham, RM8 1BT	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 4.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	11/12/2020	PRIEXT - Prior Approval: Larger Home Extension	22/01/2021	18/01/2021	Lauren Carroll	Ela King
	20/02436/FULL	1367	100 Beccles Drive, Barking, Barking And Dagenham, IG11 9HZ	Refused	Conversion of existing dwellinghouse into a 1x3 Bedroom dwellinghouse and a 1x2 bedroom dwellinghouse including construction of a first floor rear extension.	11/12/2020	Q13. MINOR Dwellings	05/02/2021	29/01/2021	Kathryn McAllister	Ela King
	20/02438/HSE	1368	34 Hedgemans Road, Dagenham, Barking And Dagenham, RM9 6HA	Approved	Construction of two storey side extension and part two storey part single storey rear extension	11/12/2020	Q21. Householder developments	05/02/2021	28/01/2021	Cari Jones	Angela Lopez
	20/02440/PRIEXT	1369	53 Nicholas Road, Dagenham, Barking And Dagenham, RM8 3ED	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.50 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.	11/12/2020	PRIEXT - Prior Approval: Larger Home Extension	22/01/2021	18/01/2021	Lauren Carroll	Ela King
	20/02441/PRIEXT	1370	73 Wivenhoe Road, Barking, Barking And Dagenham, IG11 0RE	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	11/12/2020	PRIEXT - Prior Approval: Larger Home Extension	22/01/2021	18/01/2021	Lauren Carroll	Ela King
	20/02442/HSE	1371	8 Morgan Crescent, Dagenham, Barking And Dagenham, RM8 1ER	Approved	Construction of a single storey rear extension.	12/12/2020	Q21. Householder developments	06/02/2021	28/01/2021	Cari Jones	Ela King
	20/02443/HSE	1372	50 Tolworth Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 5TH	Approved	Construction of a single storey side and rear extension including conversion of garage to provide habitable accommodation.	14/12/2020	Q21. Householder developments	08/02/2021	29/01/2021	Lauren Carroll	Ela King
	20/02444/HSE	1373	67 Grosvenor Road, Dagenham, Barking And Dagenham, RM8 1NJ	Approved	Construction of an outbuilding with part demolition of the existing garage and store for a use incidental to the enjoyment of the dwellinghouse and home office.	14/12/2020	Q21. Householder developments	08/02/2021	27/01/2021	Lauren Carroll	Angela Lopez
	20/02449/CLUP	1374	39 Fordyke Road, Dagenham, Barking And Dagenham, RM8 1PH	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a hip-to-gable roof extension to accommodate a rear dormer extension including two roof lights to the front and a Juliette balcony to facilitate conversion of roof space into habitable accommodation.	14/12/2020	CLUP - Lawful development: Proposed use	08/02/2021	29/01/2021	Lauren Carroll	Ela King
x	20/02453/FULL	1375	70 Stamford Road, Barking And Dagenham, RM10 4EX	Approved	Construction of a single storey rear extension with internal alterations in an existing ground floor flat.	16/12/2020	Q18. MINOR All other developments	10/02/2021	28/01/2021	Orla Bermingham	Angela Lopez

20/02454/COM	1376	North Valence, Valence Avenue, Becontree, Dagenham, RM8 1TS	Lawful (Certificate)	Proposed removal and replacement of 3No. Existing antennas with 3No. Upgraded antennas affixed to the monopole, the removal and replacement of 1No. Existing GPS unit with 1No. Upgraded GPS unit affixed to the monopole, the removal and replacement of 1No. BTS3900A cabinet (1900 x 600 x 600mm) and 1No. Wiltshire cabinet (1650 x 2000 x 755mm) with 1No. RBS 6130 cabinet (950 x 650 x 700mm) and 1No. Wiltshire cabinet (1650 x 2000 x 755mm) and ancillary development thereto.	15/12/2020	COM - Telecommunications notification	05/01/2021	18/12/2020	Harry Moorhouse	Ela King
20/02455/PRIEXT	1377	29 Mayfair Avenue, Chadwell Heath, Romford, Barking And Dagenham, RM6 6UB	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 5.00 metres. The maximum height of the proposed extension from the natural ground level is 2.77 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.77 metres.	15/12/2020	PRIEXT - Prior Approval: Larger Home Extension	26/01/2021	20/01/2021	Cari Jones	Ela King
20/02456/HSE	1378	44 Orchard Road, Dagenham, Barking And Dagenham, RM10 9PX	Approved	Construction of two storey rear extension.	15/12/2020	Q21. Householder developments	09/02/2021	27/01/2021	Lauren Carroll	Angela Lopez
20/02457/PRIEXT	1379	44 Orchard Road, Dagenham, Barking And Dagenham, RM10 9PX	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension: The proposed extension will extend beyond the rear wall by 6.0m. The maximum height of the proposed extension from the natural ground level is 3.20m. The height at eaves level of the proposed extension measured from the natural ground level is 3.0m	15/12/2020	PRIEXT - Prior Approval: Larger Home Extension	26/01/2021	19/01/2021	Lauren Carroll	Angela Lopez
20/02460/HSE	1380	25 Beccles Drive, Barking, Barking And Dagenham, IG11 9HX	Approved	Construction of a rear dormer extension including three roof lights to the front to facilitate conversion of roof space into habitable accommodation.	14/12/2020	Q21. Householder developments	08/02/2021	28/01/2021	Orla Bermingham	Ela King
20/02467/HSE	1381	2a Dagmar Road, Dagenham, Barking And Dagenham, RM10 8XP	Refused	CONSTRUCTION OF AN OUTBUILDING AT REAR OF GARDEN	14/12/2020	Q21. Householder developments	08/02/2021	27/01/2021	Lauren Carroll	Angela Lopez
20/02474/HSE	1382	138 Billet Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 5PS	Approved	Construction of a single storey side extension to create a bedroom and bathroom for disabled occupant with a ramp to the existing front entrance.	16/12/2020	Q21. Householder developments	10/02/2021	28/01/2021	Harry Moorhouse	Ela King
20/02475/CLUP	1383	7 Roosevelt Way, Dagenham, Barking And Dagenham, RM10 8DA	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of an outbuilding.	15/12/2020	CLUP - Lawful development: Proposed use	09/02/2021	28/01/2021	Cari Jones	Ela King
20/02476/CLUP	1384	205 Sheppey Road, Dagenham, Barking And Dagenham, RM9 4JS	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of an outbuilding.	21/12/2020	CLUP - Lawful development: Proposed use	15/02/2021	28/01/2021	Orla Bermingham	Ela King
20/02478/FULL	1385	70 Stamford Road, Dagenham, Barking And Dagenham, RM9 4EX	Approved	Construction of a rear outbuilding in an existing ground floor flat.	18/12/2020	Q18. MINOR All other developments	12/02/2021	28/01/2021	Orla Bermingham	Angela Lopez
20/02479/CLUP	1386	39 Sandringham Road, Barking, Barking And Dagenham, IG11 9AE	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a rear dormer extension including three roof lights to the front to facilitate conversion of roof space into habitable accommodation.	16/12/2020	CLUP - Lawful development: Proposed use	10/02/2021	28/01/2021	Harry Moorhouse	Ela King
20/02480/PRIEXT	1387	11 South Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 6YD	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	16/12/2020	PRIEXT - Prior Approval: Larger Home Extension	27/01/2021	20/01/2021	Orla Bermingham	Ela King
20/02481/HSE	1388	87 Clemence Road, Dagenham, Barking And Dagenham, RM10 9YQ	Approved	Construction of a rear dormer extension including two roof lights to the front to facilitate conversion of roof space into habitable accommodation (retrospective).	16/12/2020	Q21. Householder developments	10/02/2021	29/01/2021	Lauren Carroll	Ela King
20/02482/AOD	1389	Land North Of Plot 204 Fielders Crescent, Barking, Barking And Dagenham,	Condition(s) Fully Discharged	Details pursuant to Condition 13 (Verification Report) attached to planning consent 18/00038/FUL dated 23/03/2018.	17/12/2020	AOD - Application for approval of details reserved by condition	11/02/2021	28/01/2021	Nasser Farooq	Ela King
20/02483/HSE	1390	77 Woodbridge Road, Barking, Barking And Dagenham, IG11 9ES	Approved	Construction of a single storey rear extension.	16/12/2020	Q21. Householder developments	10/02/2021	28/01/2021	Cari Jones	Ela King
20/02485/HSE	1391	58 Mayfield Road, Dagenham, Barking And Dagenham, RM8 1XJ	Approved	Construction of a single storey side extension and part rear extension.	16/12/2020	Q21. Householder developments	10/02/2021	28/01/2021	Orla Bermingham	Angela Lopez
20/02486/CLUP	1392	104 Billet Road, Chadwell Heath, Romford, Barking And Dagenham, RM6 5PR	Not Lawful (Certificate)	Application for a lawful development certificate (proposed) for the replacement of a large window from the 1st floor and replace with a Juliet balcony to provide more light to the property.	17/12/2020	CLUP - Lawful development: Proposed use	11/02/2021	28/01/2021	Orla Bermingham	Angela Lopez
20/02487/PRIEXT	1393	155 Hunters Square, Dagenham, Barking And Dagenham, RM10 8BQ	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension and installation of a roof lantern. The proposed extension will extend beyond the rear wall by 4.50 metres. The maximum height of the proposed extension from the natural ground level is 3.60 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	17/12/2020	PRIEXT - Prior Approval: Larger Home Extension	28/01/2021	26/01/2021	Harry Moorhouse	Ela King
20/02488/CLUP	1394	28 Oglethorpe Road, Dagenham, Barking And Dagenham, RM10 7RX	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a single storey rear extension.	17/12/2020	CLUP - Lawful development: Proposed use	11/02/2021	28/01/2021	Cari Jones	Ela King
20/02490/CLUP	1395	127 Oval Road North, Dagenham, Barking And Dagenham, RM10 9ER	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of an outbuilding with demolition of existing one.	17/12/2020	CLUP - Lawful development: Proposed use	11/02/2021	28/01/2021	Cari Jones	Angela Lopez
20/02491/CLUP	1396	28 Oglethorpe Road, Dagenham, Barking And Dagenham, RM10 7RX	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a hip-to-gable roof extension to accommodate a rear dormer extension including two roof lights to the front to facilitate conversion of roof space into habitable accommodation	17/12/2020	CLUP - Lawful development: Proposed use	11/02/2021	28/01/2021	Harry Moorhouse	Angela Lopez
20/02492/PRIEXT	1397	16 St Georges Road, Dagenham, Barking And Dagenham, RM9 5JH	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.25 metres. The maximum height of the proposed extension from the natural ground level is 4.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	17/12/2020	PRIEXT - Prior Approval: Larger Home Extension	28/01/2021	20/01/2021	Orla Bermingham	Ela King
20/02493/PRIEXT	1398	127 Oval Road North, Dagenham, Barking And Dagenham, RM10 9ER	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.70 metres.	17/12/2020	PRIEXT - Prior Approval: Larger Home Extension	28/01/2021	27/01/2021	Lauren Carroll	Ela King
20/02494/CLUP	1399	6 Central Park Avenue, Dagenham, Barking And Dagenham, RM10 7DA	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a hip-to-gable roof extension to accommodate a rear dormer extension including two roof lights to the front, a Juliette balcony and one window on the side to facilitate conversion of roof space into habitable accommodation.	17/12/2020	CLUP - Lawful development: Proposed use	11/02/2021	27/01/2021	Lauren Carroll	Ela King
20/02495/CLUP	1400	16 St Georges Road, Dagenham, Barking And Dagenham, RM9 5JH	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a rear dormer extension including four roof lights to the front to facilitate conversion of roof space into habitable accommodation.	17/12/2020	CLUP - Lawful development: Proposed use	11/02/2021	28/01/2021	Orla Bermingham	Ela King
x 20/02496/HSE	1401	16 St Georges Road, Dagenham, Barking And Dagenham, RM9 5JH	Approved	Construction of a part two storey part single storey rear extension.	17/12/2020	Q21. Householder developments	11/02/2021	28/01/2021	Orla Bermingham	Ela King
20/02497/CLUP	1402	290 Bonham Road, Dagenham, Barking And Dagenham, RM8 3BP	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a single storey rear extension with a pitched roof and two velux windows.	17/12/2020	CLUP - Lawful development: Proposed use	11/02/2021	27/01/2021	Lauren Carroll	Angela Lopez
20/02499/PRIEXT	1403	27 Eliot Road, Dagenham, Barking And Dagenham, RM9 5XT	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.	18/12/2020	PRIEXT - Prior Approval: Larger Home Extension	29/01/2021	20/01/2021	Cari Jones	Ela King
20/02500/PRIEXT	1404	19 Winding Way, Dagenham, Barking And Dagenham, RM8 2TD	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 5.50 metres. The maximum height of the proposed extension from the natural ground level is 3.95 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.	19/12/2020	PRIEXT - Prior Approval: Larger Home Extension	30/01/2021	22/01/2021	Harry Moorhouse	Ela King

20/02501/PRIEXT	1405	12 Cambays Road, Dagenham, Barking And Dagenham, RM10 8YD	Prior Approval Refused	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.50 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.	19/12/2020	PRIEXT - Prior Approval: Larger Home Extension	30/01/2021	20/01/2021	Cari Jones	Ela King
20/02502/PRIEXT	1406	11 Hitherfield Road, Dagenham, Barking And Dagenham, RM8 3PD	Prior Approval Granted	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 3.00 metres.	19/12/2020	PRIEXT - Prior Approval: Larger Home Extension	30/01/2021	20/01/2021	Lauren Carroll	Ela King
20/02503/HSE	1407	42 Felton Road, Barking, Barking And Dagenham, IG11 7XZ	Refused	Construction of a first floor rear extension.	19/12/2020	Q21. Householder developments	13/02/2021	27/01/2021	Lauren Carroll	Ela King
20/02505/HSE	1408	46 Rowney Gardens, Dagenham, Barking And Dagenham, RM9 4PR	Approved	Construction of a single storey front and side extension.	19/12/2020	Q21. Householder developments	13/02/2021	28/01/2021	Cari Jones	Ela King
20/02508/CLUP	1409	48 Portland Gardens, Chadwell Heath, Romford, Barking And Dagenham, RM6 5UJ	Lawful (Certificate)	Application for a lawful development certificate proposed for the construction of an outbuilding for a use incidental to the enjoyment of the dwellinghouse.	18/12/2020	CLUP - Lawful development: Proposed use	12/02/2021	28/01/2021	Orla Bermingham	Angela Lopez
20/02509/NONMATT	1410	Abbey Sports Centre, Abbey Sports Centre, Barking, Barking And Dagenham, IG11 7LX	Approved	Non material amendment to planning permission 18/00331/FUL dated 13/01/2020 comprising of change of Condition 15 from a pre-commencement of above ground works, to a pre-occupation condition.	21/12/2020	NONMAT - Non-material amendment following a grant of planning permission	18/01/2021	21/12/2020	Cari Jones	Ela King
20/02510/NONMATT	1411	Alfreds Way Industrial Estate Alfreds Way, Barking, Barking And Dagenham,	Approved	Non material amendment to planning permission 19/00679/FUL dated 16/04/2020 comprising of 'Cladding - confirmation of material and removal of brickwork; Height - reduction to that shown on the drawings (8m to haunch, so circa 8.50/8.75m to eaves), and the consequential removing of the 'dotted future second floor windows' 3.7 ground floor windows (units 1, 2, 7 and 8) updated to be indicated as future provision, if required by tenants; An addition of two FE doors (unit 4 & 6); Site plan revisions: Reorientation of four car parking bays (units 5 & 6), Relocation of substation, Revised escape on unit 1 & 2 (resulting in steps being removed), Relocation of bin storage to inside units and Reconfiguration of roof lights and indicative PV panel locations to units 7 and 8.'	21/12/2020	NONMAT - Non-material amendment following a grant of planning permission	18/01/2021	25/01/2021	Olivia St-Amour	Ela King
20/02511/CLUP	1412	213 Ballard Road, Dagenham, Barking And Dagenham, RM10 9AR	Lawful (Certificate)	Application for a lawful development certificate (proposed) for change of use of a single dwelling house to a care home for young adults age range from 16-17 years.	21/12/2020	CLUP - Lawful development: Proposed use	15/02/2021	29/01/2021	Harry Moorhouse	Angela Lopez
20/02512/CLUP	1413	15 Lawrence Crescent, Dagenham, Barking And Dagenham, RM10 7HH	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a single storey rear extension.	21/12/2020	CLUP - Lawful development: Proposed use	15/02/2021	28/01/2021	Harry Moorhouse	Ela King
20/02513/CLUP	1414	193 Gorseway, Rush Green, Romford, Barking And Dagenham, RM7 05B	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a hip-to-gable roof extension to accommodate a rear dormer extension including two roof lights to the front to facilitate conversion of roof space into habitable accommodation.	22/12/2020	CLUP - Lawful development: Proposed use	16/02/2021	29/01/2021	Lauren Carroll	Ela King
20/02515/COM	1415	The Mall, Millard Terrace, Heathway, Dagenham, RM10 8RQ	Lawful (Certificate)	Proposed removal and replacement of 3No. existing antennas with 3No. upgraded antennas and 1No. GPS node located on the rooftop, and ancillary development thereto.	22/12/2020	COM - Telecommunications notification	12/01/2021	12/01/2021	Harry Moorhouse	Ela King
20/02516/COM	1416	Existing Streetworks Site At Valence Avenue, Becontree, RM8 3RB	Lawful (Certificate)	Proposed removal and replacement of 3No. existing antennas with 3No. upgraded antennas, the installation of 1No. GPS node and the installation of 2No. cabinets (1No. Wiltshire 1050x2000x755 mm, 1No. RBS6130 cabinet measuring 950 x 650 x 700mm) and ancillary development thereto.	22/12/2020	COM - Telecommunications notification	12/01/2021	12/01/2021	Harry Moorhouse	Ela King
20/02518/COM	1417	The Heathway, Dagenham, RM9 5AE	Lawful (Certificate)	Proposed removal and replacement of 1No. existing cabinet with 1No. Porter cabinet which measures 1452 x 1450 x 650mm and the installation of 1No. GPS antenna and ancillary development thereto.	22/12/2020	COM - Telecommunications notification	12/01/2021	12/01/2021	Harry Moorhouse	Ela King
20/02520/HSE	1418	3 Melford Avenue, Barking, Barking And Dagenham, IG11 9HS	Refused	Construction of a single storey rear extension.	22/12/2020	Q21. Householder developments	16/02/2021	29/01/2021	Orla Bermingham	Ela King
20/02522/PRIEXT	1419	109 School Road, Dagenham, Barking And Dagenham, RM10 9QD	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 6.00 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.80 metres.	22/12/2020	PRIEXT - Prior Approval: Larger Home Extension	02/02/2021	27/01/2021	Cari Jones	Ela King
20/02523/NONMATT	1420	Crown House, 6 Cambridge Road, Barking, Barking And Dagenham, IG11 8HQ	Approved	Non material amendment to planning permission 18/01972/FUL dated 10/07/2020 comprising of amendment to the original planning consents approved drawing list.	22/12/2020	NONMAT - Non-material amendment following a grant of planning permission	19/01/2021	18/01/2021	Olivia St-Amour	Ela King
20/02524/PRICAS	1421	19 Valence Circus, Dagenham, Barking And Dagenham, RM8 3LU	Prior Approval Refused	Prior notification application for the construction of an additional storey. The height of the proposed additional storey will be 2.35m and the proposed maximum height of the dwellinghouse measured from the natural ground level will be 11.00m.	22/12/2020	PRICAS-enlargement of a dwellinghouse by construction of additional storeys	16/02/2021	29/01/2021	Lauren Carroll	Ela King
20/02527/PRIEXT	1422	7 Roosevelt Way, Dagenham, Barking And Dagenham, RM10 8DA	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.50 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.80 metres.	23/12/2020	PRIEXT - Prior Approval: Larger Home Extension	03/02/2021	29/01/2021	Cari Jones	Ela King
20/02530/PRIEXT	1423	19 Valence Circus, Dagenham, Barking And Dagenham, RM8 3LU	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 4.34 metres. The maximum height of the proposed extension from the natural ground level is 3.85 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.77 metres.	25/12/2020	PRIEXT - Prior Approval: Larger Home Extension	05/02/2021	27/01/2021	Lauren Carroll	Ela King
20/02531/PRIEXT	1424	64 Butler Road, Dagenham, Barking And Dagenham, RM8 2DR	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension. The proposed extension will extend beyond the rear wall by 3.20 metres. The maximum height of the proposed extension from the natural ground level is 3.00 metres. The height at eaves level of the proposed extension measured from the natural ground level is 2.90 metres.	27/12/2020	PRIEXT - Prior Approval: Larger Home Extension	07/02/2021	29/01/2021	Cari Jones	Ela King
20/02536/CLUP	1425	19 Valence Circus, Dagenham, Barking And Dagenham, RM8 3LU	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a hip-to-gable roof extension to accommodate a rear dormer extension including two roof lights to the front and one window to the side to facilitate conversion of roof space into habitable accommodation.	25/12/2020	CLUP - Lawful development: Proposed use	19/02/2021	29/01/2021	Lauren Carroll	Ela King
20/02537/CLUP	1426	34a Warley Avenue, Dagenham, RM8 1JS	Not Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a hip-to-gable roof extension to accommodate a rear dormer extension including three roof lights to the front and one window to the side to facilitate conversion of roof space into habitable accommodation.	28/12/2020	CLUP - Lawful development: Proposed use	22/02/2021	29/01/2021	Cari Jones	Ela King
20/02538/CLUP	1427	19 Babington Road, Dagenham, Barking And Dagenham, RM8 2XP	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a hip-to-gable roof extension to accommodate a rear dormer extension to facilitate conversion of roof space into habitable accommodation.	28/12/2020	CLUP - Lawful development: Proposed use	22/02/2021	29/01/2021	Lauren Carroll	Ela King
20/02542/HSE	1428	19 Valence Circus, Dagenham, Barking And Dagenham, RM8 3LU	Approved	Construction of a single storey front extension.	25/12/2020	Q21. Householder developments	19/02/2021	29/01/2021	Lauren Carroll	Ela King

21/00001/COM	1429	South Valence, Valence Avenue, Dagenham, RM8 3QL	Lawful (Certificate)	Proposed removal and replacement of 3No. Existing antennas with 3No. Upgraded antennas affixed to the monopole, the removal and replacement of 1No. Wiltshire cabinet (1650 x 2000 x 755mm) and 1No. BTS3900A cabinet (1900 x 600 x 600mm) with 1No. RBS6130 cabinet (950 x 650 x 700mm) and 1No. Wiltshire cabinet (1650 x 2000 x 755mm) the installation of 1No. GPS unit affixed to the monopole and ancillary development thereto.	03/01/2021	COM - Telecommunications notification	24/01/2021	22/01/2021	Harry Moorhouse	Ela King
21/00005/COM	1430	The Bull Inn, Bull Inn Rainham Road South, Dagenham, Barking And Dagenham, RM10 8AQ	Lawful (Certificate)	Proposed removal and replacement of the existing BTS3900A cabinet (600 x 480 x 700mm) with 1No. D-Airo cabinet (600 x 2100 x 1500mm), the installation of 1No. GPS unit and ancillary development thereto.	07/01/2021	COM - Telecommunications notification	28/01/2021	22/01/2021	Harry Moorhouse	Ela King
21/00009/CLUP	1431	1 Felhurst Crescent, Dagenham, Barking And Dagenham, RM10 7XT	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a hip-to-gable roof extension to accommodate a rear dormer extension to facilitate conversion of roof space into habitable accommodation.	04/01/2021	CLUP - Lawful development: Proposed use	01/03/2021	29/01/2021	Cari Jones	Ela King
21/00010/COM	1432	Colne House, 104 Harts Lane, Barking, IG11 8LS	Lawful (Certificate)	Proposed removal and replacement of 3No. Existing antennas with 3No. Upgraded antennas located on the rooftop, the installation of 1No. GPS unit affixed to an antenna support pole and ancillary development thereto.	07/01/2021	COM - Telecommunications notification	28/01/2021	22/01/2021	Harry Moorhouse	Ela King
21/00013/CLUP	1433	199 Charlton Crescent, Barking, Barking And Dagenham, IG11 0NL	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a rear dormer extension including three roof lights to the front and a Juliette balcony to facilitate conversion of roof space into habitable accommodation.	06/01/2021	CLUP - Lawful development: Proposed use	03/03/2021	29/01/2021	Harry Moorhouse	Ela King
21/00016/CLUP	1434	48 Fitzstephen Road, Dagenham, Barking And Dagenham, RM8 2YL	Lawful (Certificate)	Application for a lawful development certificate (proposed) for the construction of a rear dormer extension including two roof lights to the front and a Juliette balcony to facilitate conversion of roof space into habitable accommodation.	08/01/2021	CLUP - Lawful development: Proposed use	05/03/2021	29/01/2021	Harry Moorhouse	Ela King
21/00019/COM	1435	Oxlow Lane, Dagenham, RM9 5XD	Lawful (Certificate)	Proposed removal and replacement of the existing 1No. BTS3900A cabinet (600 x 490 x 1400mm) with 1No. Porter cabinet (1450 x 650 x 1452mm), the installation of 1No. GPS unit affixed to the monopole and ancillary development thereto.	10/01/2021	COM - Telecommunications notification	31/01/2021	22/01/2021	Harry Moorhouse	Ela King
21/00038/COM	1436	Becontree Avenue, Barking And Dagenham, Goodmayes, RM8 2UL	Lawful (Certificate)	Proposed removal of 1 No. existing cabinet and the installation of 1 No. RBS 6130 cabinet measuring 950 x 650 x 700mm, 1 No. Wiltshire cabinet measuring 2000 x 750 x 1650mm, the installation of 1 No. GPS node and ancillary development thereto.	12/01/2021	COM - Telecommunications notification	02/02/2021	28/01/2021	Harry Moorhouse	Ela King
21/00059/PRIEXT	1437	57 Treswell Road, Dagenham, Barking And Dagenham, RM9 6XL	Prior Approval Not Required	Prior notification application for the construction of a single storey rear extension: The proposed extension will extend beyond the rear wall by 6.0m, The maximum height of the proposed extension from the natural ground level is 3.3m, The height at eaves level of the proposed extension measured from the natural ground level is 3.0m	28/12/2020	PRIEXT - Prior Approval: Larger Home Extension	08/02/2021	29/01/2021	Lauren Carroll	Angela Lopez
21/00065/CLUE	1438	29 Fanshawe Crescent, Dagenham, Barking And Dagenham, RM9 5ER	Lawful (Certificate)	Application for a lawful development certificate (existing) for the conversion of dwellinghouse into three flats.	13/01/2021	CLUE - Lawful development: Existing use	10/03/2021	29/01/2021	Cari Jones	Ela King
x 21/00106/COM	1439	Enterprise House Curzon Crescent, Barking, Barking And Dagenham, IG11 0JZ	Lawful (Certificate)	Proposed installation of 1No. GPS unit affixed to an antenna support pole and ancillary development thereto.	20/01/2021	COM - Telecommunications notification	10/02/2021	28/01/2021	Harry Moorhouse	Ela King